



David DeGroot, Village President
David Karas, Trustee #1
Gina Cefalu-Paulick, Trustee #2
Nancy Washburn, Trustee #3
Denise Anastasio, Trustee #4
Ram Bhatia, Trustee #5
Jim Venturini, Trustee #6

VILLAGE BOARD AGENDA

January 26, 2026

Immediately following the Committee of the Whole, but not before 6:00 PM

Village Hall, Ebe Auditorium

8811 Campus Drive, Mount Pleasant, WI 53406

A. CALL TO ORDER

B. ROLL CALL

C. PLEDGE OF ALLEGIANCE

D. PRESENTATION

E. PUBLIC COMMENT

Members of the public are welcome to provide comments on any matter. Please fill out a comment form, and the President will recognize you. Use the microphone and state your name and address for the public record. Comments are limited to three minutes.

F. CONSENT AGENDA – TRUSTEE BHATIA

Items listed under consent agenda will be approved in one motion without discussion unless any board member requests that an item be removed for individual discussion. That item can then be considered at an appropriate time during the Village Board's regular order of business or under New Business.

1. Approval of the January 12, 2026 Village Board Meeting Minutes
2. Approval of a Memorandum of Understanding between the Mount Pleasant Police Department and Racine Police Department for shared use of the Firing Range
3. Approval of 12023 Durand Avenue Site Plan; SP-25-12
4. Approval of 2700 International Drive Site Plan; SP-25-13
5. Approval of 5714 Braun Road Preliminary Plat; PSP-25-02

G. NEW BUSINESS

1. FINANCE/CLERK-TREASURER – TRUSTEE ANASTASIO
2. COMMUNITY DEVELOPMENT – TRUSTEE BHATIA
3. FINANCE/CLERK-TREASURER – TRUSTEE ANASTASIO
4. PUBLIC WORKS – TRUSTEE WASHBURN
5. PUBLIC SAFETY – TRUSTEE
6. HUMAN RESOURCES – TRUSTEE WASHBURN
7. TOURISM – TRUSTEE VENTURINI

H. REPORTS

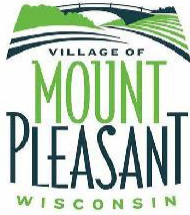
1. Village Administrator
2. Village Staff
3. Village Trustees
4. Village President

I. CLOSED SESSION

J. ADJOURN

Requests for persons with disabilities who need assistance to participate in this meeting or hearing should be made to the Village Administrator or Village Clerk's Office at (262) 664-7800 with as much advance notice as possible.

Posted: Friday, January 23, 2026 at 12:30 PM



VILLAGE BOARD MEETING MINUTES

January 12, 2026 at 6:00 PM
Village Hall
8811 Campus Drive
Mount Pleasant WI 53406

Staff Present: Village Administrator Tami Simons, Deputy Administrator Patrick Brever, Attorney Chris Smith, Community Development Director Sam Schultz, Public Works Director Tony Beyer, Finance Director Kathy Kasper, Human Resources Director Mary Cole, Deputy Director of Human Resources and Finance, Police Chief Robert Botsch, South Shore Fire Chief Dustin Ellis, Village Treasurer Brandi Baker, and Village Clerk Jill Firkus. Laura Million with Racine County Economic Development was also in attendance.

A. CALL TO ORDER

President DeGroot called the Village Board meeting to order at 6:25pm.

B. ROLL CALL

Present: Village President DeGroot, Trustee Karas, Trustee Washburn, Trustee Anastasio, Trustee Bhatia, Trustee Venturini, and Trustee Gina Cefalu Paulick.

C. PLEDGE OF ALLEGIANCE

D. PRESENTATION

E. PUBLIC COMMENT

There were no citizens wanting to speak.

F. CONSENT AGENDA

1. Approval of the December 8, 2025 Village Board Meeting Minutes
2. Financial Report: Check Registry 12/1/2025 – 12/31/2025
3. Approval of Change of Agent Application for Speedway located at 6209 Washington Ave – Anthony McBeth
4. Approval of Ordinance 15-2025: Amending Chapter 13 Article I: In General
5. Approval of the proposed Personnel Manual Revisions
6. Approval of a purchase agreement with Capital Avenue Properties and the Village of Mount Pleasant related to sale of adjacent Village Property

Motion by Trustee Bhatia to approve the items on consent agenda as presented. Motion seconded by Trustee Venturini. On voice vote, motion Carried.

G. NEW BUSINESS

1. FINANCE/CLERK-TREASURER - TRUSTEE ANASTASIO

2. COMMUNITY DEVELOPMENT -TRUSTEE BHATIA

1. Discussion and Possible motion to approve a Development Agreement with Kedali America, LLC in Tax Incremental District No. 3

Motion by Trustee Bhatia to approve a development agreement with Kedali America, LLC in Tax Incremental District No. 3 as presented. Motion seconded by Trustee Anastasio. On a Roll call vote, motion carried unanimously.

3. PUBLIC WORKS - TRUSTEE WASHBURN

4. PUBLIC SAFETY - TRUSTEE

5. HUMAN RESOURCES - TRUSTEE WASHBURN

6. TOURISM - TRUSTEE VENTURINI

H. REPORTS

1. Village Administrator
2. Village Staff
3. Village Trustee
4. Village President

I. CLOSED SESSION

J. ADJOURN

Motion by Trustee Washburn to adjourn the meeting at 6:31 pm. Motion seconded by Trustee Venturini. On voice vote, motion Carried.

MEMORANDUM OF UNDERSTANDING

BETWEEN

Mount Pleasant Police Department

AND

Racine Police Department

Pursuant to the authority of the Village of Mount Pleasant and the City of Racine, this Memorandum of Understanding (“MOU” or Agreement”) is entered into between the **Mount Pleasant Police Department, Mount Pleasant, WI** hereinafter referred to as **MPPD** and the **Racine Police Department, Racine, WI** hereinafter referred to as **RPD**, who hereby agree as follows:

I. PURPOSE/SCOPE OF AGREEMENT

- A. This Agreement is intended to establish procedures and responsibilities of each Agency in order for the **RPD** to use the firing range (“the Range”) for training purposes on the premises of the **MPPD**.
- B. This Agreement supersedes any existing written or oral agreements between the parties covering use of the Range.
- C. This Agreement applies solely to **RPD** employees and shall not affect any pre-existing independent relationship(s) or obligation(s) between the parties on any other subject or with any third party.

II. PERFORMANCE

A. **MPPD shall:**

- 1. Subject to an agreed upon schedule, permit **RPD** staff use of the Range, training building and parking area in accordance with the terms and conditions contained in this Agreement.
- 2. Provide to the **RPD**, and update as necessary, the name(s) and contact Information for **MPPD** contact person(s) designated by the Chief to establish operational details to implement this Agreement and approve the scheduling of all **RPD** activities at the **MPPD** training facilities.
- 3. Reserve the right to exclude any individual from participating in said training or use of the Range at any time for just cause.
- 4. Have preference for use of the Range in the event of simultaneous training by an outside agency.
- 5. Upon request, provide instruction from the **MPPD** contact person or his/her designee to the **RPD** Training Coordinator on the proper inspection and safe use of the **MPPD** Range facilities, including the types of weapons and ammunition that may be used.

6. Provide notice to **RPD** as soon as practicable after circumstances arise that would prevent a scheduled use of the Range by staff and to provide reasonable alternative time for such use.
7. Ensure an annual schedule that permits sufficient access hours to ensure that all **RPD** officers meet the requirements set by the State of Wisconsin and **RPD**'s internal policies for firearms training.

B. RPD shall:

1. Submit to the **MPPD** Chief and Operations Captain, a written request to use the range at least 30 days in advance of the requested date. Written requests may be made via email to rbotsch@mtpleasantwi.gov and dstroupe@mtpleasantwi.gov. The dates and times of use must be mutually agreed upon between **MPPD** and **RPD**. The written request must indicate the approximate number of persons who will be attending the scheduled use, the hours of use, the types of weapons and rounds used, and the approximate number of rounds to be used.
2. Have priority of the use of the Range over other agencies that are leasing space for use of the range.
3. With prior approval from **MPPD** Chief or his designee, **RPD** shall also have access to the Range on days not previously scheduled as long as no conflict exists with **MPPD**, or agencies contracting to use the Range.
4. Ensure that **RPD** participants comply with the operational details herein established by **MPPD** to implement this Agreement, including **MPPD** rules and policies concerning the use of the Range and general institution safety and security, including entry/exit procedures. **RPD** shall ensure that only certified **RPD** police officers be allowed to use the range unless granted written permission by the **MPPD** Chief or his designee.
5. Provide its own designated certified Firearms Instructors unless joint training is being conducted in which **MPPD** may provide a certified Firearms Instructor to oversee its training and use of the Range and such equipment. This designated instructor/coordinator will be responsible for all activities during the scheduled use. All actual range activities will be conducted under the supervision of a designated certified Firearms Instructor. **MPPD** officers may on occasion attend the firearms training with **RPD** put on by **RPD** certified Firearms Instructor and vice versa to fulfill their firearms training requirements.
6. Supply its own weapons, ammunition, targets, and safety equipment consistent with range requirements.
7. Repair or replace to the satisfaction of **MPPD** any **MPPD** property damaged during **RPD** use of Range, if such damage is acknowledged by **RPD** to have been caused by **RPD** officers, unless damage is caused by normal wear and tear.
8. Comply with all environmental laws, regulations and policy governing use of the firing range and contribute to any necessary subsequent environmental

cleanup attributed to **RPD's** use of the Range.

9. Designate an **RPD** employee to serve as a Firearms Instructor, who shall:
 - a. Prior to each **RPD** use of the range:
 - i. Conduct an inspection, consistent with previous **MPPD** instructions, to ensure the facilities are safe and proper to use by **RPD** employees. If a defect or hazardous condition is discovered, the facilities shall not be used and the defect or hazardous condition shall be reported immediately to a **MPPD** Supervisor.
 - ii. Complete the top portion of the Firearms Instructor Acknowledgment Form attached and incorporated herein as Attachment A.
 - b. Accompany all **RPD** staff during their use of the training facility and instruct all **RPD** staff on the safe and proper use of the facility and notify a **MPPD** Supervisor of any emergency or safety related matter or equipment in need of repair.
 - c. Upon completion of **RPD** use of Range
 - i. Ensure all equipment, spent and unspent ammunition and munitions are policed, and supplies are removed from the range.
 - ii. Complete the bottom portion of the Firearms Instructor Acknowledgment Form, which is attached and incorporated herein as Attachment A and submit it to **MPPD**.
 - iii. Notify the on duty **MPPD** Supervisor that the scheduled use of the range has concluded.
 - iv. Ensure any property used for the training is cleaned up and all non-institutional items are removed. The range will be policed, ensuring all munitions, targets and debris are properly removed.
 - d. Be familiar with the specific geographic location of the Range in the event of an emergency evolves during the training exercises.

III. **GENERAL PROVISIONS**

A. **PERIOD OF AGREEMENT/TERMINATION**

1. This Agreement will become effective upon the date of the signatures of both parties, as designated below, and will remain in effect until terminated. A six-month notification period is required for termination of the agreement, but can be waived by mutual agreement.
2. This Agreement shall remain in effect during the term in office of any succeeding leadership of either Agency, unless terminated or modified.

B. **MODIFICATION PROCEDURES**

Either party may propose a modification to this Agreement at any time. All proposed extensions and/or modifications will be in writing and will become effective only upon the written agreement of both parties.

C. **LIABILITY AND INDEMNIFICATION**

1. The **RPD** shall be solely responsible for any liabilities, including but not limited to administrative and/or legal actions, arising from the use of the Range by its employees.
2. Each party shall notify the other party of claims related to the **RPD's** use of the Range, and each party shall cooperate with the other party in the resolution of any liabilities arising from conduct related to this Agreement.
3. Neither party shall be responsible for delays or failures in performance from acts beyond reasonable control of such party, e.g., an institutional disturbance or natural or man-made disasters.
4. **RPD** shall ensure that all **RPD** staff desiring to use the training facility sign a Waiver of Liability Form, attached, and incorporated herein as Attachment B.

D. CANCELLATION

Any event is subject to cancellation at either Chief's or their designee's discretion. Neither the **MPPD** nor **RPD** will be subject to monetary or other damages resulting from cancellation of range usage, provided that a reasonable alternative range time is scheduled in a timely manner.

E. DISPUTE RESOLUTION

In the event of a dispute between the parties, the parties agree that they will use their best efforts to resolve that dispute informally through consultation and communication or other forms of non-binding alternative dispute resolution mutually acceptable to the parties.

F. THIRD PARTY CLAIMS

This agreement is for the sole and exclusive benefit of the signatory parties and shall not be construed to bestow any legal right or benefit upon any other person or entities.

G. RANGE CHARGE/USAGE

RPD/City of Racine will pay the **MPPD/Village of Mount Pleasant** \$12,000 annually due January 31 for that calendar year usage expiring December 31 of that year.

At such time as equipment or portions of the facility need to be replaced, such replacement costs shall be borne by **MPPD**.

IN WITNESS WHEREOF, the undersigned, duly-authorized officers hereby subscribe their names on behalf of the **Mount Pleasant Police Department** and **Racine Police Department**.

Mount Pleasant Police Department

Robert J. Botsch
Chief
Mount Pleasant Police Department

Date

Racine Police Department

 _____

Alexander Ramirez
Chief
Racine Police Department

 _____

Date

Village of Mount Pleasant

David DeGroot
Village President
Village of Mount Pleasant

Date

FIREARMS INSTRUCTOR ACKNOWLEDGMENT FORM
MPPD

I am the designated training coordinator for the Racine Police Department.

I hereby certify that I have received from the MPPD instruction on the proper inspection and safe use of the training facilities at MPPD, including the firing range.

I assume responsibility to instruct all Racine Police Department participants on the proper use of the training facilities, and to oversee the actual use of the training facilities by each participant.

If requested I will allow officers from MPPD to attend the training sessions along with RAPD officers.

I have conducted an inspection of the equipment and training facilities, and there is no equipment in need of repair. All safety equipment is in place and in proper working order. I further understand that if I find a defect or discover a condition with respect to the training facilities of which I am not certain that it would be safe to allow the use of the training facilities, I will not allow training to go forward and will notify MPPD of the same.

Printed Name: _____

Signature: _____

Date: _____

Time: _____

As the Firearms Instructor, I certify that at the conclusion of Racine Police Department use of the Training facilities, inspection of the equipment and training facilities revealed no defects or hazardous Conditions and

Check one:

No unsafe incidents or injuries occurred during this event.

The following unsafe incident or injury occurred during the event: (Attach memo or report Describing nature of incident, or injury and describe action taken).

Printed Name: _____

Signature: _____

Date: _____

Time: _____

WAIVER OF LIABILITY
MPPD

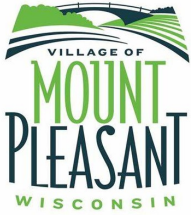
In consideration for being granted the privilege of using the Mount Pleasant Police Department training facilities at MPPD, including the firing range, I hereby release MPPD and its employees and agents from any and all liability for any damage or injury which I may receive while using the aforesaid training facilities from any cause whatsoever. I understand that my employer sponsoring this activity is fully responsible for the safe condition of the training facilities and for ensuring the safe use of the training facilities by all RPD personnel. I understand I assume the risk of any injuries or liability that may occur during this activity. I understand this activity is not sponsored by or associated with MPPD. Further, I understand that using the training facilities is an inherently dangerous activity. I agree to fully waive all claims against the aforesaid parties for any injury that I may sustain while using the MPPD training facilities, and I assume all risk for participating in the said training and am fully aware that personal danger could be involved. I understand these training facilities may not be inspected by MPPD officers on a daily basis, and that I should inspect and make myself aware of any hazardous conditions prior to my use. I will not use the training facilities if a defect or hazardous condition exists and shall immediately report any defect or hazardous condition to the Firearms instructor.

This release of liability and agreement by me to the MPPD and its employees and agents shall so apply to any right of action that might accrue to employer, myself, my heirs, or my personal representatives. By signing this waiver, I agree to abide by all posted safety rules, and all known MPPD policies regarding institution access, security, and safety, and use of the training facilities.

PLEASE PRINT: Agency Name: _____
Participant Name: _____

Signature: _____
Date: _____

EACH PARTICIPANT MUST READ, SIGN AND DATE WAIVER OF LIABILITY PRIOR TO PARTICIPATING IN ANY ACTIVITY ON THE RANGE.



Executive Summary

Village Board Meeting of January 26, 2026

12023 Durand Avenue Site Plan Review; SP-25-12

BACKGROUND

The applicant submitted an updated site plan for Plan Commission review and recommendation to the Village Board. The village zoned the property Business Park (now titled General Industrial) in 2017, and the applicant purchased the property in early 2024. The Plan Commission previously reviewed and approved a preliminary site plan for the subject property in August 2024 (see SP-24-17). The Plan Commission and Village Board's approval of SP-24-17, and subsequent issuance of a grading permit by the Public Works Department, permitted Microsoft Corporation to begin mass grading on the subject property. If the Village Board approves this site plan, Microsoft Corporation may submit final civil engineering plans for review, followed by applications for building permits to start construction on the individual buildings.

The site plan shows nine data centers with a related office space, each 579,796 square feet. It also shows a 96,000 square foot office and storage building, a 265 square foot guard house, and the narrative mentions additional, minor accessory buildings. This equals approximately 5,218,164 square feet of building area across the 791.3090-acre parcel. The applicant narrative contains additional information regarding the project.

At its January 21, 2026, meeting, the Plan Commission unanimously recommended that the Village Board approve the site plan subject to the following conditions:

1. The applicant shall modify the architectural elevations to show a minimum 20% street-facing ground-story transparency and 10% upper-story transparency per § 90-130.40(a).
2. The applicant shall comply with all Racine Water Utility, Mount Pleasant Sanitary Sewer Utility, and Wisconsin Department of Natural Resources rules and permissions regarding consuming and returning water to the applicable utility systems.
3. The applicant shall modify the Parking and Access Plan to show multi-use pathways along Durand Avenue (S.T.H. "11") per § 90-420.70(a).
4. The applicant shall modify the Parking and Access Plan to reduce the stall width from 18.0 to 17.0 feet for standard parking stalls or apply for alternative dimensions per § 90-420.100(m).
5. The applicant shall provide a traffic impact analysis because the development would result in average daily traffic counts of 1,000 or more vehicles per day (ADT) or 100 plus trips during peak traffic hours (PHT) based on the latest version of the Institute of Transportation Engineers (ITE) Trip Generation Manual. The applicant shall modify their site and civil plans to incorporate any analysis-recommended changes and required by the Public Works Director or Wisconsin Department of Transportation.
6. The applicant shall modify the Outdoor Lighting Plans to show the outdoor lighting levels at all property lines, which shall not exceed 3 lux measured 20 feet past the property line per § 90-425.60(b).
7. The applicant shall provide the lighting cut sheets for village staff review to ensure all lighting fixtures emitting more than 1,000 lumens are fully shielded and emit no more than 5% of their total lumen output above 80° from nadir.
8. The applicant shall modify the Outdoor Lighting Plans to eliminate all building-mounted lighting used to illuminate vehicular use areas, outdoor storage and work areas, or pedestrian walkways. The applicant may only use building-mounted lighting to illuminate entrances to a building, such as doors or loading docks.
9. The applicant shall update the landscaping plan to denote the ground cover for all non-impervious areas, including the areas subject to shoreland setbacks at the southwest portion of the site, the areas between

the electrical substations, the areas surrounding stormwater detention facilities, the areas subject to utility easement restrictions, and the areas adjacent to public rights-of-way. The village staff strongly recommend the applicant prioritize the pre-settlement landscaping cover, as denoted by the Wisconsin Department of Natural Resources Surface Water Data Viewer, which includes white, black, and bur oak forest surrounding the Kilbourn Road Ditch (WBIC 736900) and prairie for the remaining site areas.

10. The applicant shall modify the landscaping plan to identify the species of proposed planting species and sizes so the village staff may review them for compliance with § 90-430.70.
11. The applicant shall modify the landscaping plan to denote the installation and maintenance procedures for all plantings and seeding areas per § 90-430.80.
12. The applicant shall update the site plans to show the height and detail of the proposed sound wall or apply for separate administrative site plan review for this improvement per § 90-435.50.
13. The applicant shall modify the architectural elevations to show the 1-story office and storage building or submit them for separate site plan review. This building requires Plan Commission Site Plan Review per § 90-540.50(d).
14. The applicant shall modify the architectural elevations to show the guard house building and any other minor accessory building or submit them for separate site plan review. These buildings qualify for administrative site plan review per § 90-540.50(c).

Note: The applicant already began to address some of the village conditions, as shown in the site plan with the red bubbles within the packet. The staff recommend keeping all conditions above for consistency throughout this application review process.

COMPREHENSIVE PLAN

This application complies with the Comprehensive Plan, which lists the property as Business Park. The Bicycle Plan does not show any recommended improvements adjacent to the subject property. The Park and Open Space Plan shows minor, farmed wetlands within the subject property, some of which the Wisconsin Department of Natural Resources permitted the applicant to fill. It also depicts Braun Road as a corridor recommended for an enhanced bicycle facility. The Wisconsin Department of Transportation constructed an off-street multi-purpose pathway in line with this recommendation when they last reconstructed Braun Road in a multi-road reconstruction project with the village and Racine County.

LAND DIVISION

This property was created by Certified Survey Map #3625 in 2025. No other land division regulations pertain to this application.

ZONING

The Village Board zoned this property C-4 General Industrial, previously titled BP Business Park, in 2017. Both the proposed *Office, business or professional* and *Warehousing, wholesaling, freight movement* uses contained within this application are permitted as-of-right within the C-4 district, subject to compliance with all other applicable regulations of the zoning chapter. The application meets the zoning ordinance, except for the items listed as recommended conditions for approval in the Background section of this report.

The Village Board typically delegates the Plan Commission site plan review authority per § 90-540.40(b); however, an adopted redevelopment plan that includes the subject property requires the Village Board approve all new major developments. Therefore, the Plan Commission is a recommending body for this application.

STRATEGIC PLAN

The application meets the following Key Strategies and Outcomes of the Strategic Plan.

- Safe Community
 - Outcome: Safety in the public right-of-way for all modes of transportation.
 - The Village's public infrastructure allows a smooth flow of vehicle traffic and offers safe routes for bicyclists and pedestrians.

- Balance Growth and Development
 - Outcome: Welcoming and competitive community for a variety of housing types and commercial development.
 - Development processes are streamlined, fair, and predictable for both developers and citizens, encouraging companies and individuals to invest in the Village.
 - Outcome: Long-term local and regional benefits of Tax Incremental District No. 5.
 - Growth of jobs and tax base continues in TID No. 5, creating resources to support initiatives that will benefit the Village and entire region for generations.

RECOMMENDATION

The Plan Commission recommends that the Village Board approves the site plan subject to the recommended conditions.

FISCAL IMPACT

Cost/Benefit		
Estimated Taxable Value per Acre	\$ 10,076,517	<i>The total Estimated Taxable Value divided by the Developed Acres.</i>
Estimate Net Value Per Acre	\$ 10,067,638	<i>The total Estimated Taxable Value minus the Infrastructure Replacement Cost (NPV) divided by the Developed Acres.</i>
TID Open Net Revenue	\$ 135,238,349	<i>The Tax Incremental Revenues minus the TID Open Annual Cost.</i>
TID Closed Net Revenue	\$ 44,193,032	<i>The Annual Tax Contributions (NPV) minus the TID Closed Annual Cost.</i>
Gain/(Loss) over 40-year period	\$ 7,319,703,611	<i>The Escalated Tax Contributions minus the Total Escalated Cost.</i>
TID Open Revenue to Cost Ratio	135	:1 <i>The Annual Tax Contributions (NPV) divided by the Total Annual Cost. Greater than 1:1 is a net positive ratio.</i>
TID Closed Revenue to Cost Ratio	45	:1 <i>The Tax Incremental Revenues divided by the TID Closed Annual Cost. Greater than 1:1 is a net positive ratio.</i>
Total Revenue to Cost Ratio	100	:1 <i>The Escalated Tax Contributions divided by the Total Escalated Cost.</i>
Private to Public Ratio	1,135	:1 <i>The Total Taxable Value divided by the Infrastructure Replacement Cost (NPV). 40:1 is net positive ratio.</i>

Public Liability Repayment (years)	2	<i>The number of years until the Escalated Tax Contributions are greater than the Escalated Infrastructure Replacement Cost.</i>
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The total taxable value for the proposed development is \$7,973,638,329, which would generate approximately \$136,249,581 in incremental tax revenues while TID 5 remains open, and \$45,204,264 in village revenues once TID 5 closes. Once fully constructed, the project would generate an estimated \$10,067,638 per acre. Over a 40-year period, the Total Revenue to Cost Ratio is projected at 100:1. This projection assumes a full buildout in year one, which is unlikely, and revenues will likely moderate with a phased construction schedule over many years. That said, the project, as presented, would likely still contribute far more tax revenue than require in adjacent public infrastructure liability and public service costs to the village.

PREPARED BY

Samuel Schultz, Community Development Director



December 15, 2025

Mr. Sam Schultz
 Community Development Director
 Village of Mount Pleasant
 8811 Campus Drive
 Mount Pleasant, WI 53406

RE: MKE Area 2 Site Master Plan

Dear Mr. Schultz,

Dewberry Engineers, Inc. is pleased to submit this application and associated document for a Site Master Plan on the property known as Area 2. This property is bordered on three sides by existing roads: to the north by Durand Avenue, to the south by Braun Road and to the west by Hewitt Memorial Drive. A Certified Survey Map is currently in process to consolidate parcels of the quadrant into one parcel.

The intent of this application is to present the Site Master Plan for the initial phase of a data center campus that involves the entire site. The site layout proposed with this application includes 2 substations, 9 data center buildings as well as one office & storage building and associated roadways, parking, SWM and utilities. The plans have been and will be designed to appropriate Village of Mount Pleasant, Racine County, WisDOT, DNR, DSPS, and State of Wisconsin requirements, standards and specifications. To our knowledge, this plan does not have any nonconformities.

In accordance with the Village of Mount Pleasant list of requirements for Master Site Plan, this plan proposes the following:

Zoning District:	C-4 (General Industrial)
Building Type:	Industrial (Indoor Warehousing)
Proposed Uses:	Data Center Campus, with two Electrical Substations and an Office & Storage Building
Proposed Accessory Uses/Structures:	Small fire pump house, small emergency storm shelters.
Proposed Horses & Farm Animals:	None
Proposed Wireless Telecommunications:	None
Bluff and Ravine Setbacks:	None
Flood Protection Measures:	Appropriate and adequate Stormwater Management will be provided for this project through the construction of wet ponds that will be approved by DNR.
Shoreland Protection Measures:	Setbacks from navigable waters per Sec. 90-495.30 of the ZO Vegetative Buffers per Sec.90-495.50 of the ZO


The associated Site Master Plan contains the following items:

- Existing conditions/ALTA survey
- Approximate Site Master Plan
- Approximate parking areas
- Approximate fences
- Approximate building locations
- Approximate travel ways
- Approximate stormwater facilities
- Approximate utilities
- Approximate landscaping

A traffic study is in process and will be submitted under separate cover.

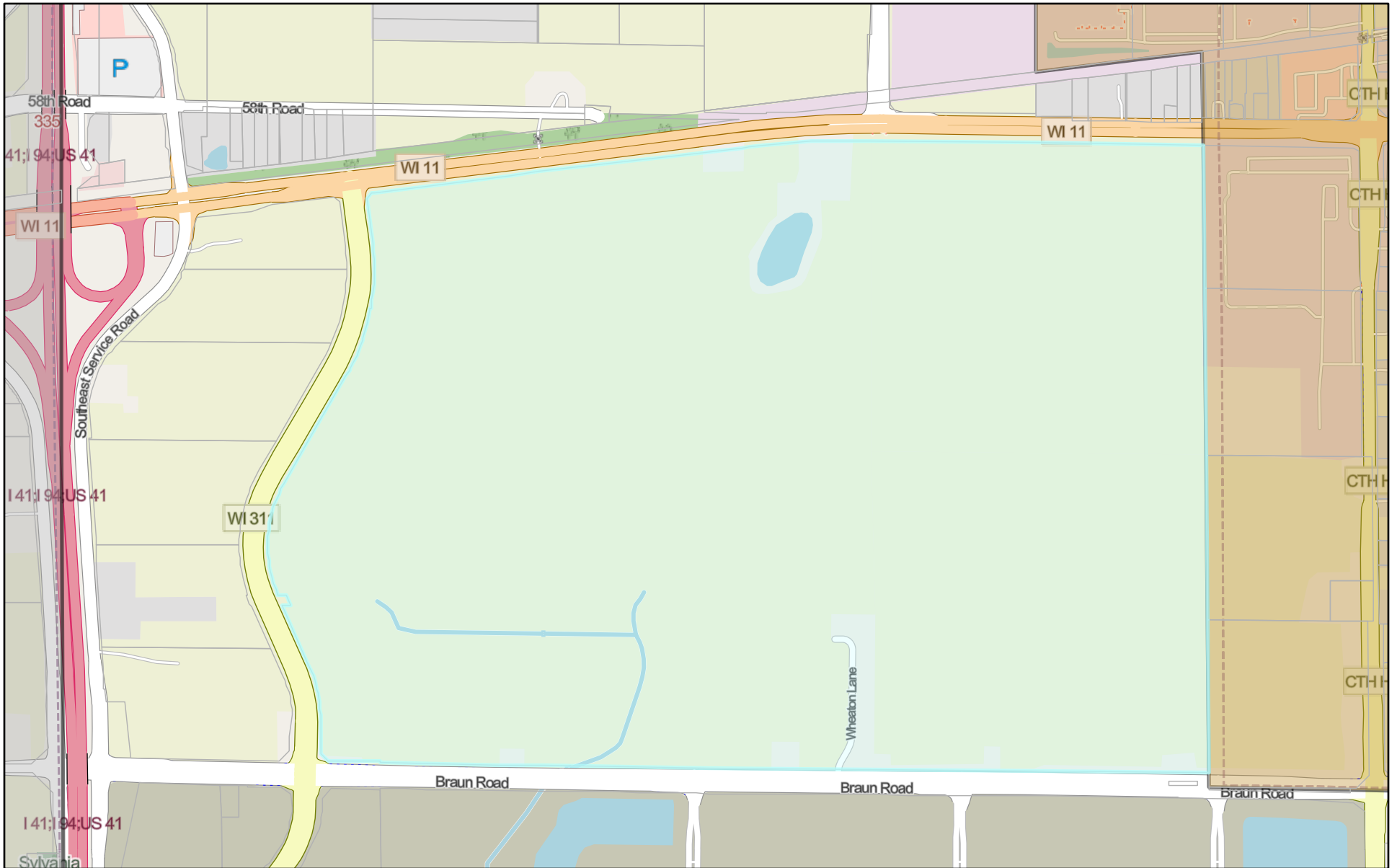
Please find the associated documents for review and approval. If you have questions or concerns, please do not hesitate to contact me at 703-840-1956 or by email at rbrittingham@dewberry.com.

Sincerely,







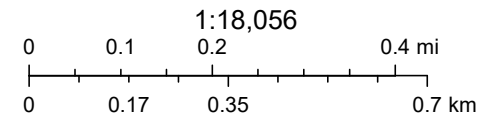
Rich Brittingham, RLA
Vice President

Property Location



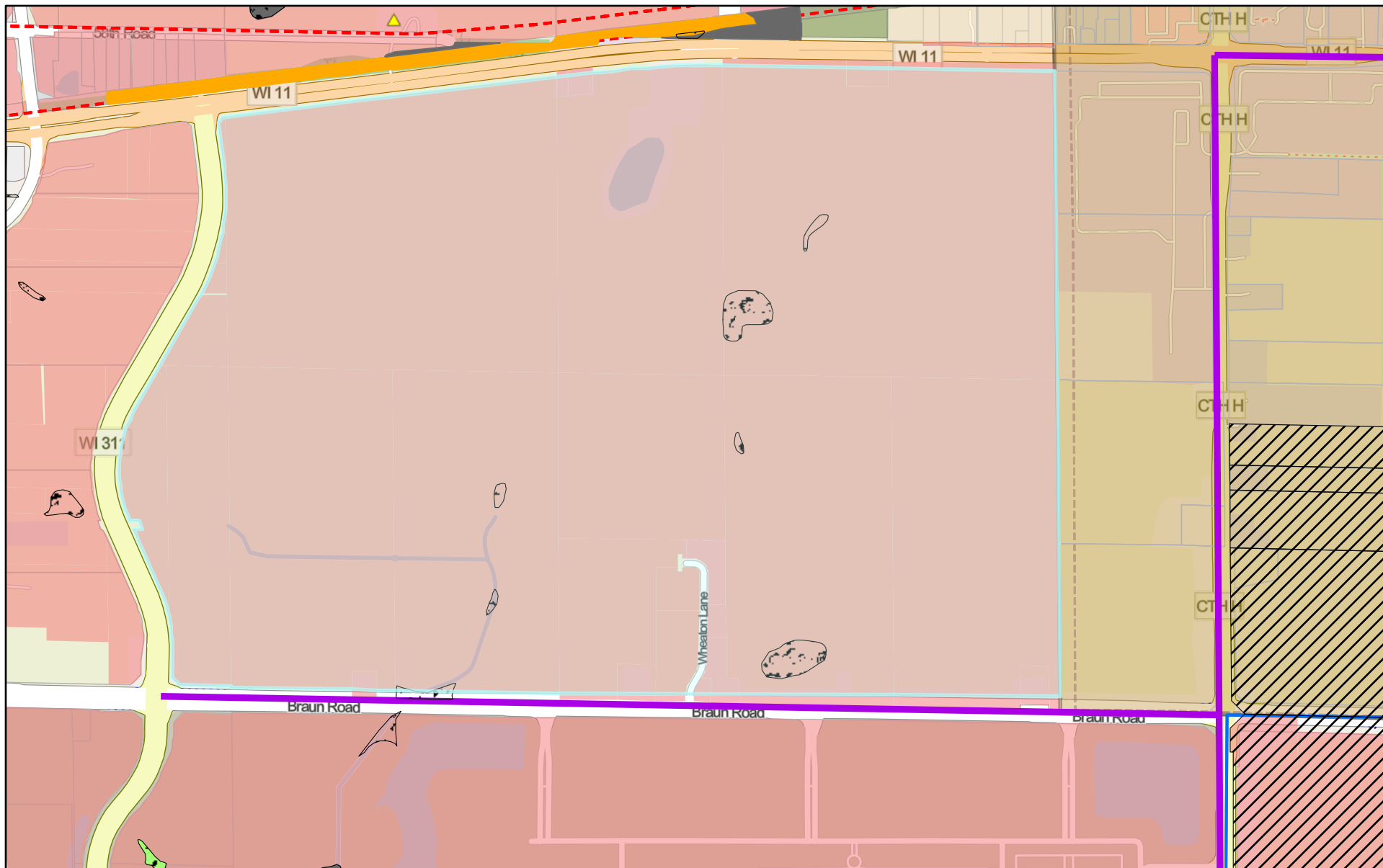
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-  Tax Parcel
-  VILLAGE OF STURTEVANT
-  Other
-  VILLAGE OF MT PLEASANT



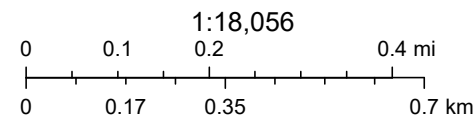
Map data © OpenStreetMap contributors, Microsoft, Facebook, Google, Esri
Community Maps contributors, Map layer by Esri

Comprehensive Plan



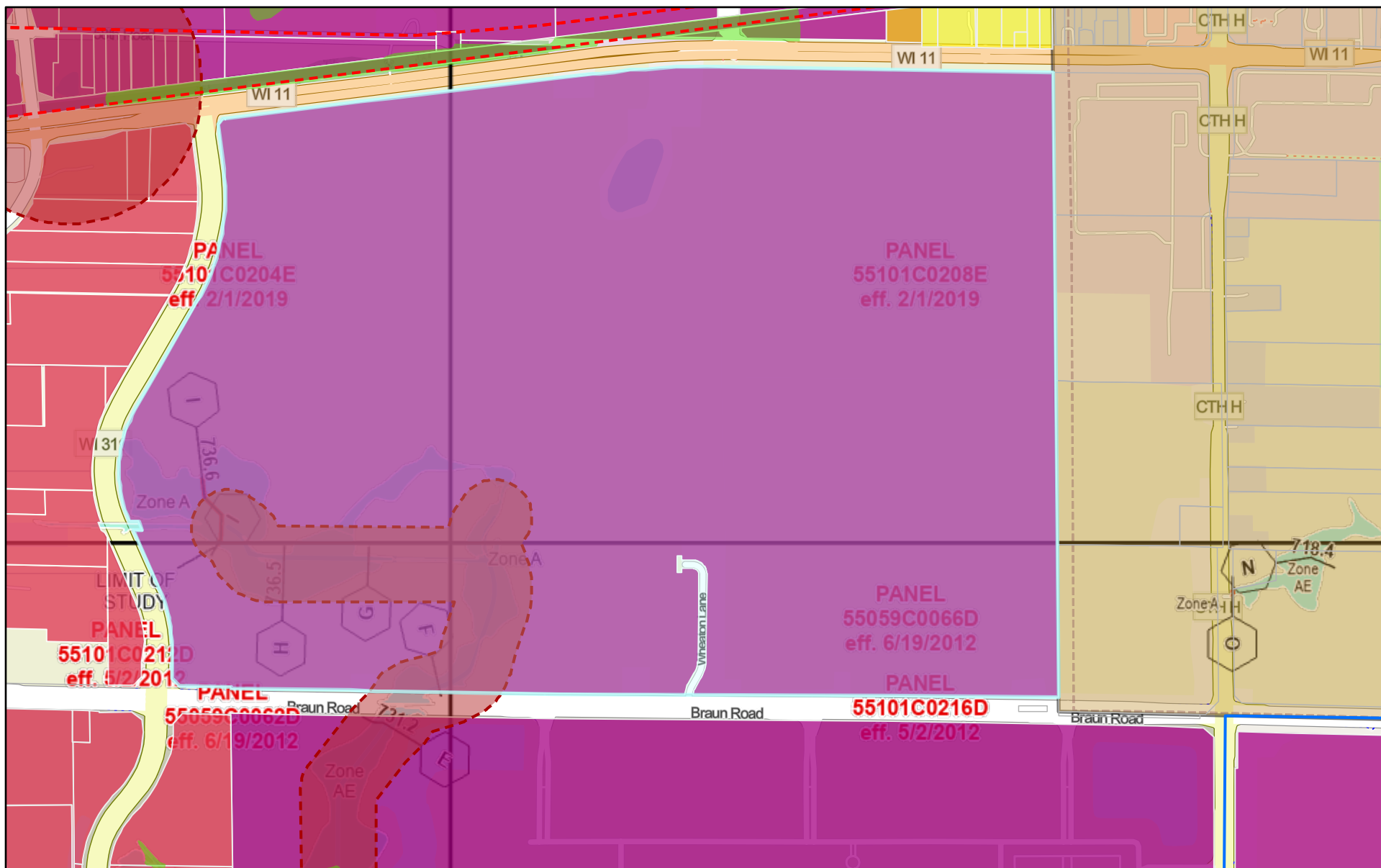
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- | | | | |
|--|--|---|--|
| <ul style="list-style-type: none"> Tax Parcel NATURAL AREA OR CRITICAL SPECIES HABITAT SITE PRIORITY PROTECTION AREA - PIKE RIVER WATERSHED PLAN EXISTING WETLAND (INCLUDES FARMED WETLANDS) EXISTING PUBLIC INTEREST OWNERSHIP OF OPEN SPACE LANDS COUNTY, CITY, VILLAGE, SCHOOL DISTRICT, COMPATIBLE | <p>PROPOSED PUBLIC INTEREST OWNERSHIP OF OPEN SPACE LANDS</p> <ul style="list-style-type: none"> RACINE COUNTY OPEN SPACE LANDS TO BE PROTECTED <p>TRAILS</p> <ul style="list-style-type: none"> EXISTING ON-STREET TRAIL OR BICYCLE WAY PROPOSED OFF-STREET TRAIL RECOMMENDED CORRIDOR FOR ENHANCED BICYCLE FACILITY OPEN SPACE LANDS TO BE PRESERVED | <p>TRAILS</p> <ul style="list-style-type: none"> EXISTING ON-STREET TRAIL OR BICYCLE WAY PROPOSED OFF-STREET TRAIL RECOMMENDED CORRIDOR FOR ENHANCED BICYCLE FACILITY <p>2035 Master Plan</p> <ul style="list-style-type: none"> Residential Areas - Incl. Churches, Multi-Family Park, Recreation, Natural Areas | <ul style="list-style-type: none"> Business Racine County, Municipal Boundaries VILLAGE OF MT PLEASANT VILLAGE OF STURTEVANT |
|--|--|---|--|



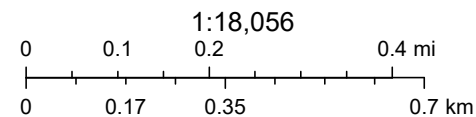
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 Community Maps contributors, Map layer by Esri

Zoning



1/15/2026, 3:09:58 PM

- | | | | |
|---|--------------------------------|-------------------------------------|----------------------------|
| Tax Parcel | Shoreland Zoning Overlay (OCS) | C-4 General Industrial | Flood Hazard Boundaries |
| TRAILS | Zoning Districts | Racine County, Municipal Boundaries | Limit Lines |
| EXISTING ON-STREET TRAIL OR BICYCLE WAY | RE Estate Residential | VILLAGE OF MT PLEASANT | SFHA / Flood Zone Boundary |
| PROPOSED OFF-STREET TRAIL | RN Neighborhood Residential | VILLAGE OF STURTEVANT | Cross-Sections |
| OPEN SPACE LANDS TO BE PRESERVED | C-3 High-Intensity Commercial | Flood Hazard Zones | FIRM Panels |
| | | 1% Annual Chance Flood Hazard | |



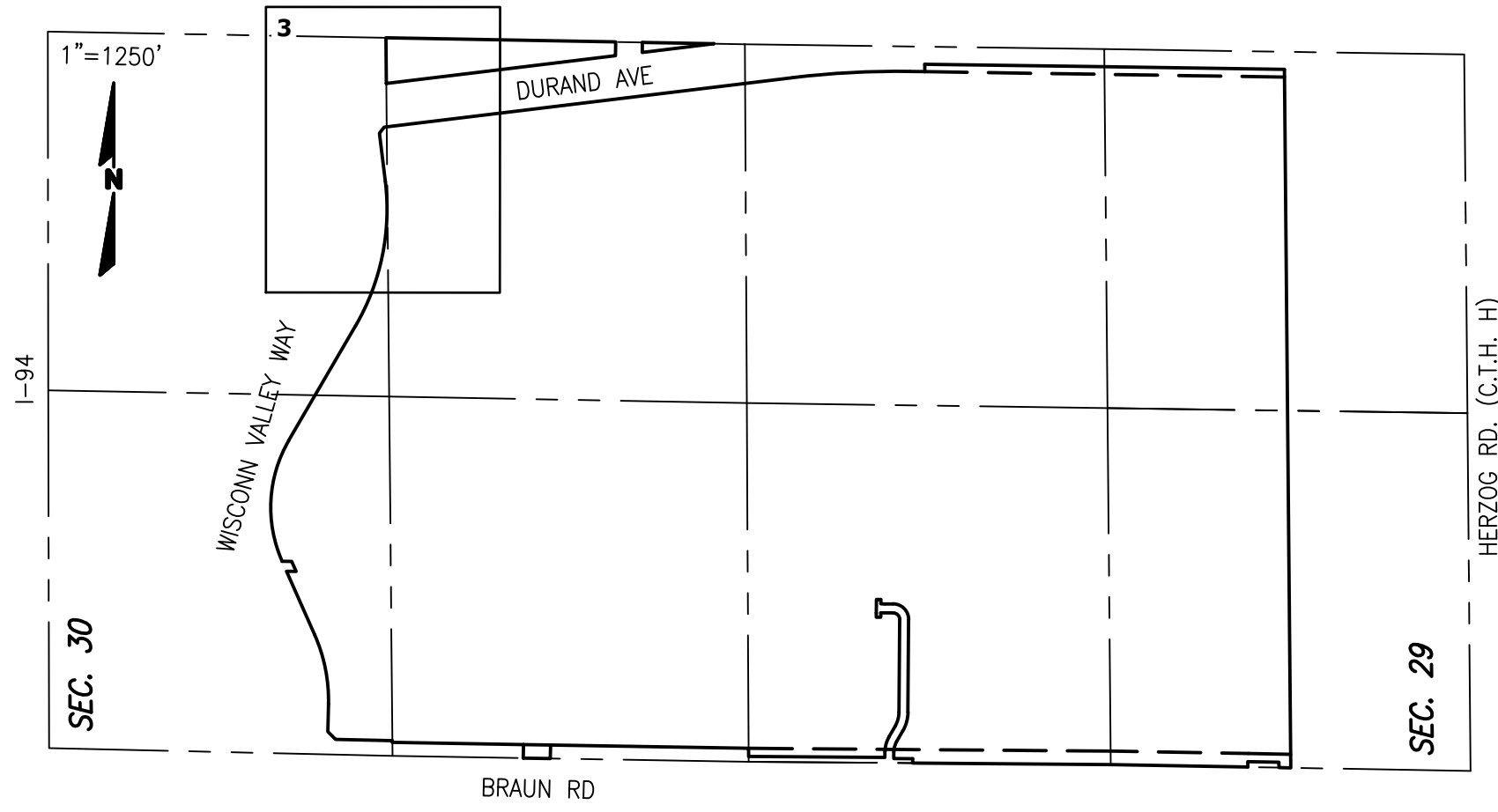
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ALTA/NSPS LAND TITLE SURVEY

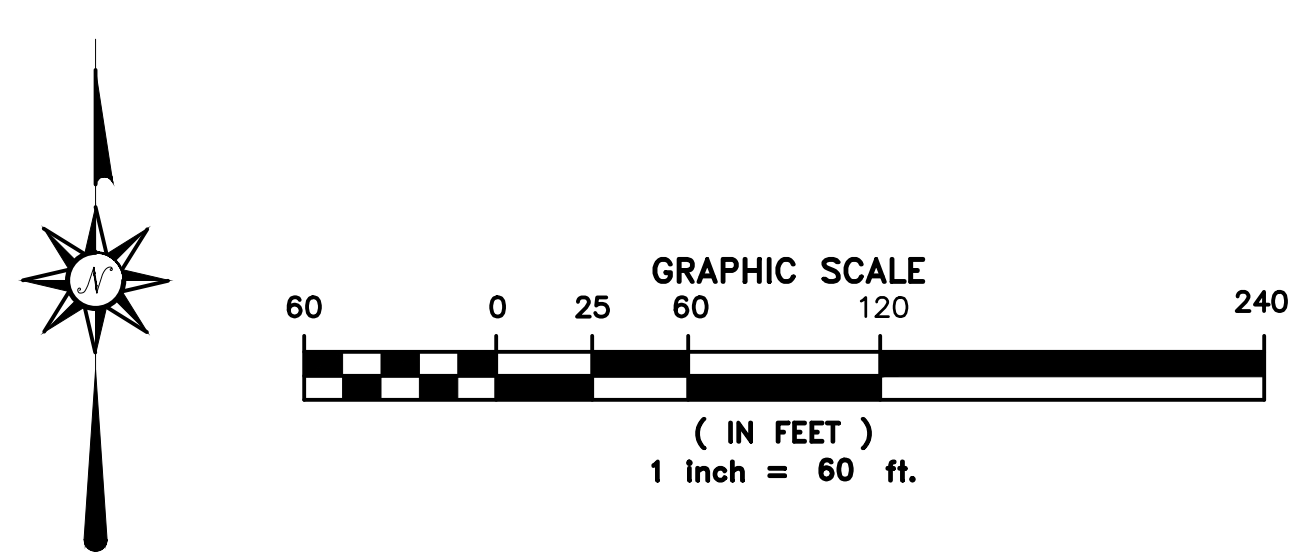
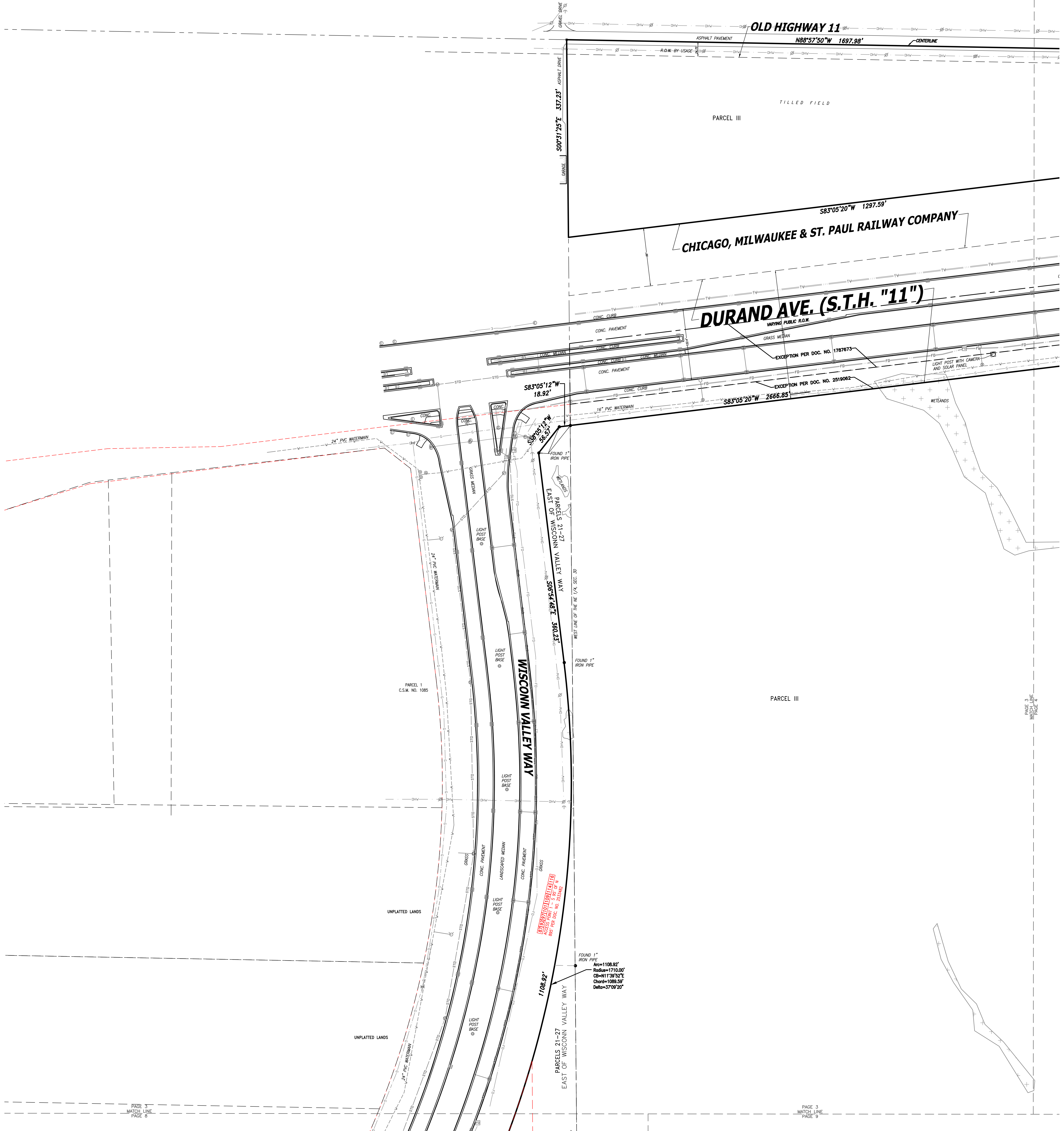
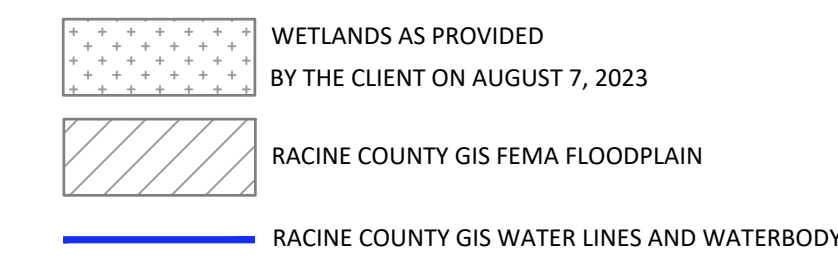
CLIENT
Dewberry

BASIS OF BEARINGS
Bearings are referenced to the Racine County Coordinate System(2011), in which the South line of the Southwest 1/4 of Section 29 bears N89°33'30"W.

VICINITY MAP
T11N, R19E.



LEGEND	
●	INDICATES FOUND 1" IRON PIPE
○	INDICATES SET 1" IRON PIPE
+	INDICATES FOUND CHISELED CROSS
○	SANITARY MANHOLE
○	SANITARY CLEANOUT OR VENT
○	SEPTIC TANK ACCESS COVER
○	M.I.S. MANHOLE
○	UNKNOWN MANHOLE
○	STORM MANHOLE
○	INLET (ROUND)
○	INLET (SQUARE)
○	CURB INLET
○	STORM SEWER END SECTION
○	GAS VALVE
○	GAS METER
○	WATER VALVE
○	HYDRANT
○	WATER MANHOLE
○	WATER SERVICE CURB STOP
○	WELL HEAD
○	STAND PIPE
○	WALL INDICATOR VALVE
○	POST INDICATOR VALVE
○	LIGHT POLE
○	SPOT/YARD LIGHT
○	UTILITY POLE
○	GUY POLE
○	GUY WIRE
○	ELECTRIC MANHOLE
○	ELECTRIC PEDESTAL
○	ELECTRIC METER
○	TELEPHONE MANHOLE
○	TELEPHONE PEDESTAL
○	CABLE PEDESTAL
○	CONTROL BOX
○	FIBER OPTIC PEDESTAL/SIGN
○	TRAFFIC LIGHT
○	COMMUNICATION MANHOLE
○	BOLLARD
○	SOIL BORING/MONITORING WELL
○	WATER SURFACE
○	WETLANDS FLAG
○	MARSH
○	FLAGPOLE
○	PARKING METER
○	SIGN
○	MALIBOX
○	RAILROAD CROSSING SIGNAL
○	HANDICAP SPACE
○	CONIFEROUS TREE
○	DECIDUOUS TREE
○	SANITARY SEWER
○	STORM SEWER
○	WATERLINE
○	MARKED GAS MAIN
○	MARKED ELECTRIC
○	OVERHEAD WIRE
○	MARKED TELEPHONE
○	MARKED CABLE TV LINE
○	MARKED FIBER OPTIC
○	BURIED ELECTRIC SERVICE
○	BOARD FENCE
○	CHAIN LINK FENCE
○	WIRE FENCE



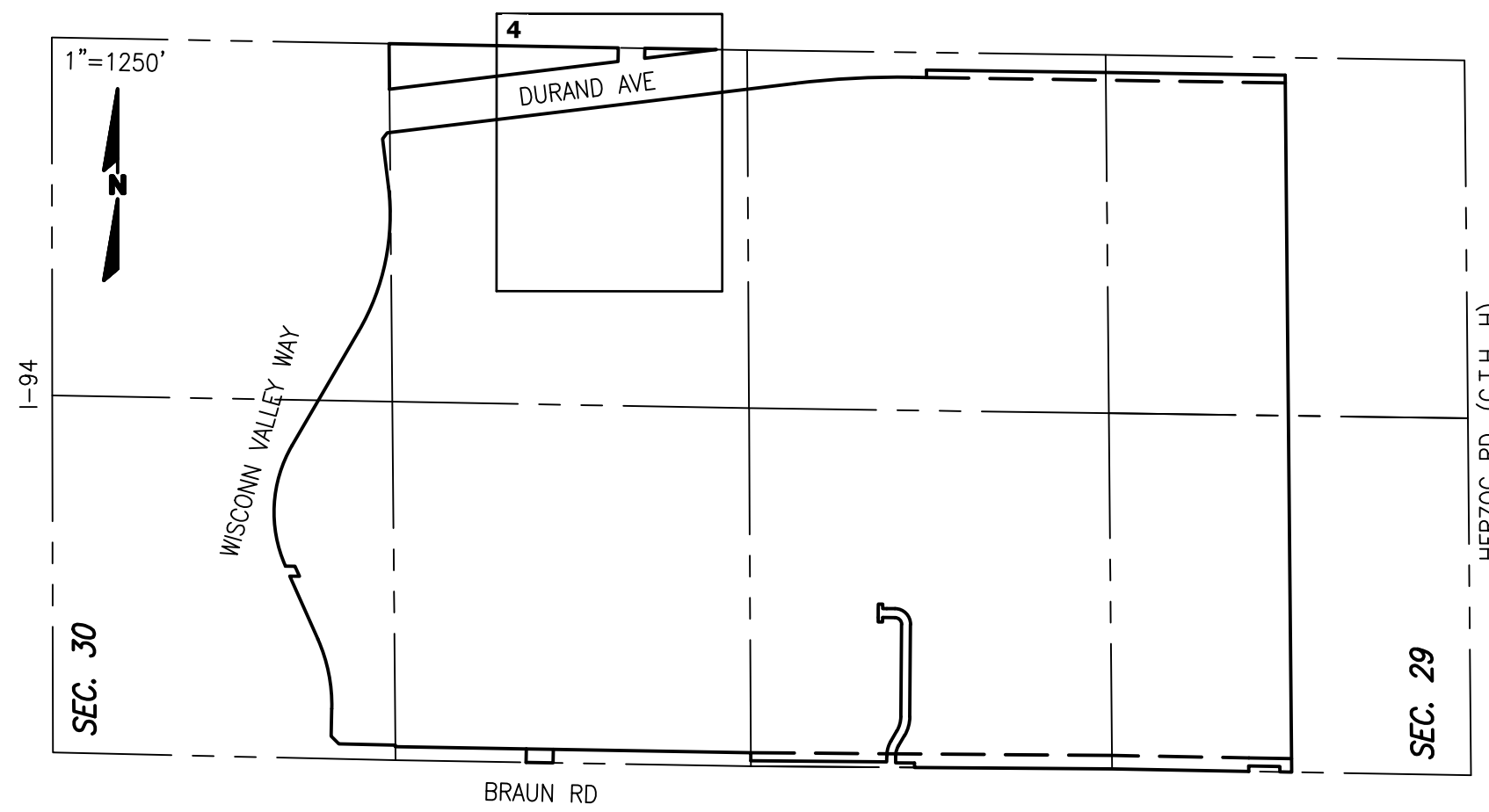
CHAPUT LAND SURVEYS

ALTA/NSPS LAND TITLE SURVEY

CLIENT
Dewberry

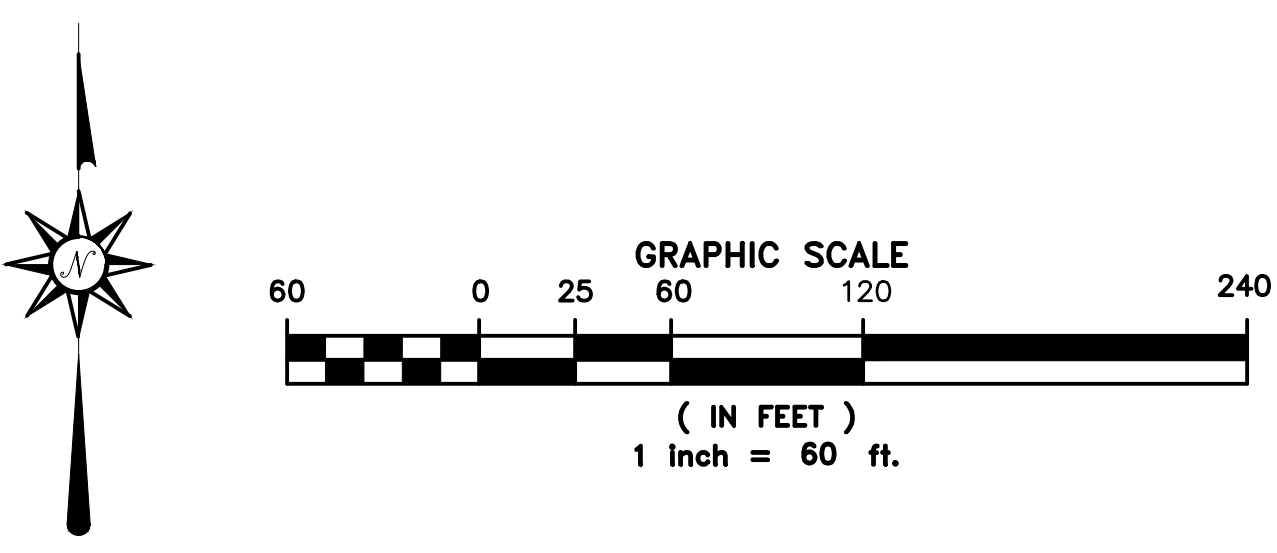
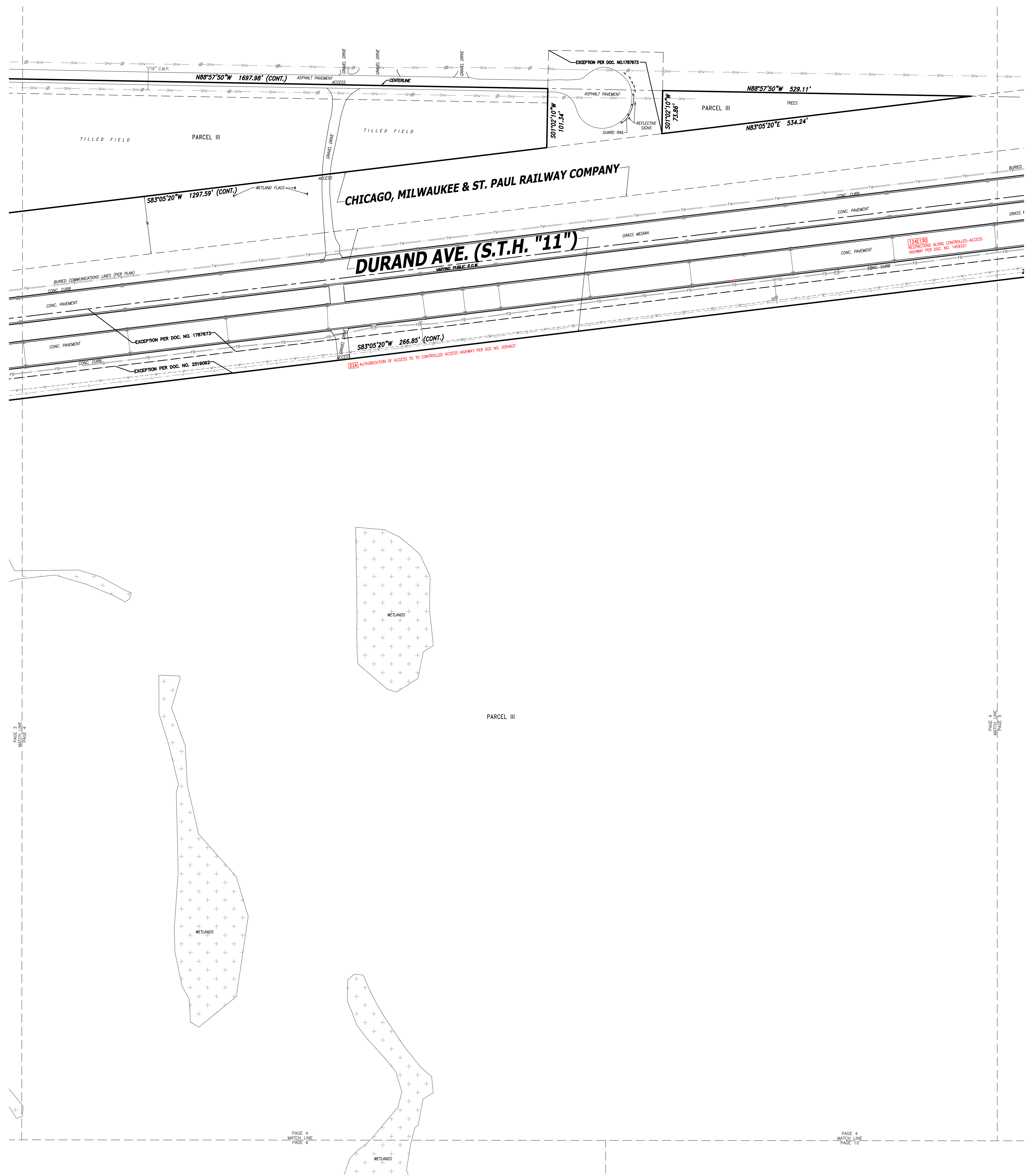
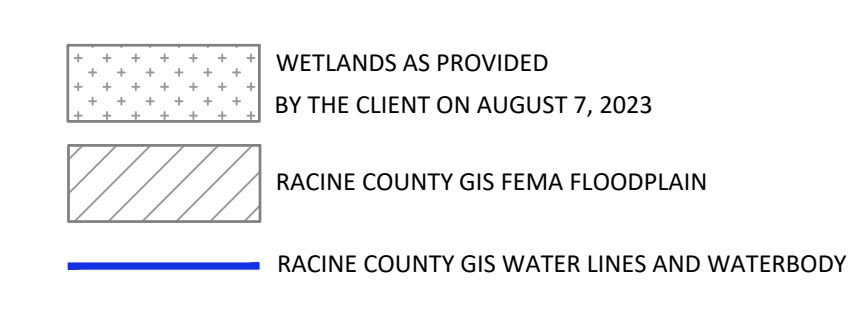
BASIS OF BEARINGS
Bearings are referenced to the Racine County Coordinate System(2011), in which the South line of the Southwest 1/4 of Section 29 bears N89°31'30"W.

VICINITY MAP
T11N, R19E.



LEGEND

● INDICATES FOUND 1" IRON PIPE	○ WALL INDICATOR VALVE	▲ MARSH
○ INDICATES SET 1" IRON PIPE	⊕ POST INDICATOR VALVE	⚡ FLAGPOLE
⊕ INDICATES FOUND CHISELED CROSS	⊕ LIGHT POLE	⊕ PARKING METER
○ SANITARY MANHOLE	⊕ SPOT/YARD LIGHT	⊕ SIGN
⊕ SANITARY CLEANOUT OR VENT	⊕ UTILITY POLE	⊕ MAILBOX
⊕ SEPTIC TANK ACCESS COVER	⊕ GUY WIRE	⊕ RAILROAD CROSSING SIGNAL
⊕ M.I.S. MANHOLE	⊕ ELECTRIC MANHOLE	⊕ HANICAP SPACE
⊕ UNKNOWN MANHOLE	⊕ ELECTRIC PEDESTAL	⊕ CONIFEROUS TREE
⊕ STORM MANHOLE	⊕ ELECTRIC METER	⊕ DECIDUOUS TREE
⊕ INLET (ROUND)	⊕ TELEPHONE MANHOLE	⊕ SANITARY SEWER
⊕ INLET (SQUARE)	⊕ TELEPHONE PEDESTAL	⊕ STORM SEWER
⊕ CURB INLET	⊕ CABLE PEDESTAL	⊕ WATERLINE
⊕ STORM SEWER END SECTION	⊕ CONTROL BOX	⊕ MARKED GAS MAIN
⊕ GAS VALVE	⊕ FIBER OPTIC PEDESTAL/SIGN	⊕ MARKED ELECTRIC
⊕ GAS METER	⊕ TRAFFIC LIGHT	⊕ MARKED TELEPHONE
⊕ HYDRANT	⊕ COMMUNICATION MANHOLE	⊕ MARKED CABLE TV LINE
⊕ WATER VALVE	⊕ BOLLARD	⊕ MARKED FIBER OPTIC
⊕ WATER MANHOLE	⊕ SOIL BORING/MONITORING WELL	⊕ BARRIED ELECTRIC SERVICE
⊕ WELL HEAD	⊕ WATER SURFACE	⊕ BOARD FENCE
⊕ WATER SERVICE CURB STOP	⊕ WETLANDS FLAG	⊕ CHAIN LINK FENCE
⊕ STAND PIPE		⊕ WIRE FENCE



PAGE 4 of 17
Date: September 14, 2023

Date	Revision description	lpm
Dec 8, 2023	Title update	lpm
Dec 11, 2023	comments	deb
Dec 14, 2023	comments	lpm
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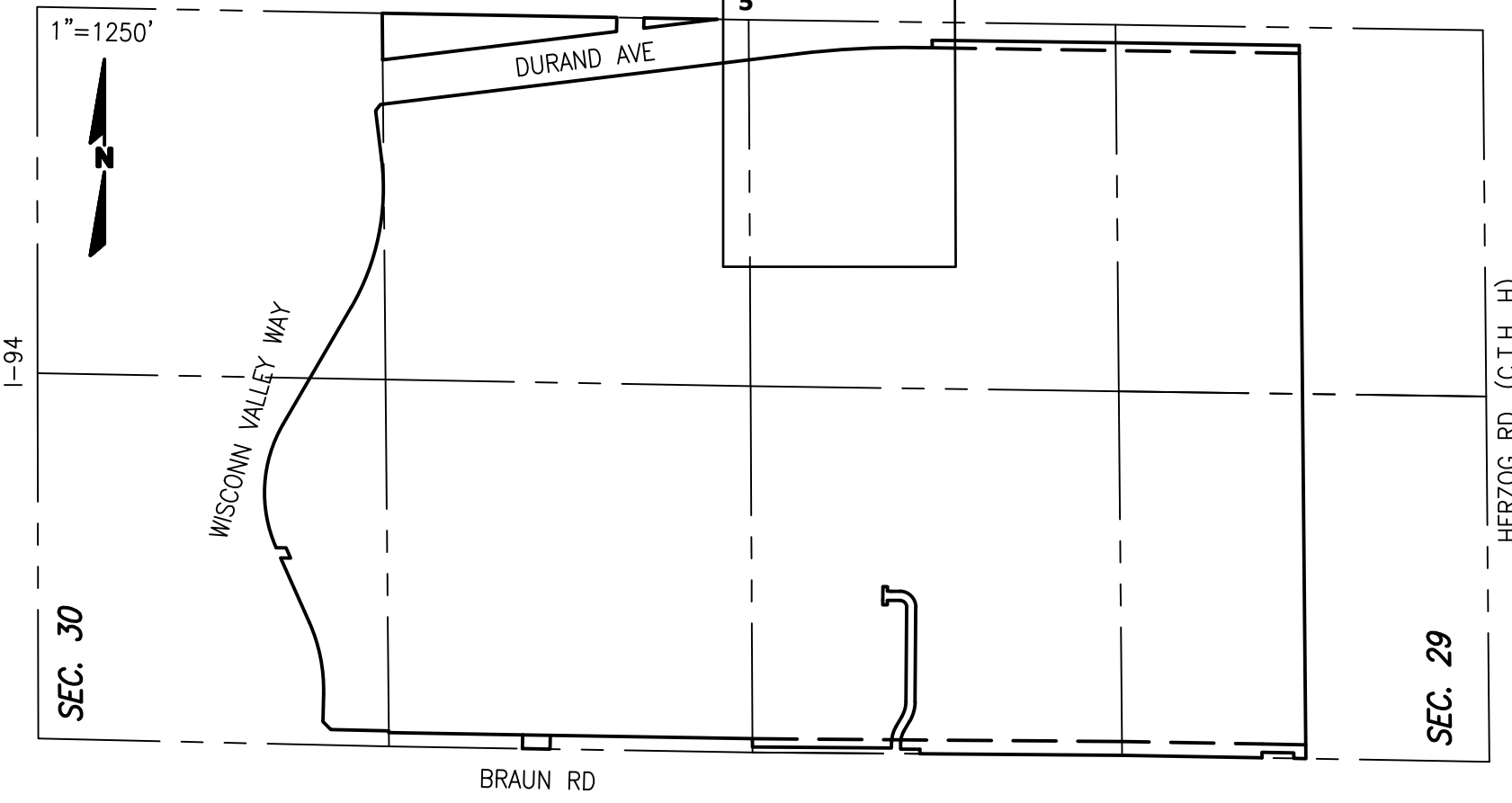
CHAPUT LAND SURVEYS

ALTA/NSPS LAND TITLE SURVEY

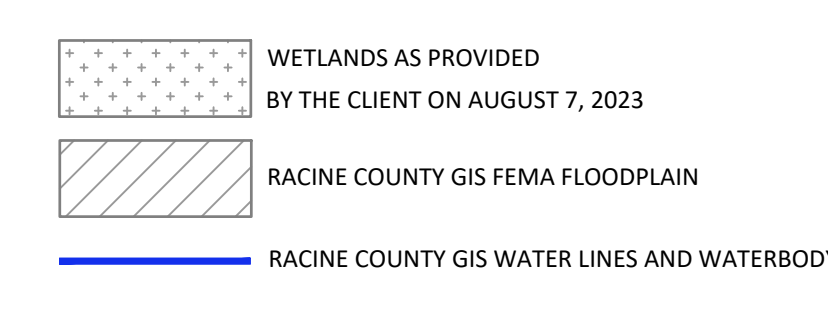
CLIENT
Dewberry

BASIS OF BEARINGS
Bearings are referenced to the Racine County Coordinate System(2011), in which the South line of the Southwest 1/4 of Section 29 bears N89°33'36"W.

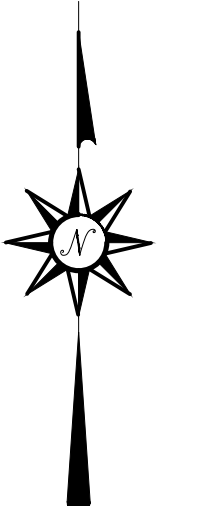
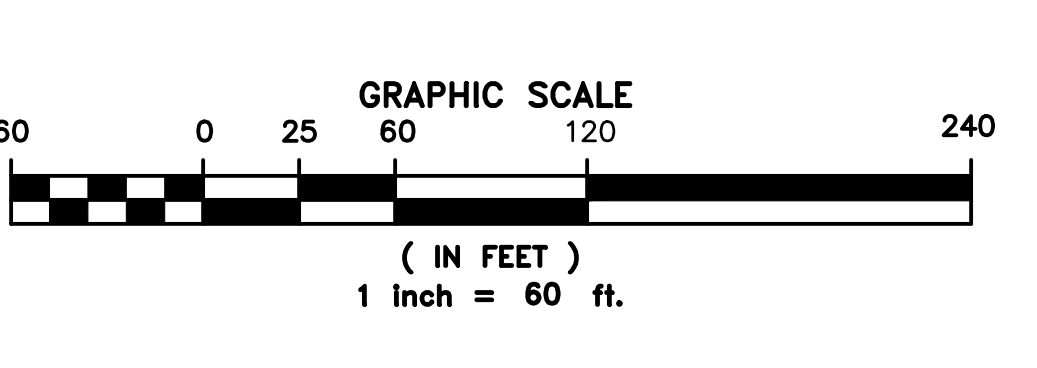
VICINITY MAP
T11N, R19E



LEGEND			
●	INDICATES FOUND 1" IRON PIPE	▲	MARSH
○	INDICATES SET 1" IRON PIPE	▬	FLAGPOLE
+	INDICATES FOUND CHISELED CROSS	⊕	PARKING METER
⊕	SANITARY MANHOLE	⊕	SIGN
⊕	SANITARY CLEANOUT OR VENT	⊕	WALBBOX
⊕	SEPTIC TANK ACCESS COVER	⊕	RAILROAD CROSSING SIGNAL
⊕	M.I.S. MANHOLE	⊕	HANDICAP SPACE
⊕	UNKNOWN MANHOLE	⊕	CONIFEROUS TREE
⊕	ELECTRIC PEDESTAL	⊕	DECIDUOUS TREE
⊕	ELECTRIC METER	⊕	SANITARY SEWER
⊕	TELEPHONE MANHOLE	⊕	STORM SEWER
⊕	TELEPHONE PEDESTAL	⊕	WATERLINE
⊕	CABLE PEDESTAL	⊕	OVERHEAD WIRES
⊕	CONTROL BOX	⊕	MARKED GAS MAIN
⊕	FIBER OPTIC PEDESTAL/SIGN	⊕	MARKED ELECTRIC
⊕	TRAFFIC LIGHT	⊕	MARKED TELEPHONE
⊕	WATER VALVE	⊕	MARKED CABLE TV LINE
⊕	HYDRANT	⊕	MARKED FIBER OPTIC
⊕	WATER MANHOLE	⊕	BURIED ELECTRIC SERVICE
⊕	WATER SERVICE CURB STOP	⊕	BOARD FENCE
⊕	WELL HEAD	⊕	CHAIN LINK FENCE
⊕	STAND PIPE	⊕	WIRE FENCE



(124) (130)
CONVEYANCE ACCESS HIGHWAY
& AUTHORIZATION DOC. NO.
#185577
(123) (128) (129) (132)
#17141 GRANTED ACCESS TO WELL
LOCATED ON #12127 FOR LIMITED
EASEMENT DOC. NO. 2419975 AND 922144
(123) (131)
#17141 AND #12127 TO HAVE
A SHARED DRAINAGE EASEMENT
DOC. NO. 2208032

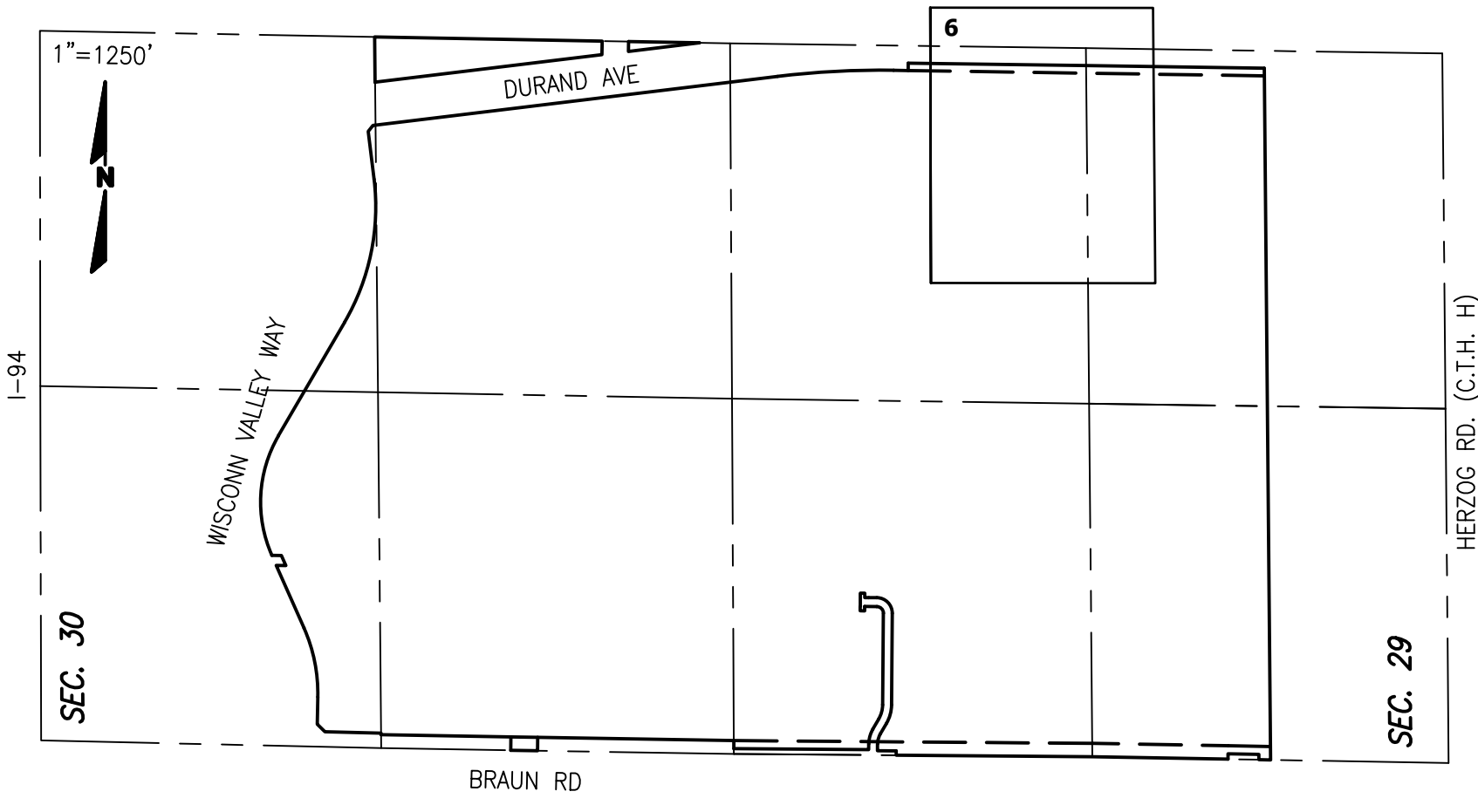


CHAPUT LAND SURVEYS

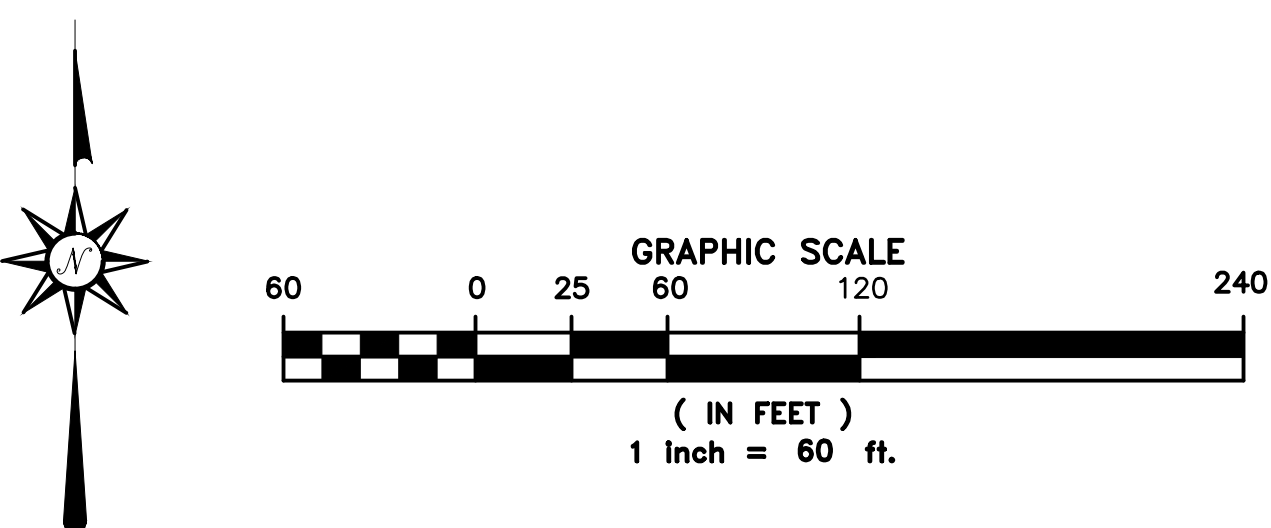
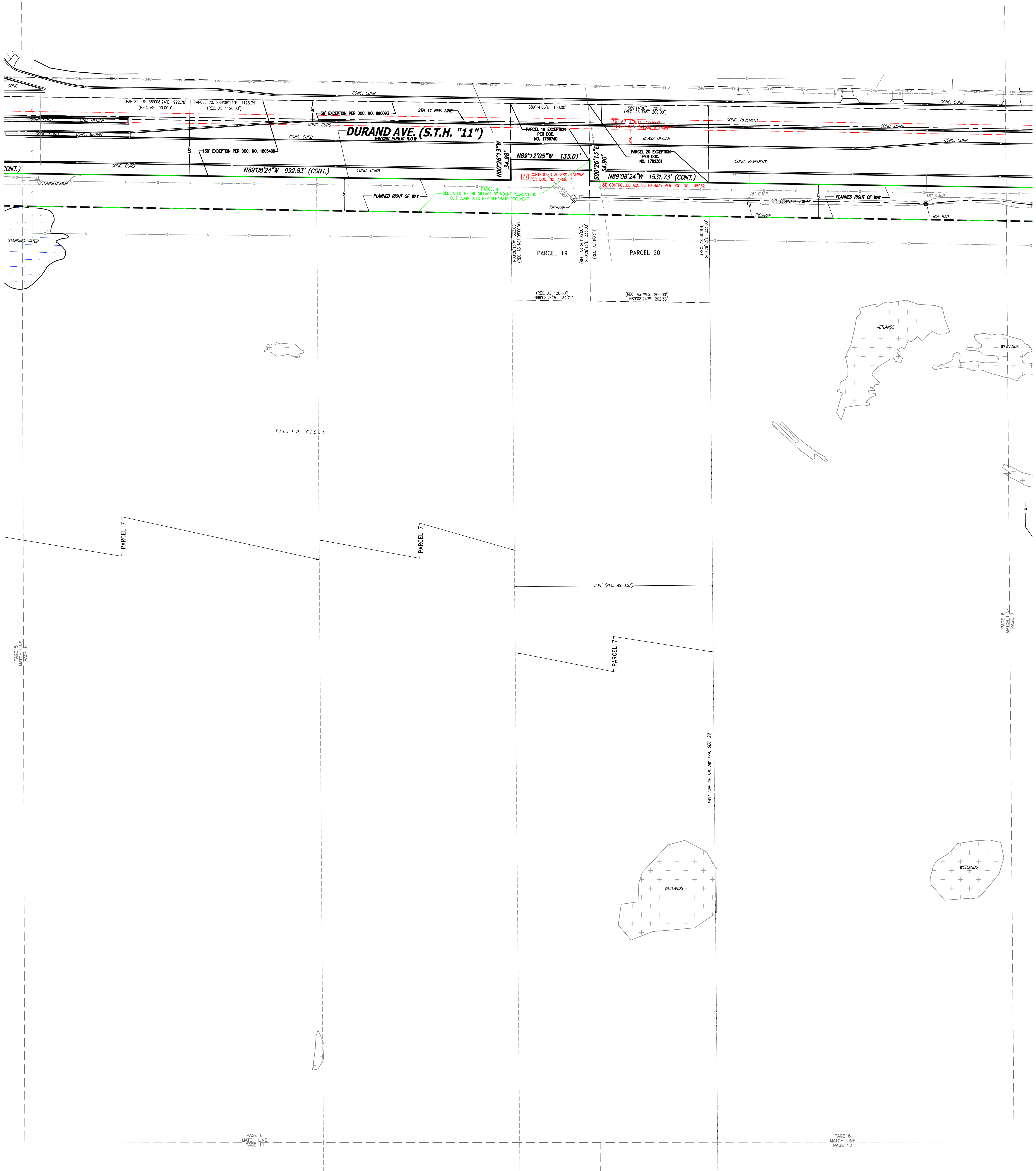
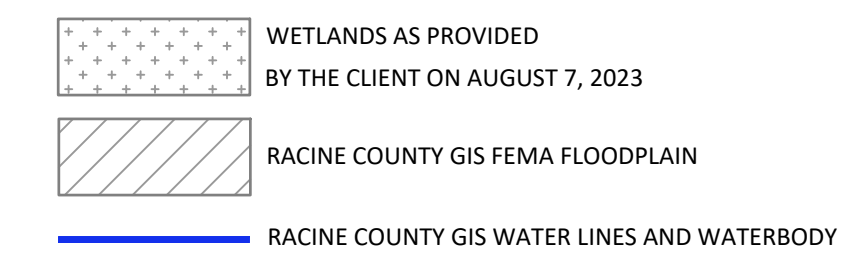
ALTA/NSPS LAND TITLE SURVEY

CLIENT
Dewberry
BASIS OF BEARINGS
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VICINITY MAP
T11N, R19E.



LEGEND			
●	INDICATES FOUND 1" IRON PIPE	○	WALL INDICATOR VALVE
+	INDICATES FOUND CHSELD CROSS	+	POST INDICATOR VALVE
○	SANITARY MANHOLE	⊕	LIGHT POLE
⊕	SANITARY CLEAFOUT OR VENT	⊕	SPOT/YARD LIGHT
⊕	SEPTIC TANK ACCESS COVER	⊕	UTILITY POLE
⊕	UNKNOWEN MANHOLE	⊕	GUY POLE
⊕	M.S. MANHOLE	⊕	ELECTRIC MANHOLE
⊕	UNKNOWEN MANHOLE	⊕	ELECTRIC PEDESTAL
⊕	STORM MANHOLE	⊕	ELECTRIC METER
⊕	INLET (ROUND)	⊕	TELEPHONE MANHOLE
⊕	INLET (SQUARE)	⊕	TELEPHONE PEDESTAL
⊕	CURB INLET	⊕	CABLE PEDESTAL
⊕	STORM SEWER END SECTION	⊕	CONTROL BOX
⊕	GAS VALVE	⊕	FIBER OPTIC PEDESTAL/SIGN
⊕	GAS METER	⊕	TRAFFIC LIGHT
⊕	WATER VALVE	⊕	COMMUNICATION MANHOLE
⊕	HYDRANT	⊕	SOIL BORING/MONITORING WELL
⊕	WATER MANHOLE	⊕	WATER SURFACE
⊕	WATER SERVICE CURB STOP	⊕	WETLANDS FLAG
⊕	WELL HEAD		
⊕	STAND PIPE		



PAGE 6 of 17
Date: September 14, 2023

Date	Revision description	lpm
Dec 8, 2023	Title update	lpm
Dec 11, 2023	comments	deb
Dec 14, 2023	comments	lpm
Mar 11, 2024	comments	lpm

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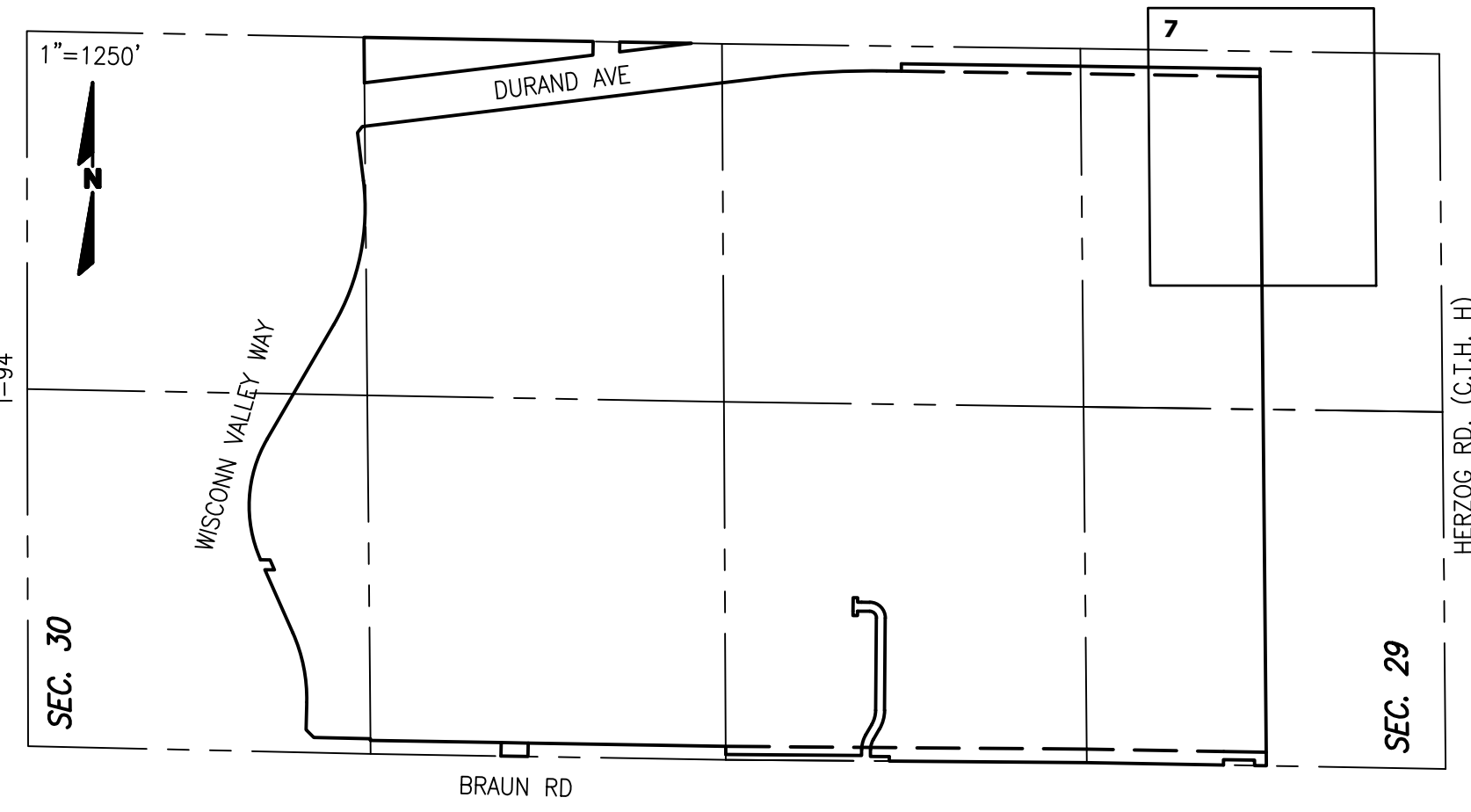
DRAFTED BY: tom
Drawing No. 4404

ALTA/NSPS LAND TITLE SURVEY

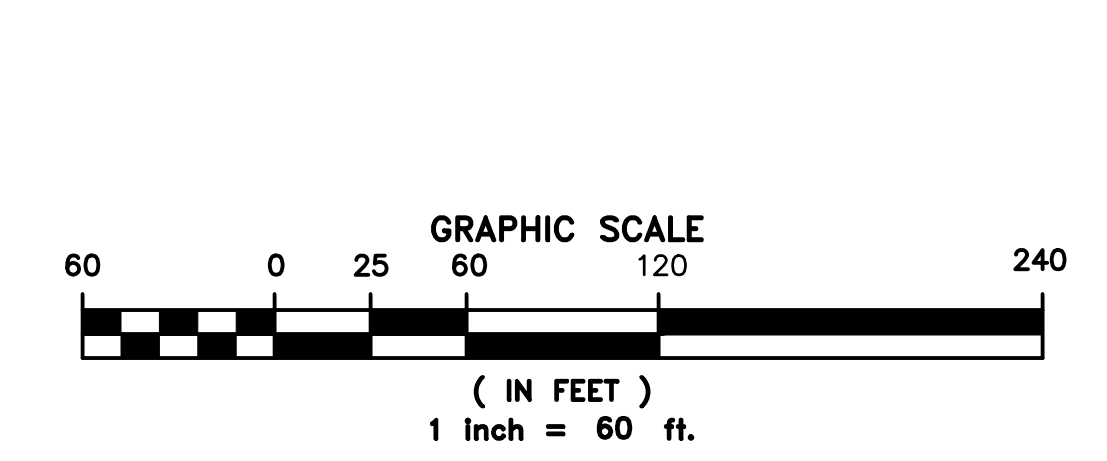
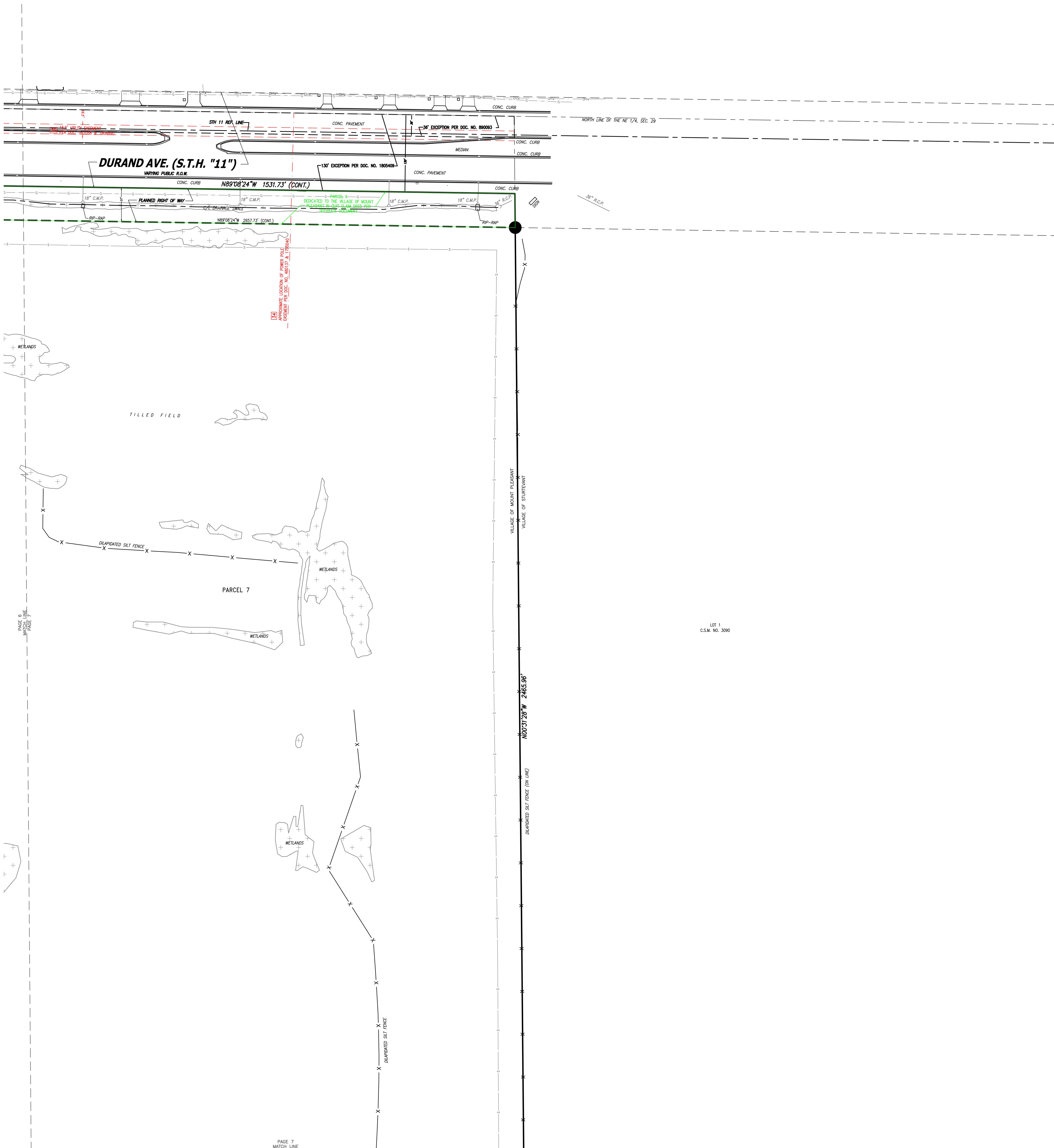
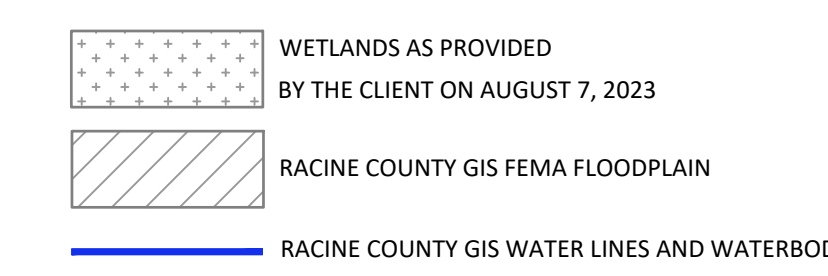
CLIENT
Dewberry

BASIS OF BEARINGS
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VICINITY MAP
T11N, R19E.



LEGEND	
● INDICATES FOUND 1" IRON PIPE	○ WALL INDICATOR VALVE
○ INDICATES SET 1" IRON PIPE	⊕ POST INDICATOR VALVE
⊕ INDICATES FOUND CHISELED CROSS	⊕ LIGHT POLE
⊕ SANITARY MANHOLE	⊕ SPOT/ROAD LIGHT
⊕ SANITARY CLEANOUT OR VENT	⊕ UTILITY POLE
⊕ SEPTIC TANK ACCESS COVER	⊕ GUY POLE
⊕ M.I.S. MANHOLE	⊕ GUY WIRE
⊕ UNKNOWN MANHOLE	⊕ ELECTRIC MANHOLE
⊕ STORM MANHOLE	⊕ ELECTRIC PEDESTAL
⊕ INLET (ROUND)	⊕ ELECTRIC METER
⊕ INLET (SQUARE)	⊕ TELEPHONE MANHOLE
⊕ CURB INLET	⊕ TELEPHONE PEDESTAL
⊕ STORM SEWER END SECTION	⊕ CABLE PEDESTAL
⊕ GAS VALVE	⊕ CONTROL BOX
⊕ GAS METER	⊕ FIBER OPTIC PEDESTAL/SIGN
⊕ WATER VALVE	⊕ TRAFFIC LIGHT
⊕ HYDRANT	⊕ COMMUNICATION MANHOLE
⊕ WATER MANHOLE	⊕ BOLLARD
⊕ WATER SERVICE CURB STOP	⊕ SON BORING/MONITORING WELL
⊕ WELL HEAD	⊕ WATER SURFACE
⊕ STAND PIPE	⊕ WETLANDS FLAG
⊕ MARSH	⊕ FLAGPOLE
⊕ PARKING METER	⊕ SIGN
⊕ MAILBOX	⊕ RAILROAD CROSSING SIGNAL
⊕ HANDICAP SPACE	⊕ CONIFEROUS TREE
⊕ DECIDUOUS TREE	⊕ SANITARY SEWER
⊕ STORM SEWER	⊕ WATER LINE
⊕ MARKED GAS MAIN	⊕ MARKED ELECTRIC
⊕ OVERHEAD WIRE	⊕ MARKED TELEPHONE
⊕ MARKED CABLE TV LINE	⊕ MARKED FIBER OPTIC
⊕ BURIED ELECTRIC SERVICE	⊕ BOARD FENCE
⊕ CHAIN LINK FENCE	⊕ WIRE FENCE



PAGE 7 of 17
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Dec 14, 2023	comments	deb
Mar 11, 2024	comments	lpm

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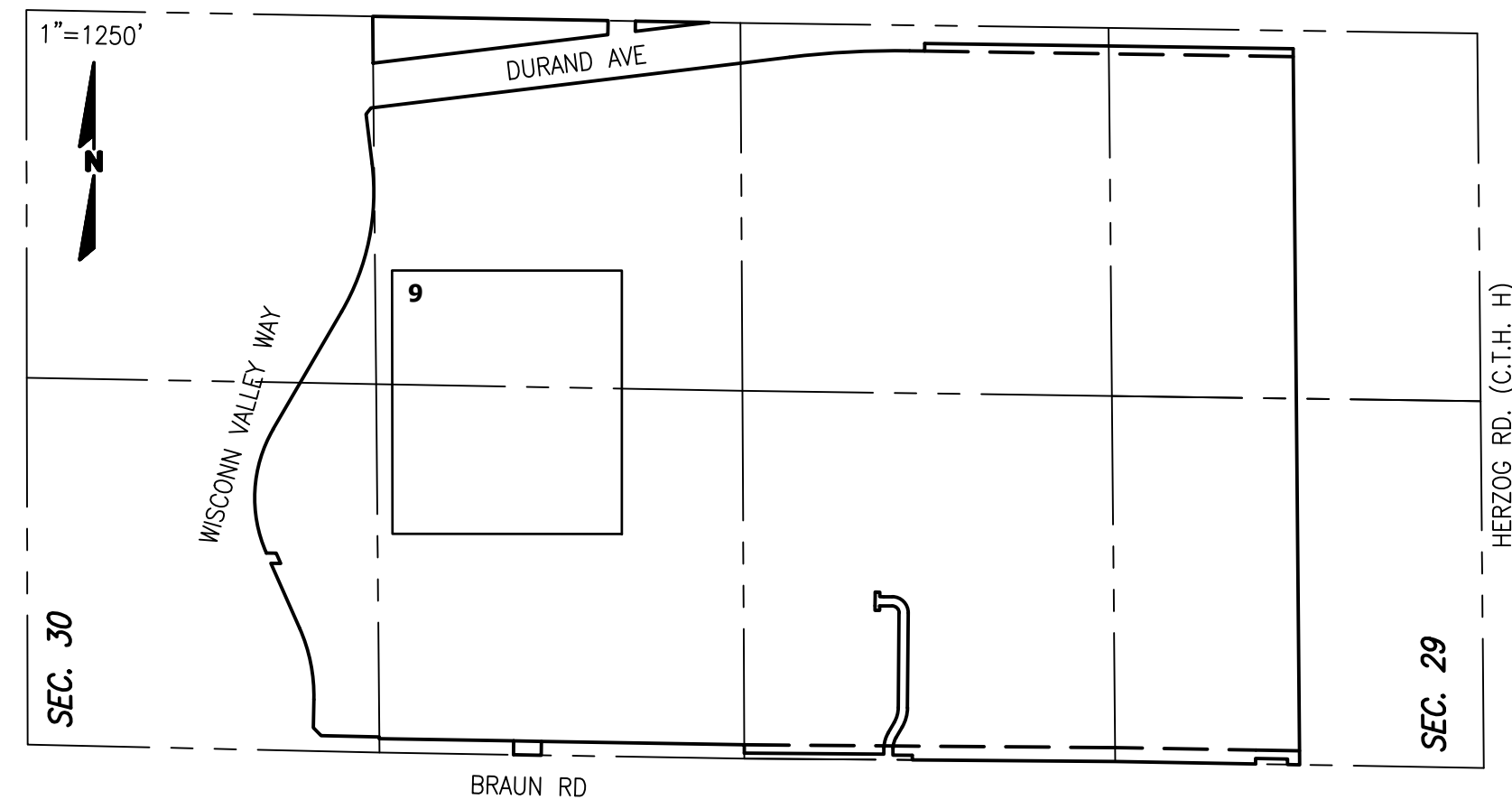
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Drawing No. 4404

CHAPUT LAND SURVEYS

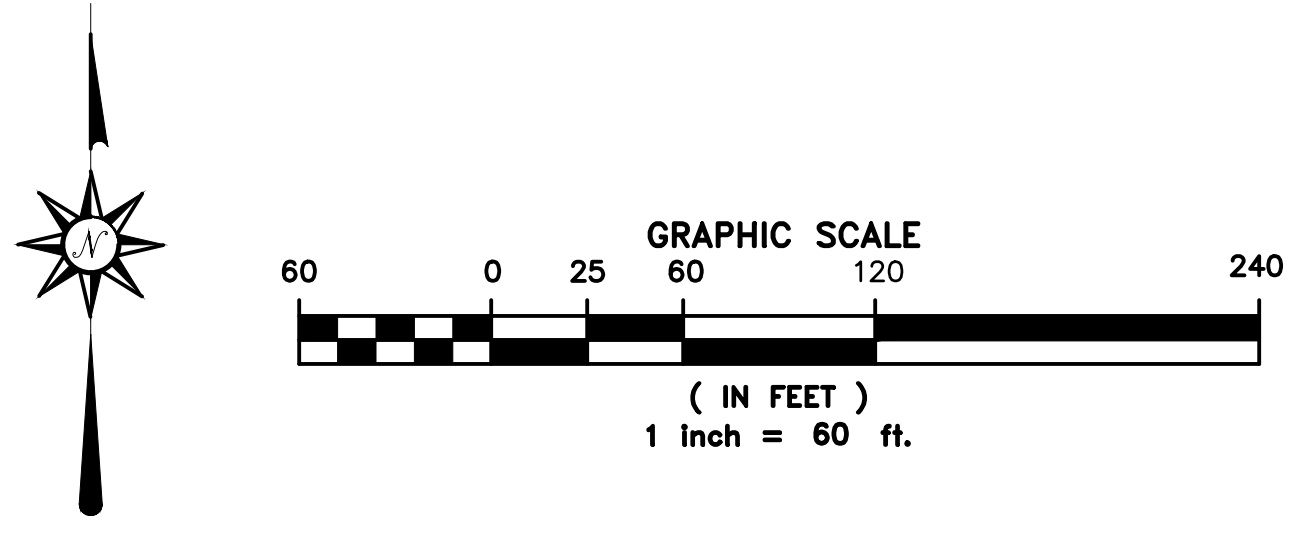
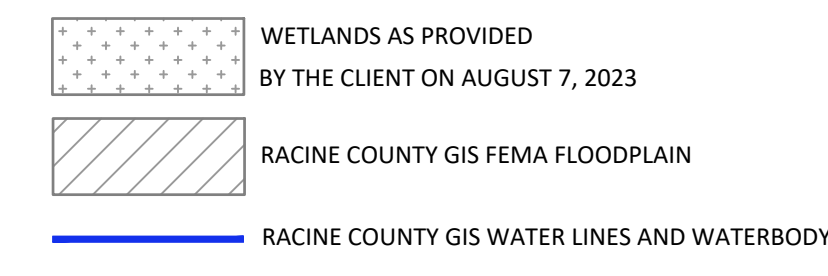
ALTA/NSPS LAND TITLE SURVEY

CLIENT
Dewberry
BASIS OF BEARINGS
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VICINITY MAP
T11N, R19E.



LEGEND	
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○ INDICATES SET 1" IRON PIPE	⌋ POST INDICATOR VALVE
⊕ INDICATES FOUND CHISELED CROSS	⌈ LIGHT POLE
○ SANITARY MANHOLE	⊕ SPOT/YARD LIGHT
⌋ SANITARY CLEANOUT OR VENT	⌋ UTILITY POLE
⊕ SEPTIC TANK ACCESS COVER	⌋ GUY WIRE
○ M.I.S. MANHOLE	⊕ ELECTRIC MANHOLE
○ UNKNOWN MANHOLE	⊕ ELECTRIC PEDESTAL
○ STORM MANHOLE	⊕ ELECTRIC METER
○ INLET (ROUND)	⊕ TELEPHONE MANHOLE
⊕ INLET (SQUARE)	⊕ TELEPHONE PEDESTAL
⊕ CURB INLET	⊕ CABLE PEDESTAL
⌋ STORM SEWER END SECTION	⊕ CONTROL BOX
⌋ GAS VALVE	⊕ FIBER OPTIC PEDESTAL/SIGN
⊕ GAS METER	⊕ TRAFFIC LIGHT
⊕ WATER VALVE	⊕ COMMUNICATION MANHOLE
⊕ HYDRANT	⊕ BOLLARD
⊕ WATER MANHOLE	⊕ SOL. BORING/MONITORING WELL
⊕ WELL HEAD	⊕ WATER SURFACE
⊕ WATER SERVICE CURB STOP	⊕ WETLANDS FLAG
⊕ STAND PIPE	
	▲ MARSH
	⌋ FLAGPOLE
	⌋ PARKING METER
	⌋ SIGN
	⊕ MAIL BOX
	⌋ GUY POLE
	⌋ RAILROAD CROSSING SIGNAL
	⌋ HANDICAP SPACE
	⌋ CONIFEROUS TREE
	⊕ DECIDUOUS TREE
	⌋ SANITARY SEWER
	⌋ STORM SEWER
	⌋ WATERLINE
	⌋ MARKED GAS MAIN
	⌋ MARKED ELECTRIC
	⌋ OVERHEAD WIRES
	⌋ MARKED TELEPHONE
	⌋ MARKED CABLE TV LINE
	⌋ MARKED FIBER OPTIC
	⌋ BURIED ELECTRIC SERVICE
	⌋ BOARD FENCE
	⌋ CHAIN LINK FENCE
	⌋ WIRE FENCE



PAGE 9 of 17
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DRAFTED BY: tom
Drawing No. 4404

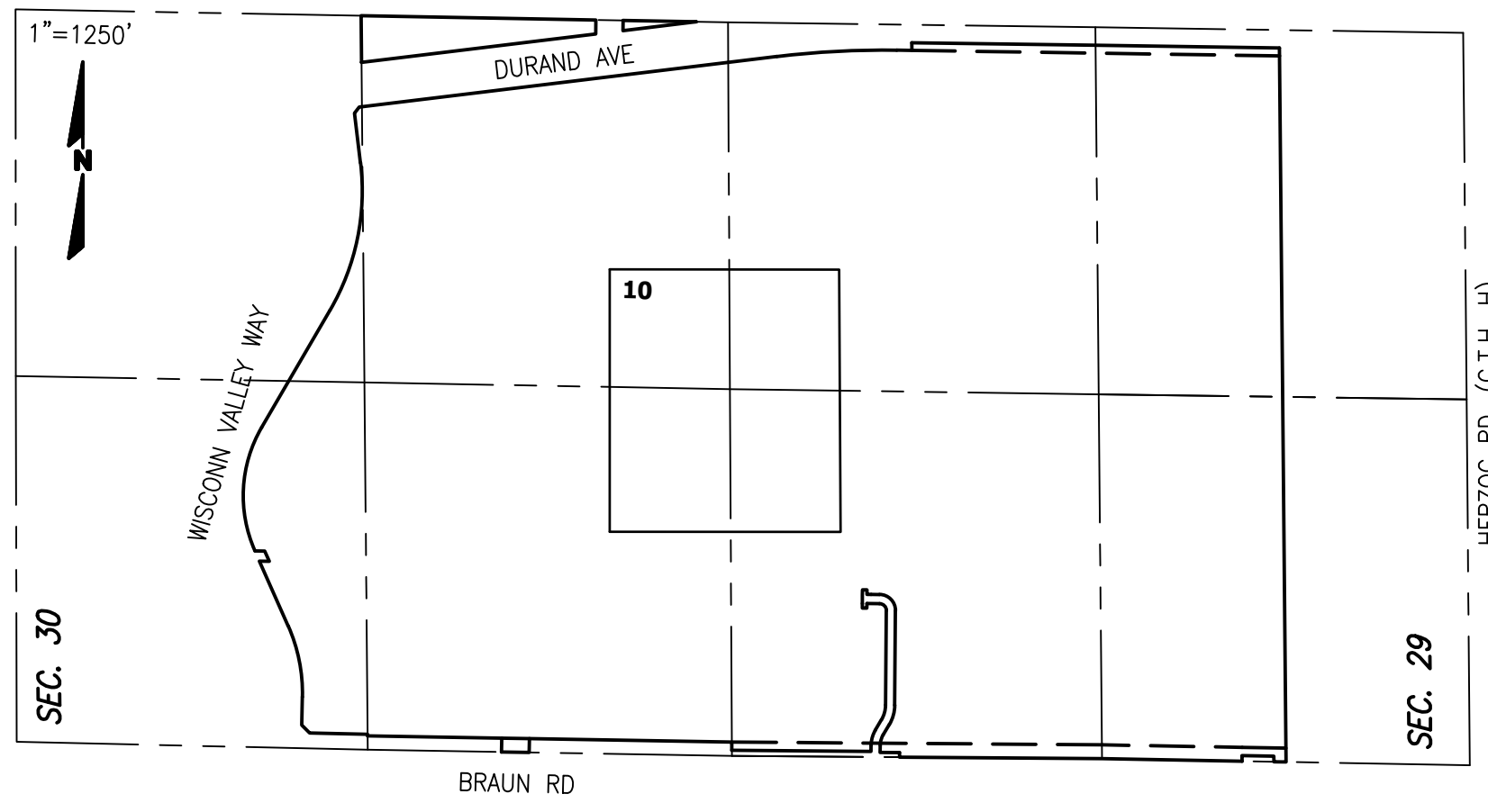
CHAPUT LAND SURVEYS

ALTA/NSPS LAND TITLE SURVEY

CLIENT
Dowberry

DATE OF BEARINGS
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VICINITY MAP
T11N, R19E

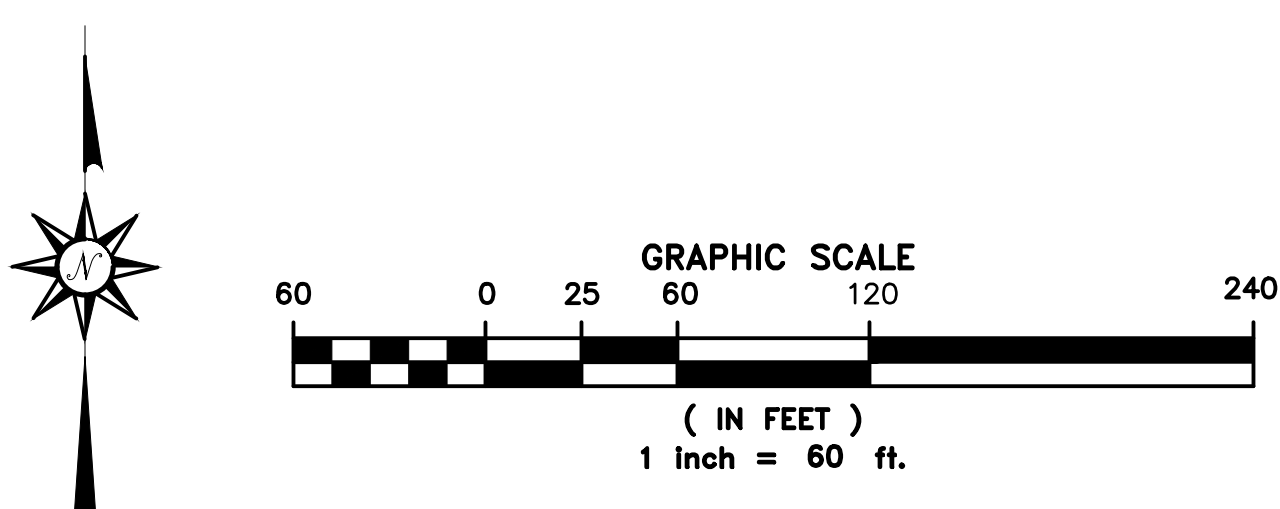
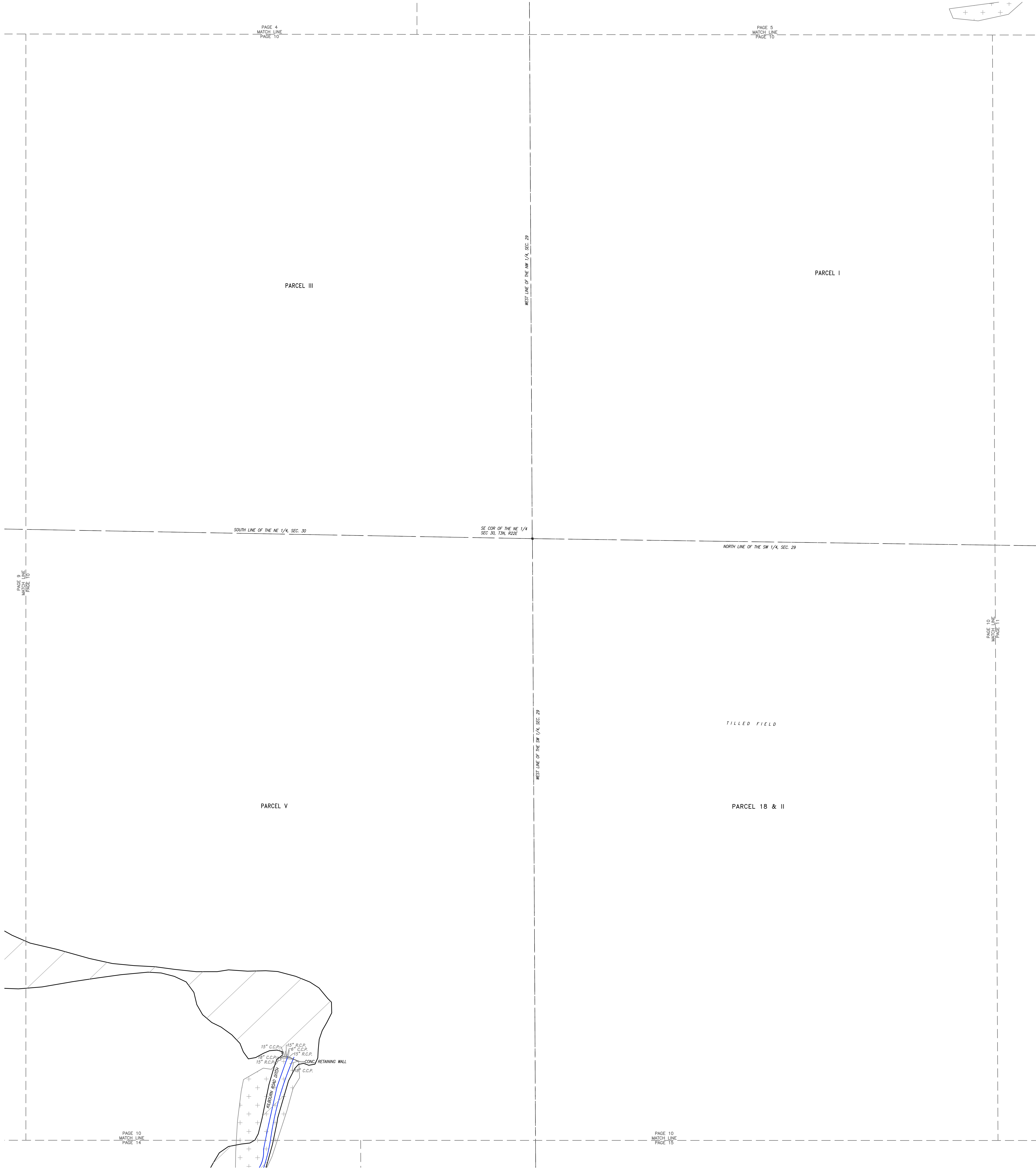


LEGEND		
● INDICATES FOUND 1" IRON PIPE	○ WALL INDICATOR VALVE	▲ MARSH
○ INDICATES SET 1" IRON PIPE	⊥ POST INDICATOR VALVE	▴ FLAGPOLE
⊕ INDICATES FOUND CHISELED CROSS	⊥ LIGHT POLE	● PARKING METER
○ SANITARY MANHOLE	⊙ SPOT/YARD LIGHT	⊖ SIGN
⊕ SANITARY CLEANOUT OR VENT	⊙ UTILITY POLE	⊙ MAILBOX
⊙ SEPTIC TANK ACCESS COVER	⊙ GUY POLE	⊙ RAILROAD CROSSING SIGNAL
⊙ M.I.S. MANHOLE	⊙ GUY WIRE	⊙ HANDICAP SPACE
○ UNKNOWN MANHOLE	⊙ ELECTRIC MANHOLE	⊙ CONIFEROUS TREE
○ INLET (ROUND)	⊙ ELECTRIC PEDESTAL	⊙ DECIDUOUS TREE
⊙ INLET (SQUARE)	⊙ ELECTRIC METER	⊙ SANITARY SEWER
⊙ STORM MANHOLE	⊙ TELEPHONE MANHOLE	⊙ STORM SEWER
⊙ CURB INLET	⊙ TELEPHONE PEDESTAL	⊙ WATERLINE
⊙ STORM SEWER END SECTION	⊙ CABLE PEDESTAL	⊙ MARKED GAS MAIN
⊙ GAS VALVE	⊙ CONTROL BOX	⊙ MARKED ELECTRIC
⊙ GAS METER	⊙ FIBER OPTIC PEDESTAL/SIGN	⊙ OVERHEAD WIRE
⊙ WATER VALVE	⊙ TRAFFIC LIGHT	⊙ MARKED TELEPHONE
⊙ HYDRANT	⊙ COMMUNICATION MANHOLE	⊙ MARKED CABLE TV LINE
⊙ WATER MANHOLE	⊙ BOLLARD	⊙ MARKED FIBER OPTIC
⊙ WATER SERVICE CURB STOP	⊙ SOIL BORING/MONITORING WELL	⊙ BURIED ELECTRIC SERVICE
⊙ WELL HEAD	⊙ WATER SURFACE	⊙ BOARD FENCE
⊙ STAND PIPE	⊙ WETLANDS FLAG	⊙ CHAIN LINK FENCE
		⊙ WIRE FENCE

WETLANDS AS PROVIDED
BY THE CLIENT ON AUGUST 7, 2023

RACINE COUNTY GIS FEMA FLOODPLAIN

RACINE COUNTY GIS WATER LINES AND WATERBODY



PAGE 10 of 17
Date: September 14, 2023

Date	Revision description	lpm
Dec 8, 2023	Title update	lpm
Dec 11, 2023	comments	deb
Dec 14, 2023	comments	lpm
Mar 11, 2024	comments	lpm

234 W. Florida Street
Milesaukee, WI 53304
414-336-6968
www.chaputlandsurveys.com

DRAFTED BY: tom
Drawing No. 4404

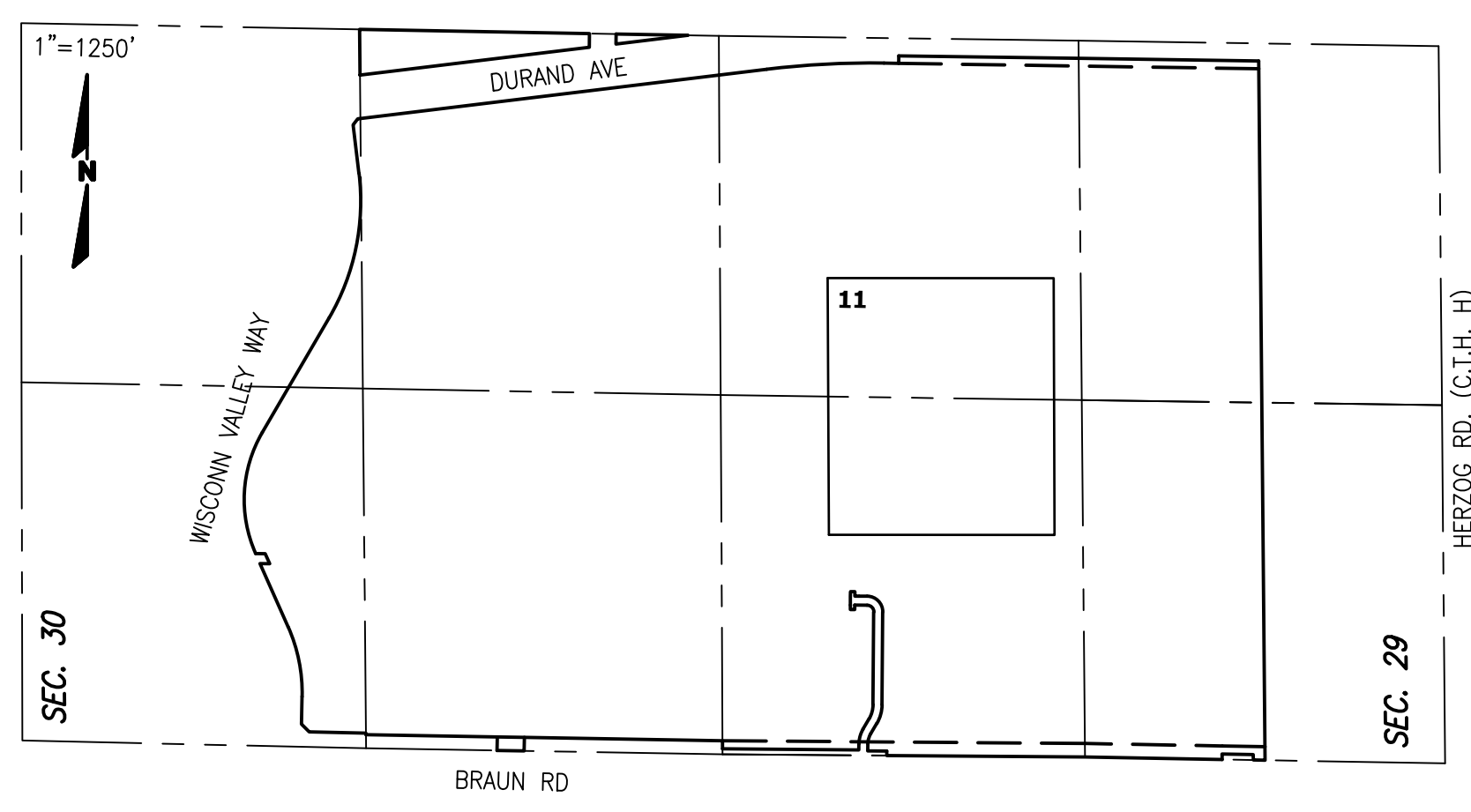
CHAPUT LAND SURVEYS

ALTA/NSPS LAND TITLE SURVEY

CLIENT
Dewberry

BASIS OF BEARINGS
Bearings are referenced to the Racine County Coordinate System (2011), in which the South line of the Southwest 1/4 of Section 29 bears N89°33'36"W.

VICINITY MAP
T11N, R19E.

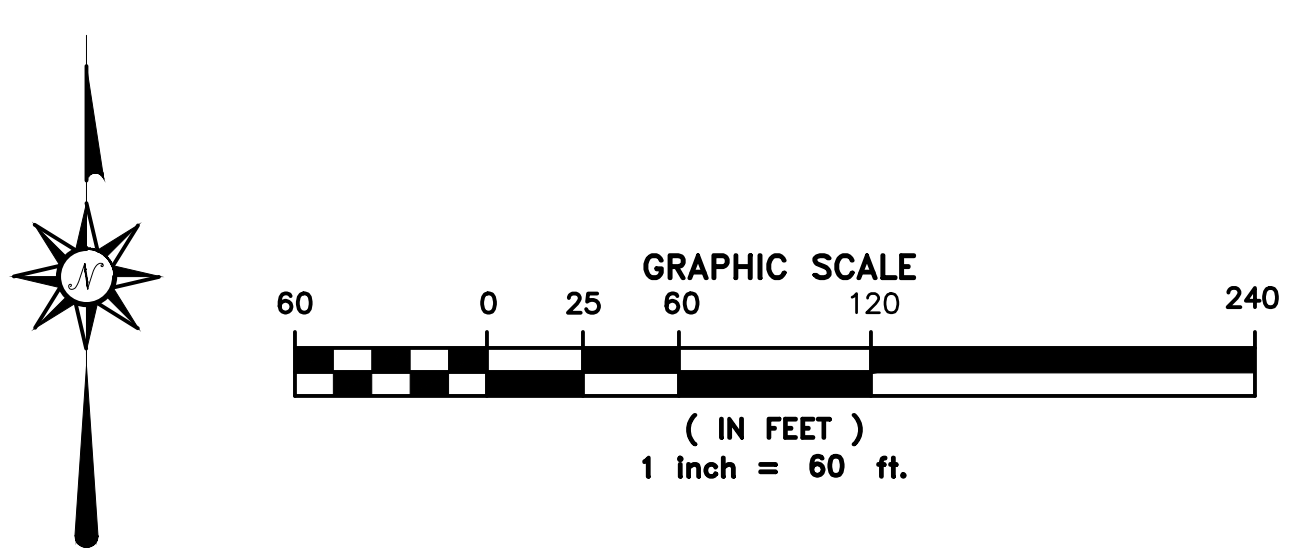
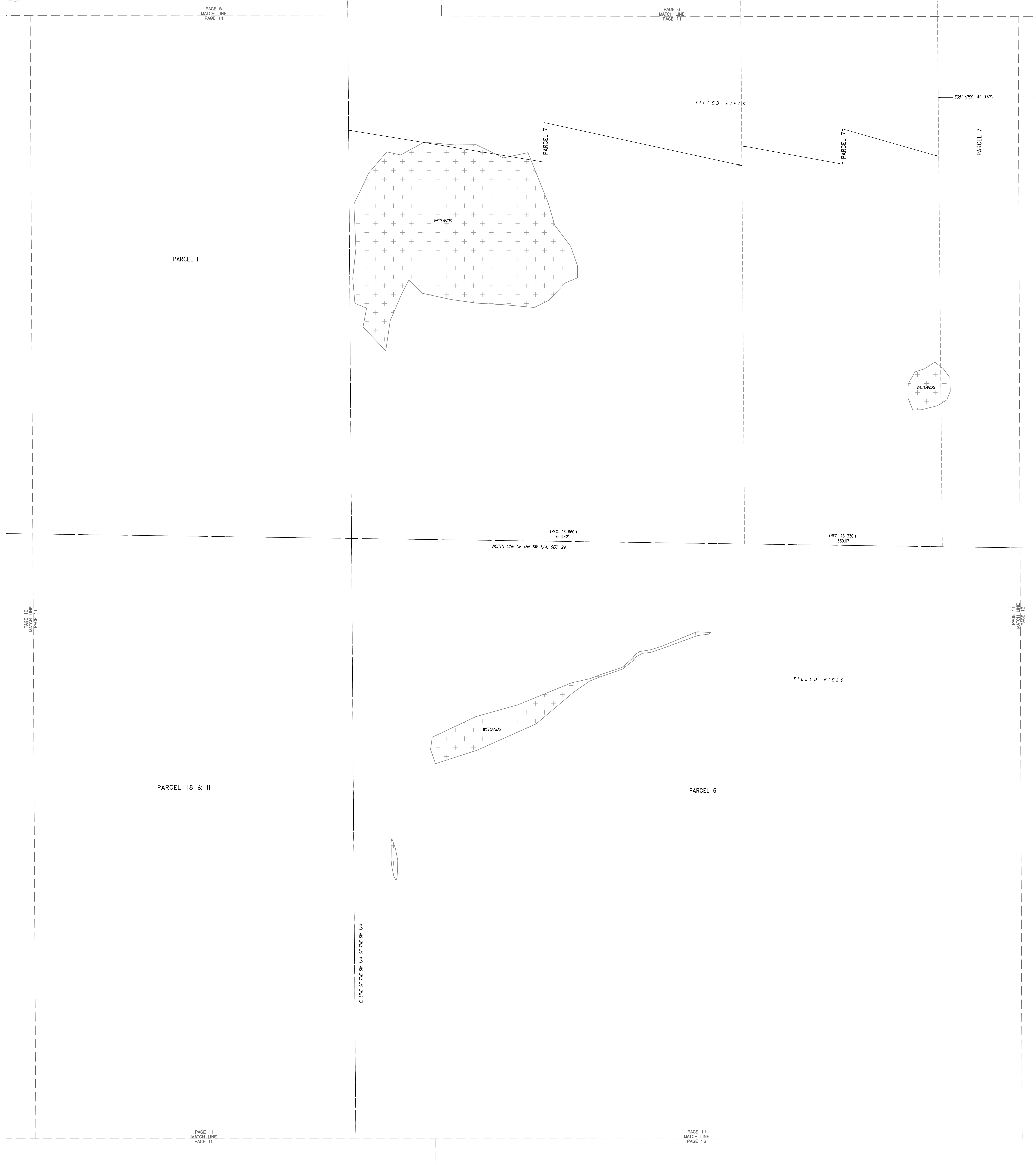


LEGEND		
● INDICATES FOUND 1" IRON PIPE	○ WALL INDICATOR VALVE	■ MARSH
○ INDICATES SET 1" IRON PIPE	† POST INDICATOR VALVE	□ FLAGPOLE
✦ INDICATES FOUND CHISELED CROSS	⊕ LIGHT POLE	⊕ PARKING METER
○ SANITARY MANHOLE	⊙ SPOT/YARD LIGHT	⊙ SIGN
⊕ SANITARY CLEANOUT OR VENT	⊕ UTILITY POLE	⊕ MAILBOX
○ SEPTIC TANK ACCESS COVER	⊕ GUY WIRE	⊕ RAILROAD CROSSING SIGNAL
⊕ M.S. MANHOLE	⊕ GUY POLE	⊕ HANDBALL SPACE
○ UNKNOWN MANHOLE	⊕ ELECTRIC MANHOLE	⊕ CONIFEROUS TREE
○ STORM MANHOLE	⊕ ELECTRIC PEDESTAL	⊕ DECIDUOUS TREE
○ INLET (ROUND)	⊕ ELECTRIC METER	⊕ SANITARY SEWER
○ INLET (SQUARE)	⊕ TELEPHONE MANHOLE	⊕ STORM SEWER
⊕ CURB INLET	⊕ TELEPHONE PEDESTAL	⊕ WETLAND
⊕ STORM SEWER END SECTION	⊕ CABLE PEDESTAL	⊕ MARKED GAS MAIN
⊕ GAS VALVE	⊕ FIBER OPTIC PEDESTAL/SIGN	⊕ MARKED ELECTRIC
⊕ GAS METER	⊕ TRAFFIC LIGHT	⊕ MARKED TELEPHONE
⊕ WATER VALVE	⊕ COMMUNICATION MANHOLE	⊕ MARKED CABLE TV LINE
⊕ HYDRANT	⊕ DOLLARD	⊕ MARKED FIBER OPTIC
⊕ WATER MANHOLE	⊕ SOIL BORING/MONITORING WELL	⊕ BURIED ELECTRIC SERVICE
⊕ WATER SERVICE CURB STOP	⊕ WATER SURFACE	⊕ BOARD FENCE
⊕ WELL HEAD	⊕ WETLANDS FLAG	⊕ CHAIN LINK FENCE
⊕ STAND PIPE		⊕ WIRE FENCE

WETLANDS AS PROVIDED
BY THE CLIENT ON AUGUST 7, 2023

RACINE COUNTY GIS FEMA FLOODPLAIN

RACINE COUNTY GIS WATER LINES AND WATERBODY



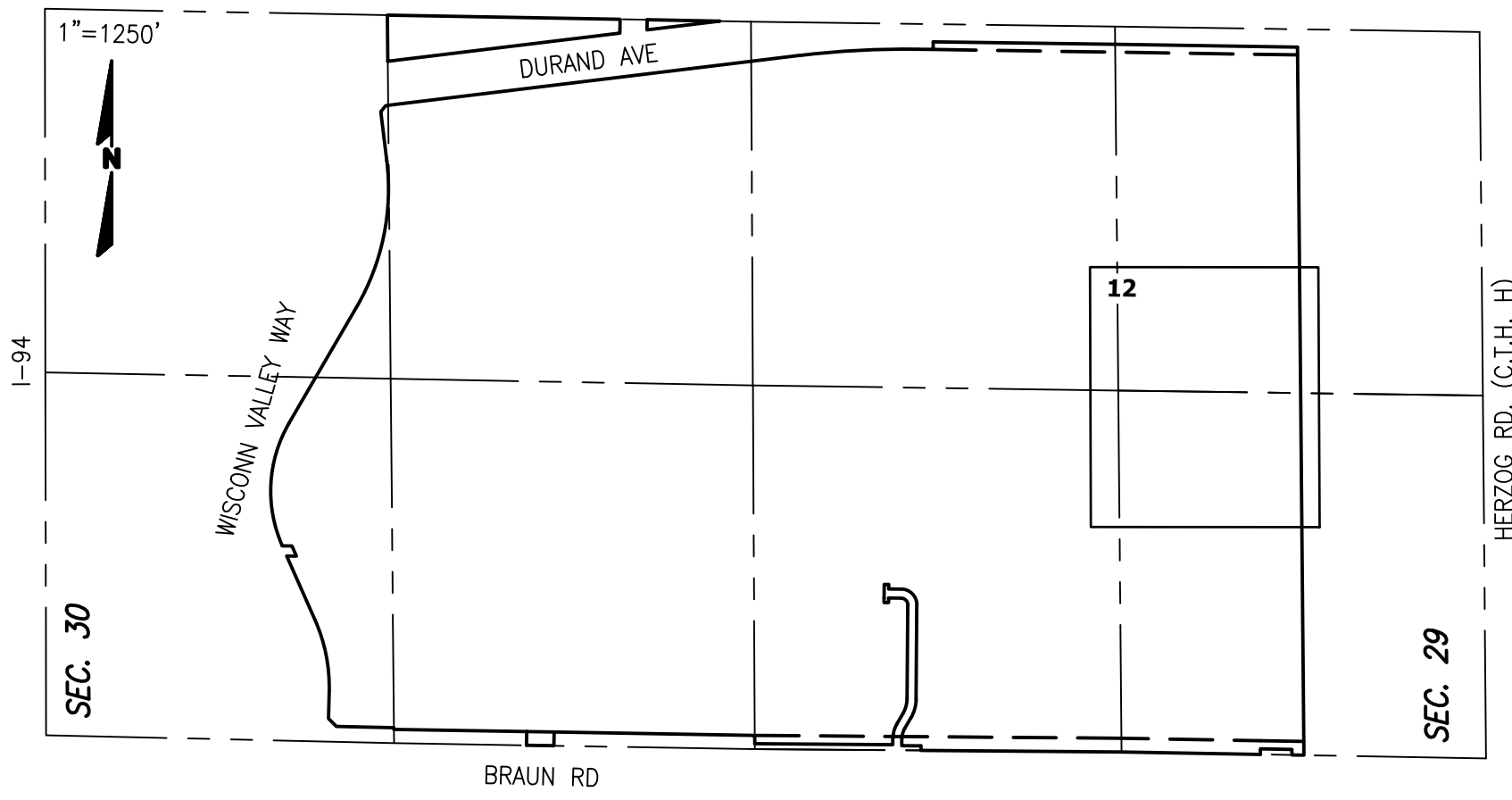
CHAPUT LAND SURVEYS

ALTA/NSPS LAND TITLE SURVEY

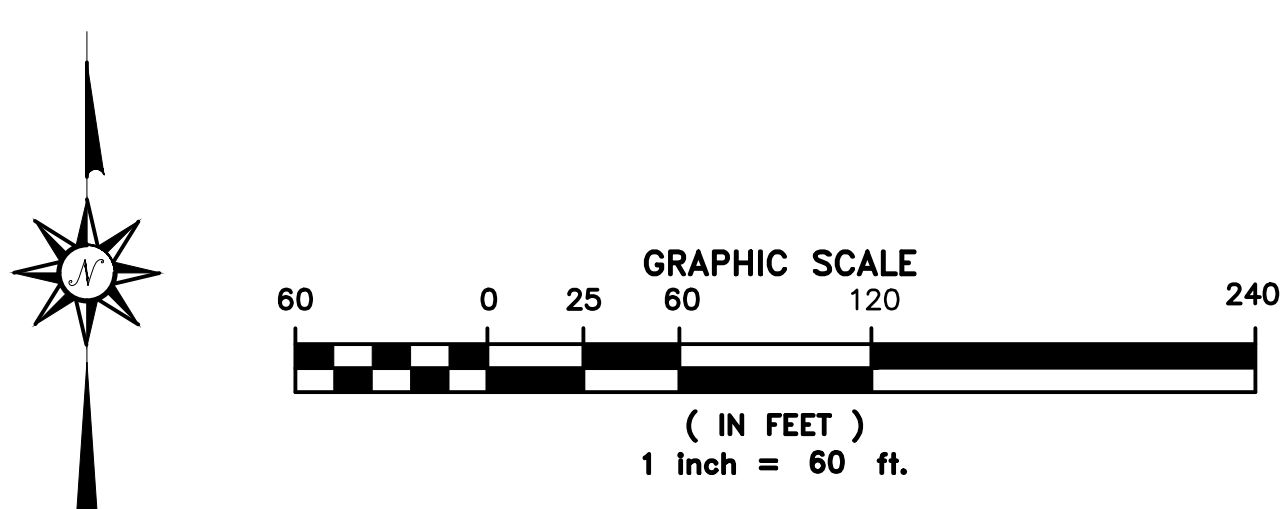
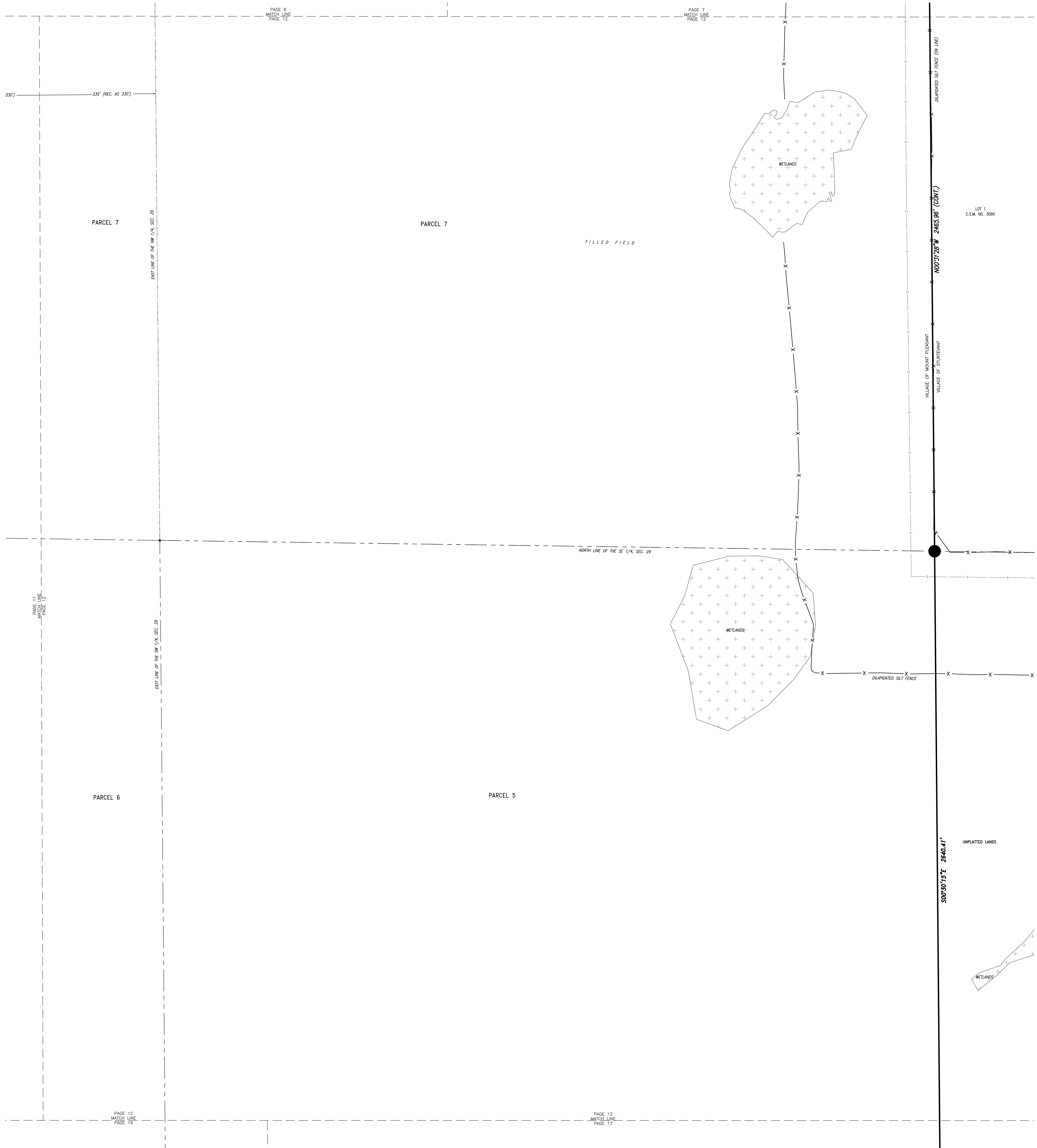
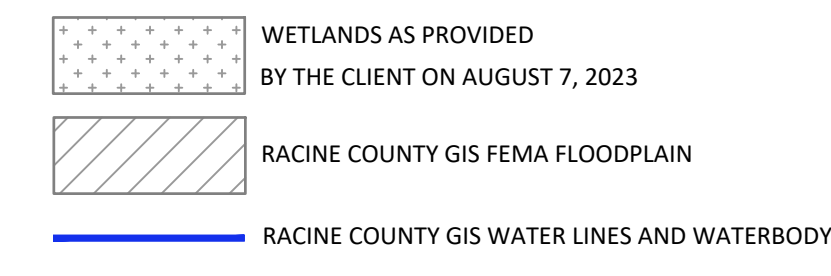
CLIENT
Dewberry

BASIS OF BEARINGS
Bearings are referenced to the Racine County Coordinate System(2011), in which the South line of the Southwest 1/4 of Section 29 bears N89°33'30"W.

VICINITY MAP
T11N, R19E.



LEGEND			
●	INDICATES FOUND 1" IRON PIPE	▲	MARSH
○	INDICATES SET 1" IRON PIPE	⚡	FLAGPOLE
+	INDICATES FOUND CHISELED CROSS	Ⓜ	PARKING METER
⊙	SANITARY MANHOLE	—	SIGN
⌋	SANITARY CLEANOUT OR VENT	Ⓜ	MAILBOX
⊙	SEPTIC TANK ACCESS COVER	⚡	RAILROAD CROSSING SIGNAL
⊙	M.I.S. MANHOLE	▲	HANDICAPPED SPACE
⊙	UNKNOWN MANHOLE	⊙	CONIFEROUS TREE
⊙	STORM MANHOLE	⊙	DECIDUOUS TREE
⊙	INLET (ROUND)	—	SANITARY SEWER
⊙	INLET (SQUARE)	—	STORM SEWER
⊙	CURB INLET	—	WATER LINE
⌋	STORM SEWER END SECTION	—	MARKED GAS MAIN
⊙	GAS VALVE	—	MARKED ELECTRIC
⊙	GAS METER	—	OVERHEAD WIRES
⊙	WATER VALVE	—	MARKED TELEPHONE
⊙	HYDRANT	—	MARKED CABLE TV LINE
⊙	WATER MANHOLE	—	MARKED FIBER OPTIC
⊙	WATER SERVICE CURB STOP	—	BURIED ELECTRIC SERVICE
⊙	WELL HEAD	—	BURIED FIBER OPTIC
⊙	STAND PIPE	—	BURIED TELEPHONE
⊙	WALL INDICATOR VALVE	—	SOIL BORING/MONITORING WELL
⊙	POST INDICATOR VALVE	—	WATER SURFACE
⊙	LIGHT POLE	—	WETLANDS FLAG
⊙	SPOT/YARD LIGHT	—	
⊙	UTILITY POLE	—	
⊙	CITY POLE	—	
⊙	CITY WIRE	—	
⊙	ELECTRIC MANHOLE	—	
⊙	ELECTRIC PEDESTAL	—	
⊙	ELECTRIC METER	—	
⊙	TELEPHONE MANHOLE	—	
⊙	TELEPHONE PEDESTAL	—	
⊙	CONTROL BOX	—	
⊙	FIBER OPTIC PEDESTAL/SIGN	—	
⊙	TRAFFIC LIGHT	—	
⊙	COMMUNICATION MANHOLE	—	
⊙	BOLLARD	—	
⊙	SOIL BORING/MONITORING WELL	—	
⊙	WATER SURFACE	—	
⊙	STAND PIPE	—	
⊙	WETLANDS FLAG	—	

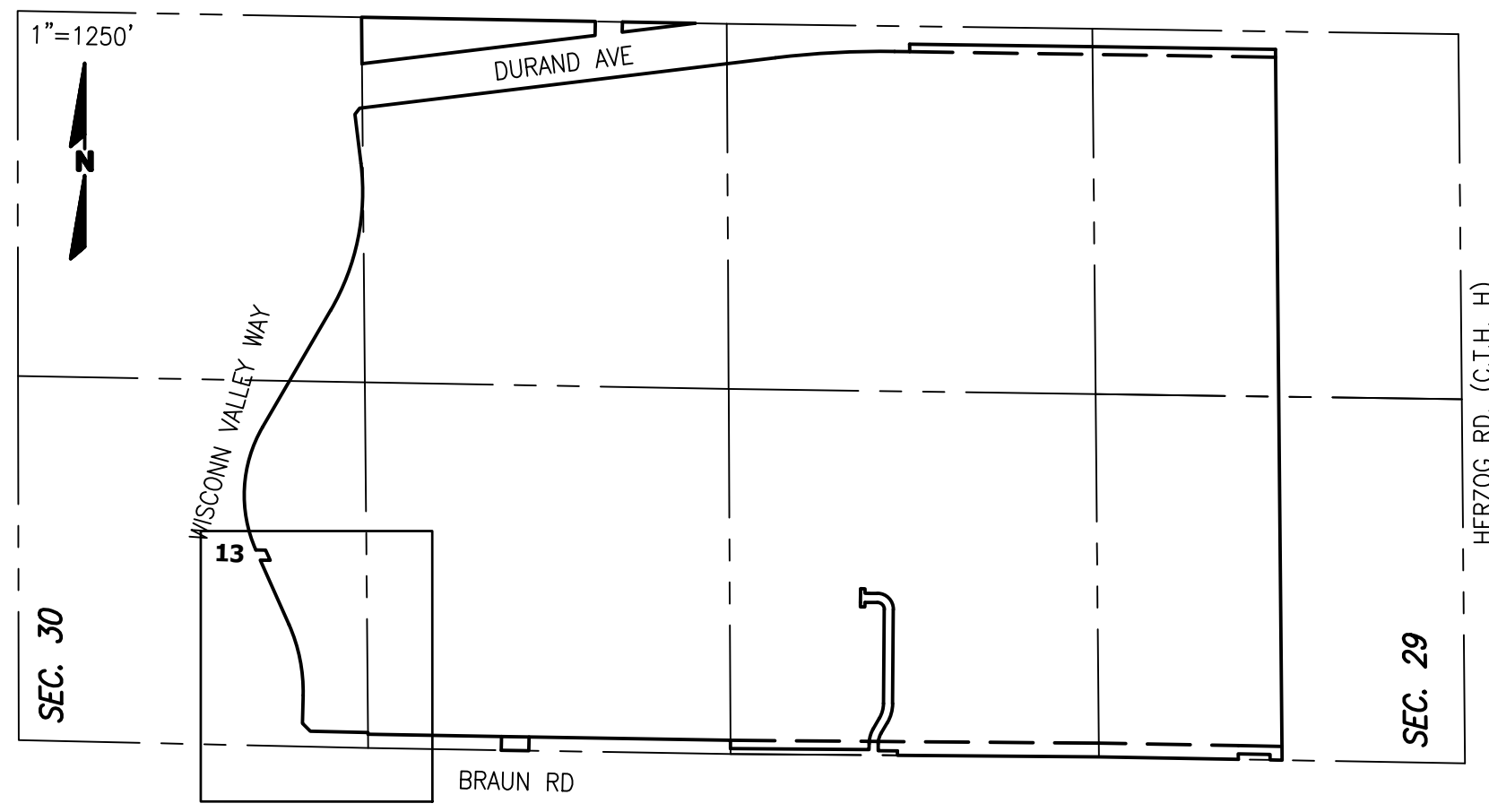


ALTA/NSPS LAND TITLE SURVEY

CLIENT
Dewberry

BASIS OF BEARINGS
Bearings are referenced to the Racine County Coordinate System(2011), in which the South line of the Southwest 1/4 of Section 29 bears N89°33'36"W.

VICINITY MAP
T11N, R19E.

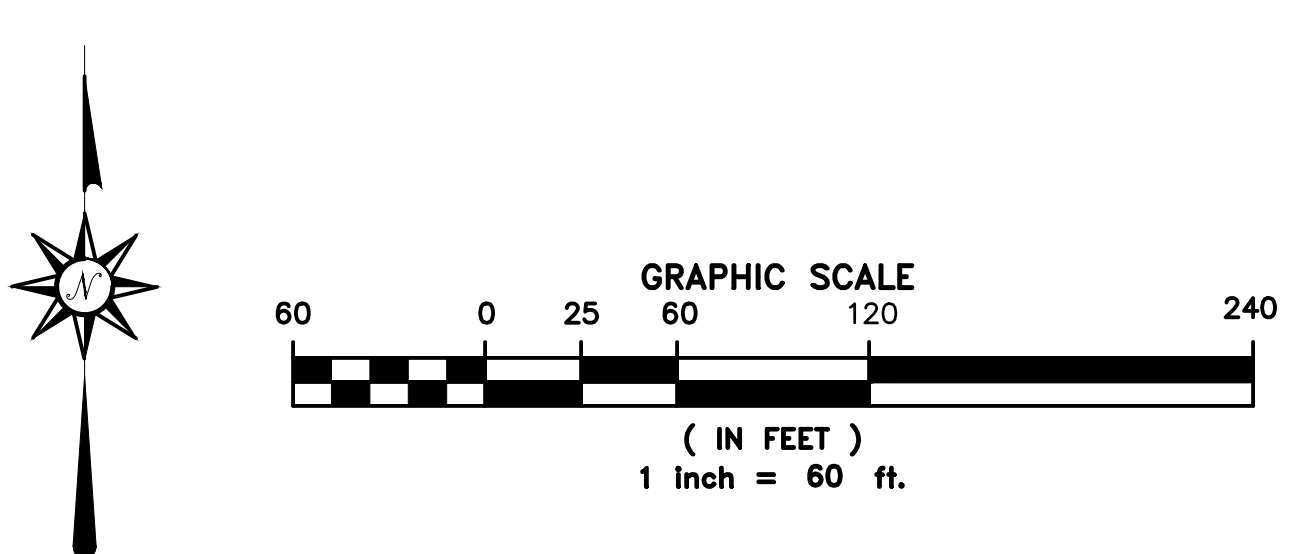
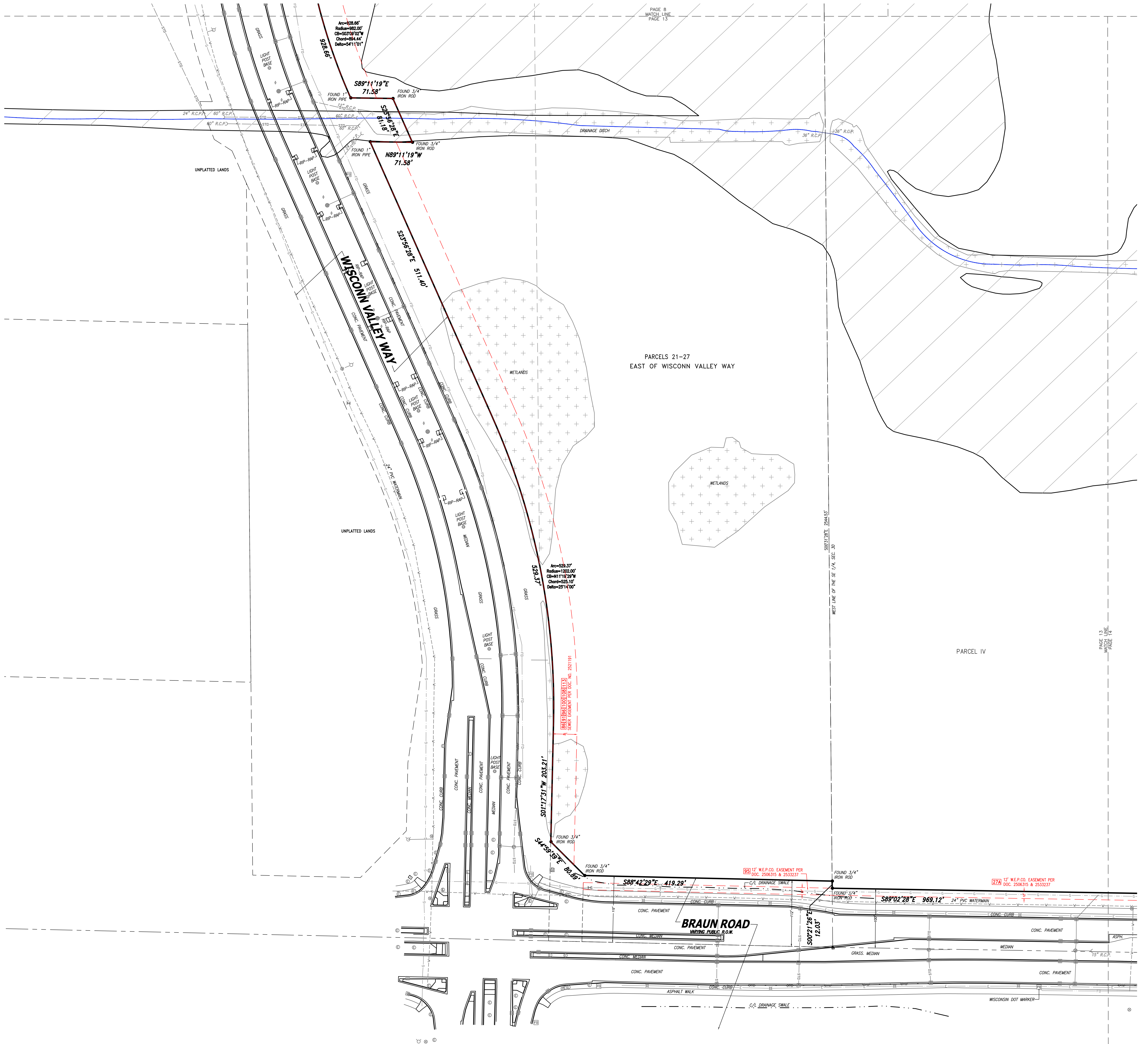


LEGEND	
● INDICATES FOUND 1" IRON PIPE	○ WALL INDICATOR VALVE
○ INDICATES SET 1" IRON PIPE	⊕ POST INDICATOR VALVE
⊕ INDICATES FOUND CHEELED CROSS	⊕ LIGHT POLE
⊕ SANITARY MANHOLE	⊕ SPOT/YARD LIGHT
⊕ SANITARY CLEANOUT OR VENT	⊕ UTILITY POLE
⊕ SEPTIC TANK ACCESS COVER	⊕ GUY WIRE
⊕ M.I.S. MANHOLE	⊕ ELECTRIC MANHOLE
⊕ UNKNOWN MANHOLE	⊕ ELECTRIC METER
⊕ STORM MANHOLE	⊕ ELECTRIC PEDESTAL
⊕ INLET (ROUND)	⊕ ELECTRIC METER
⊕ INLET (SQUARE)	⊕ TELEPHONE MANHOLE
⊕ STORM SEWER END SECTION	⊕ TELEPHONE PEDESTAL
⊕ GAS VALVE	⊕ CABLE PEDESTAL
⊕ GAS METER	⊕ CONTROL BOX
⊕ WATER VALVE	⊕ FIBER OPTIC PEDESTAL/SIGN
⊕ HYDRANT	⊕ TRAFFIC LIGHT
⊕ WATER MANHOLE	⊕ COMMUNICATION MANHOLE
⊕ WATER SERVICE CURB STOP	⊕ SOIL BORING/MONITORING WELL
⊕ WELL HEAD	⊕ WATER SURFACE
⊕ STAND PIPE	⊕ WETLANDS FLAG
▲ MARSH	⊕ FLAGPOLE
⊕ PARKING METER	⊕ SIGN
⊕ MAILBOX	⊕ RAILROAD CROSSING SIGNAL
⊕ HANDICAP SPACE	⊕ CONIFEROUS TREE
⊕ DECIDUOUS TREE	⊕ SAWDUST SEWER
⊕ STORM SEWER	⊕ WETLAND
⊕ MARKED GAS MAIN	⊕ MARKED ELECTRIC
⊕ OVERHEAD WIRE	⊕ MARKED TELEPHONE
⊕ MARKED CABLE TV LINE	⊕ MARKED FIBER OPTIC
⊕ BURIED ELECTRIC SERVICE	⊕ BOARD FENCE
⊕ CHAIN LINK FENCE	⊕ WIRE FENCE

WETLANDS AS PROVIDED
BY THE CLIENT ON AUGUST 2, 2023

RACINE COUNTY GIS FEMA FLOODPLAIN

RACINE COUNTY GIS WATER LINES AND WATERBODY

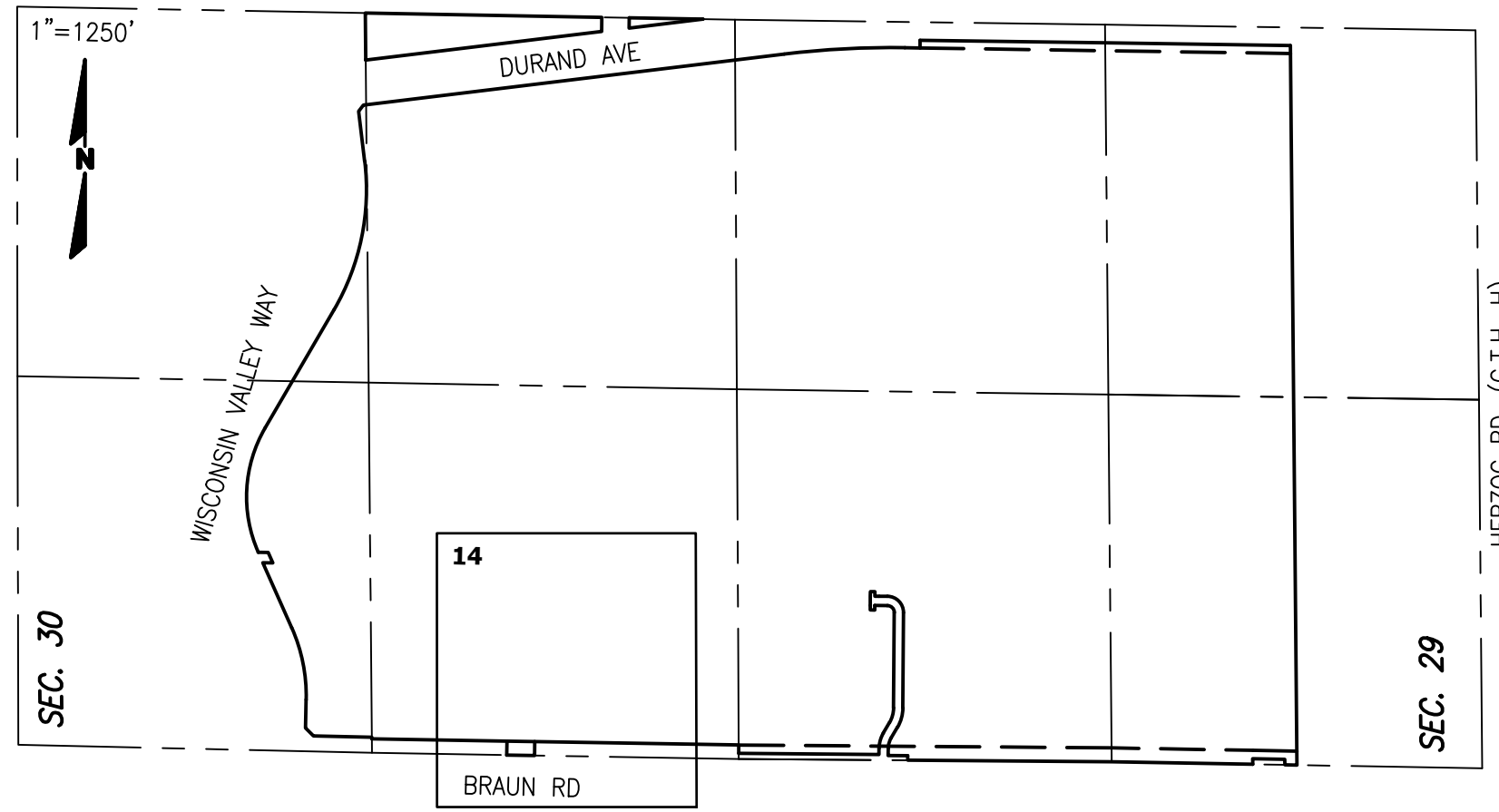


ALTA/NSPS LAND TITLE SURVEY

CLIENT
Dewberry

BASIS OF MEASUREMENTS
Bearings are referenced to the Racine County Coordinate System (2011), in which the South line of the Southwest 1/4 of Section 29 bears N89°33'36"W.

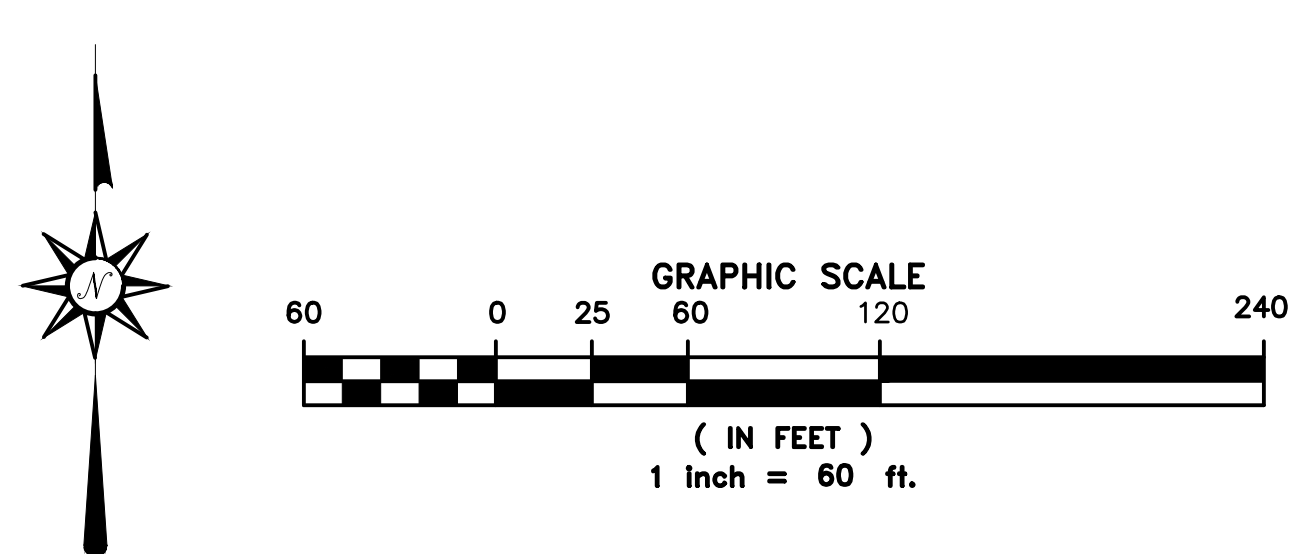
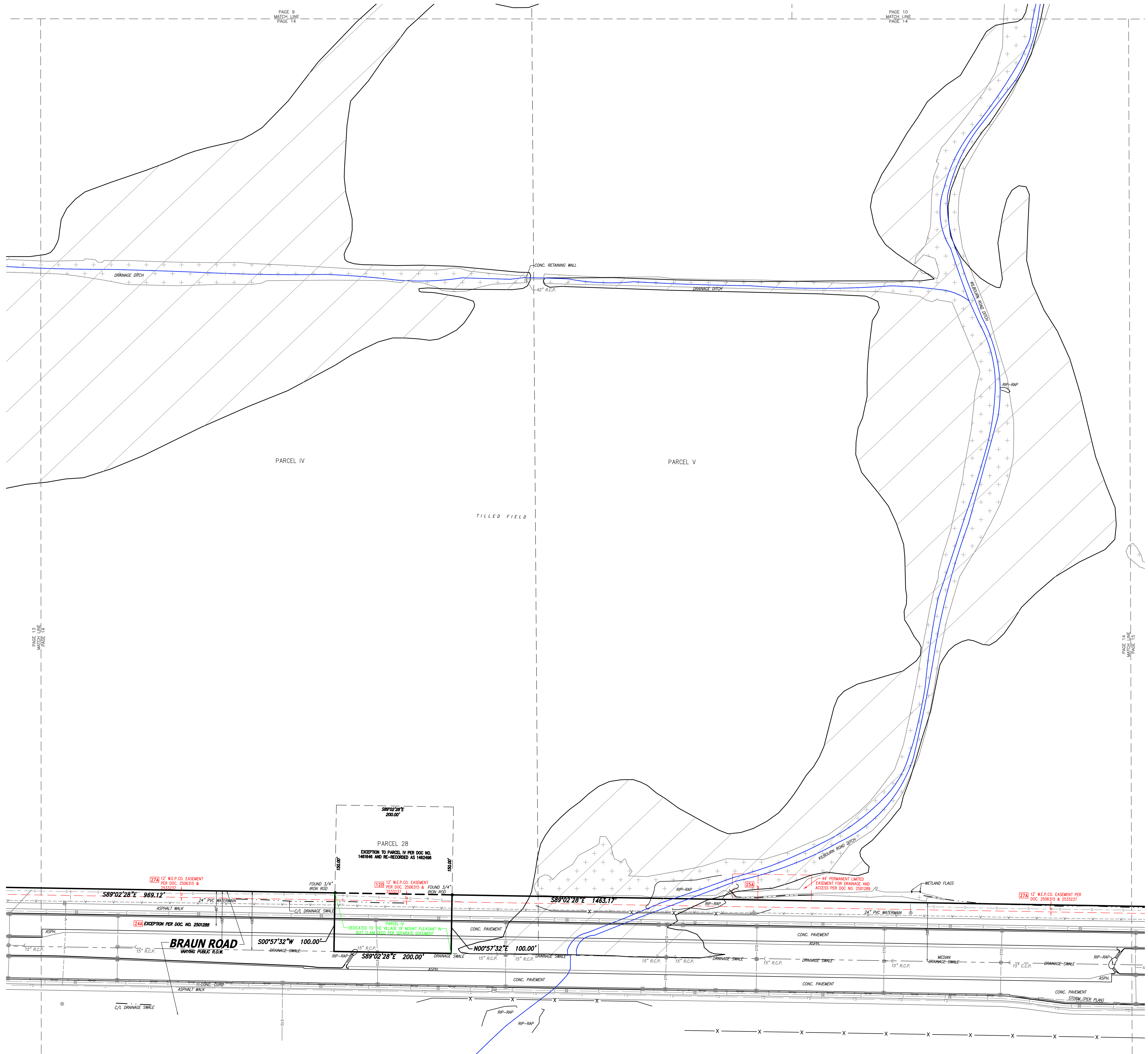
VICINITY MAP
T11N, R19E.



LEGEND

- | | | |
|--|---|---|
| <ul style="list-style-type: none"> ● INDICATES FOUND 1" IRON PIPE ○ INDICATES SET 1" IRON PIPE ⊕ INDICATES FOUND CHISELED CROSS ⊙ SANITARY MANHOLE ⊕ SANITARY CLEANOUT OR VENT ⊙ SEPTIC TANK ACCESS COVER ⊙ M.I.S. MANHOLE ⊙ UNKNOWN MANHOLE ⊙ STORM MANHOLE ⊙ INLET (ROUND) ⊙ INLET (SQUARE) ⊙ CURB INLET ⊙ STORM SEWER END SECTION ⊙ GAS VALVE ⊙ GAS METER ⊙ WATER VALVE ⊙ HYDRANT ⊙ WATER MANHOLE ⊙ WATER SERVICE CURB STOP ⊙ WELL HEAD ⊙ STAND PIPE | <ul style="list-style-type: none"> ○ WALL INDICATOR VALVE ⊕ POST INDICATOR VALVE ⊕ LIGHT POLE ⊕ SPOT/YARD LIGHT ⊕ UTILITY POLE ⊕ GUY WIRE ⊕ GUY POLE ⊕ ELECTRIC MANHOLE ⊕ ELECTRIC PEDESTAL ⊕ TELEPHONE MANHOLE ⊕ TELEPHONE PEDESTAL ⊕ CABLE PEDESTAL ⊕ CONTROL BOX ⊕ FIBER OPTIC PEDESTAL/SIGN ⊕ TRAFFIC LIGHT ⊕ COMMUNICATION MANHOLE ⊕ BOLLARD ⊕ SOIL BORING/MONITORING WELL ⊕ WATER SURFACE ⊕ WETLANDS FLAG | <ul style="list-style-type: none"> ▲ MARSH ⊕ FLAGPOLE ⊕ PARKING METER ⊕ SIGN ⊕ MAILBOX ⊕ RAILROAD CROSSING SIGNAL ⊕ HANDICAP SPACE ⊕ CONIFEROUS TREE ⊕ DECIDUOUS TREE ⊕ SANITARY SEWER ⊕ STORM SEWER ⊕ WATERLINE ⊕ MARKED GAS MAIN ⊕ MARKED ELECTRIC ⊕ OVERHEAD WIRES ⊕ MARKED TELEPHONE ⊕ MARKED CABLE TV LINE ⊕ MARKED FIBER OPTIC ⊕ BORED ELECTRIC SERVICE ⊕ BOARD FENCE ⊕ CHAIN LINK FENCE ⊕ WIRE FENCE |
|--|---|---|

- ▨ WETLANDS AS PROVIDED BY THE CLIENT ON AUGUST 7, 2023
- ▨ RACINE COUNTY GIS FEMA FLOODPLAIN
- RACINE COUNTY GIS WATER LINES AND WATERBODY



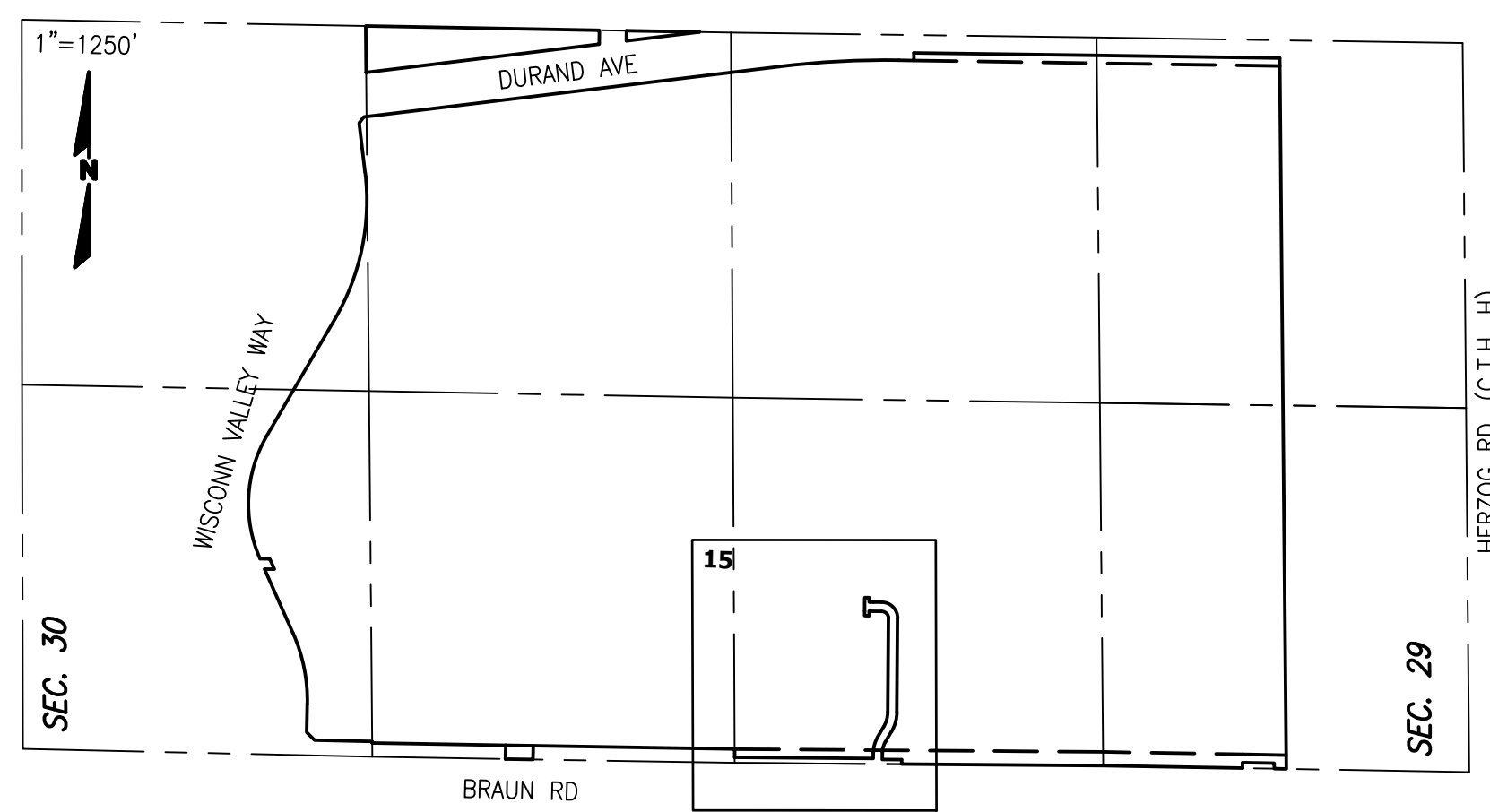
CHAPUT LAND SURVEYS

ALTA/NSPS LAND TITLE SURVEY

CLIENT
Dewberry

BASIS OF BEARINGS
Bearings are referenced to the Racine County Coordinate System(2011), in which the South line of the Southwest 1/4 of section 29 bears N89°33'36"W.

VICINITY MAP
T11N, R19E.



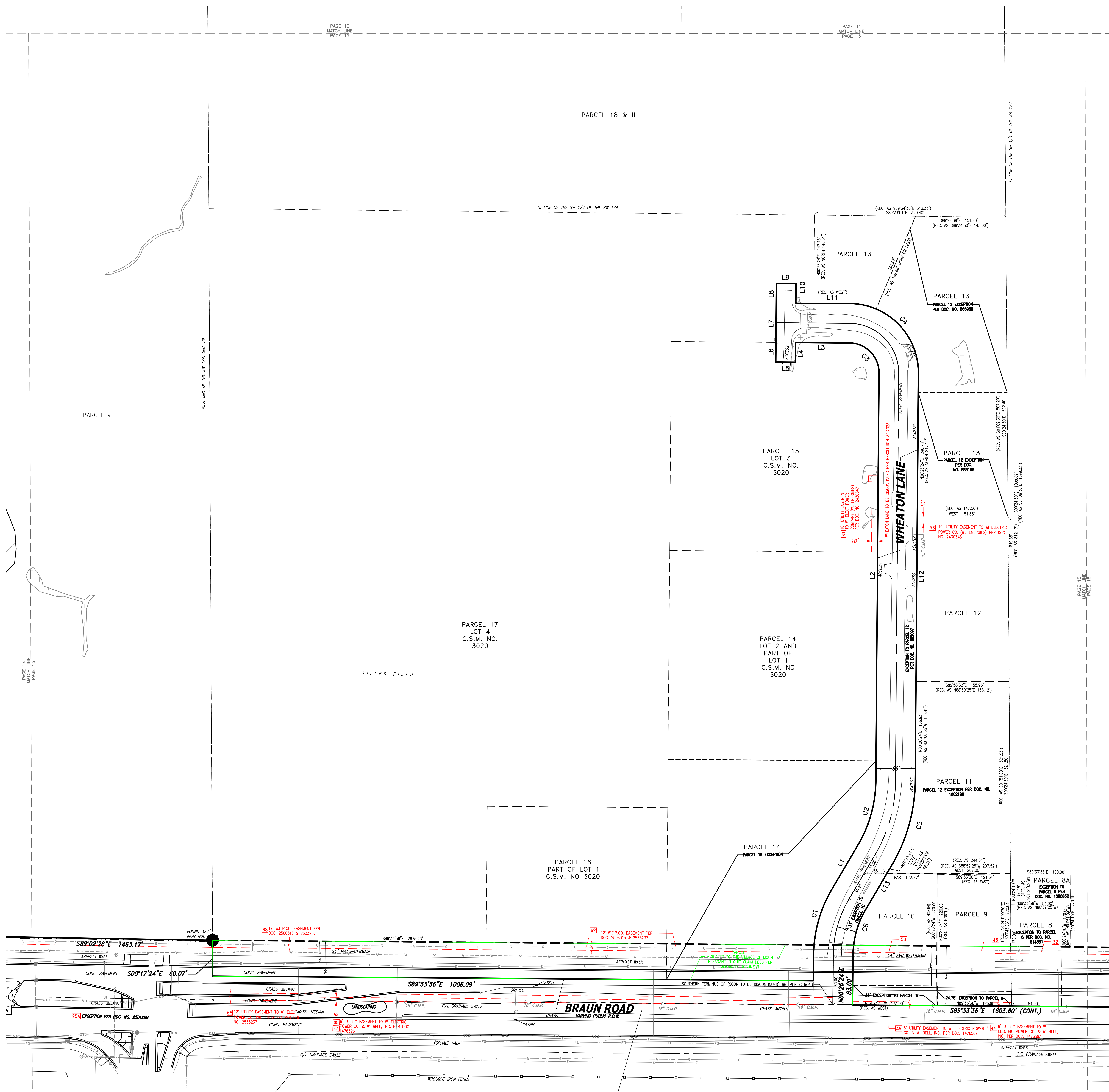
LEGEND

● INDICATES FOUND 1" IRON PIPE	○ WALL INDICATOR VALVE	▲ MARSH
● INDICATES SET 1" IRON PIPE	⊕ POST INDICATOR VALVE	▲ FLAGPOLE
● INDICATES FOUND CHISELED CROSS	⊕ LIGHT POLE	▲ PARKING METER
○ SANITARY MANHOLE	⊕ SPOT/YARD LIGHT	▲ SIGN
○ SANITARY CLEANOUT OR VENT	⊕ UTILITY POLE	▲ MAILBOX
○ SEPTIC TANK ACCESS COVER	▲ GUY POLE	▲ RAILROAD CROSSING SIGNAL
○ M.I.S. MANHOLE	○ CLAY WIRE	▲ HANDICAP SPACE
○ UNKNOWN MANHOLE	○ ELECTRIC MANHOLE	▲ CONIFEROUS TREE
○ STORM MANHOLE	○ ELECTRIC PEDESTAL	○ DECIDUOUS TREE
○ INLET (ROUND)	○ ELECTRIC METER	○ SANITARY SEWER
○ INLET (SQUARE)	○ TELEPHONE MANHOLE	○ STORM SEWER
○ CURB INLET	○ CABLE PEDESTAL	○ WATERLINE
○ STORM SEWER END SECTION	○ CONTROL BOX	○ MARKED GAS MAIN
○ GAS VALVE	○ FIBER OPTIC PEDESTAL/SIGN	○ MARKED ELECTRIC
○ GAS METER	○ TRAFFIC LIGHT	○ OVERHEAD WIRES
○ WATER VALVE	○ HYDRANT	○ MARKED TELEPHONE
○ WATER MANHOLE	○ BOLLARD	○ MARKED CABLE TV LINE
○ WATER SERVICE CURB STOP	○ COMMUNICATION MANHOLE	○ MARKED FIBER OPTIC
○ WELL HEAD	○ SOIL BORING/MONITORING WELL	○ BURIED ELECTRIC SERVICE
○ STAND PIPE	○ WETLANDS FLAG	○ BOARD FENCE
		○ CHAIN LINK FENCE
		○ WIRE FENCE

WETLANDS AS PROVIDED
BY THE CLIENT ON AUGUST 7, 2023

RACINE COUNTY GIS FEMA FLOODPLAIN

RACINE COUNTY GIS WATER LINES AND WATERBODY

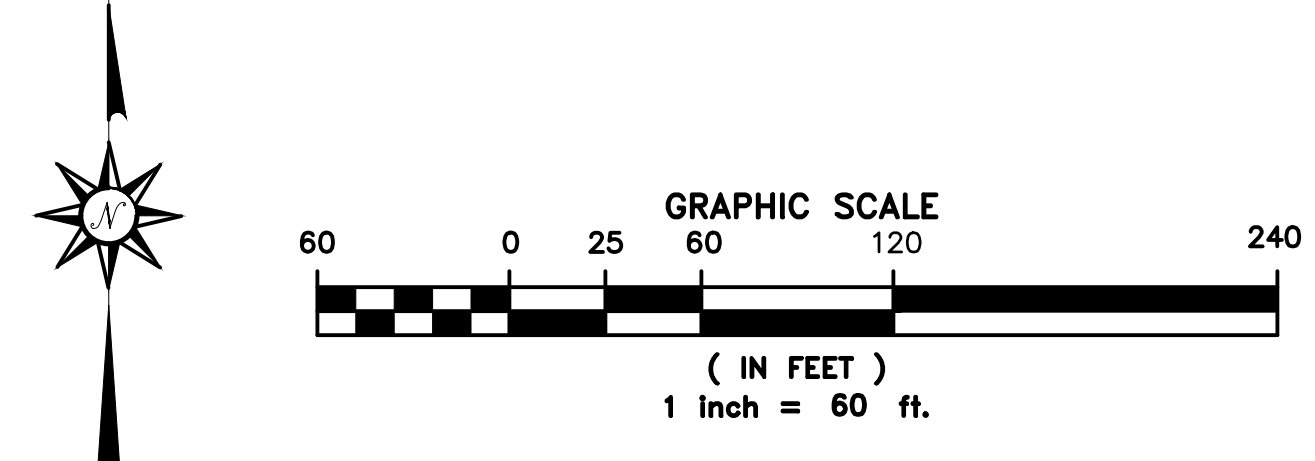


LINE TABLE

LINE	BEARING	DIST.
L1	N59°33'36"E	1006.09'
L2	N59°33'36"E	1603.60'
L3	N59°33'36"E	1603.60'
L4	N59°33'36"E	1603.60'
L5	N59°33'36"E	1603.60'
L6	N59°33'36"E	1603.60'
L7	N59°33'36"E	1603.60'
L8	N59°33'36"E	1603.60'
L9	N59°33'36"E	1603.60'
L10	N59°33'36"E	1603.60'
L11	N59°33'36"E	1603.60'
L12	N59°33'36"E	1603.60'
L13	N59°33'36"E	1603.60'

CURVE DATA

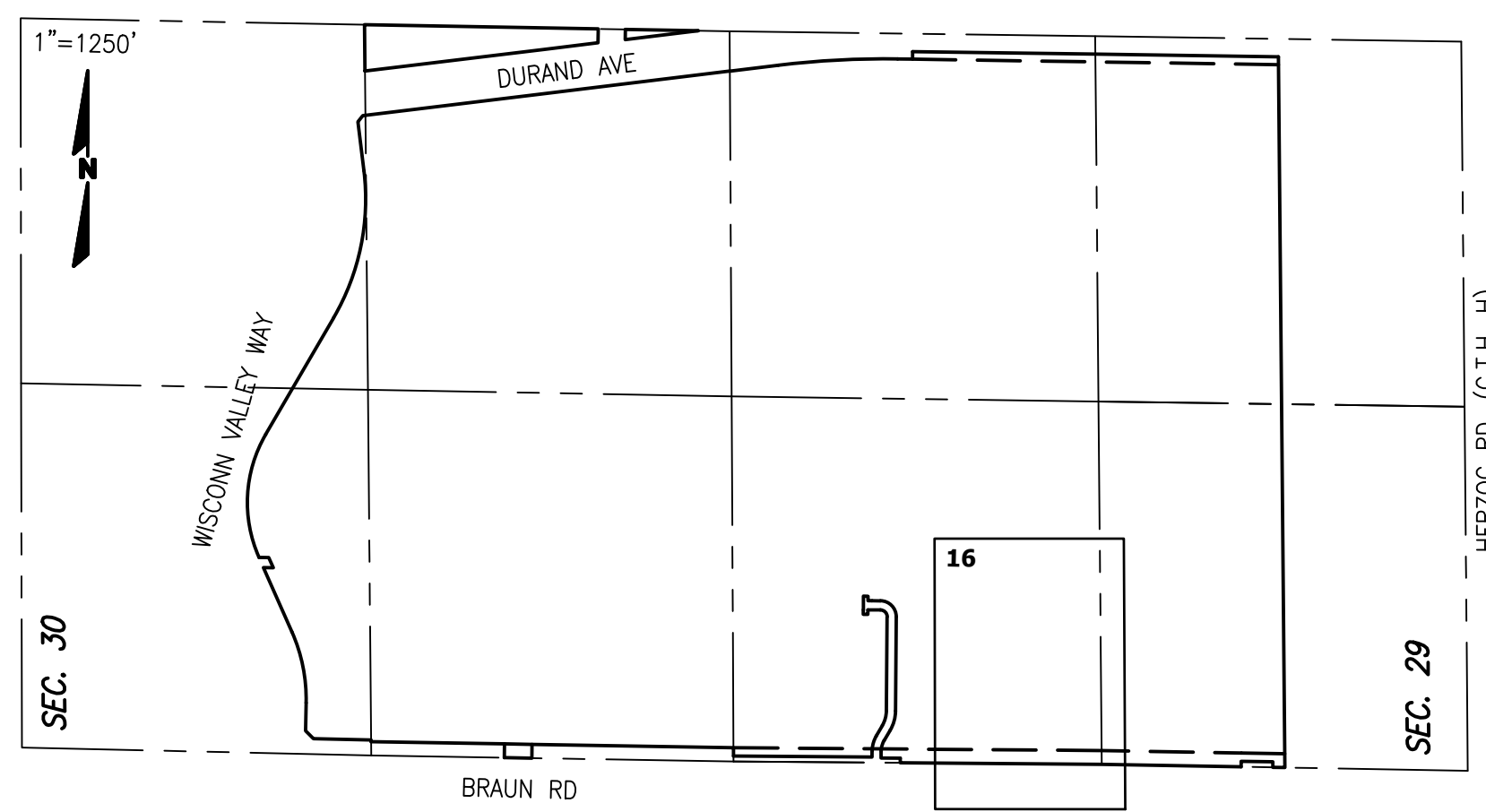
CURVE	ARC	RADIUS	CHORD	CHORD BEARING	DELTA
C1	1006.09'	1006.09'	1006.09'	59°33'36"	120°
C2	1603.60'	1603.60'	1603.60'	59°33'36"	120°
C3	1603.60'	1603.60'	1603.60'	59°33'36"	120°
C4	1603.60'	1603.60'	1603.60'	59°33'36"	120°
C5	1603.60'	1603.60'	1603.60'	59°33'36"	120°
C6	1603.60'	1603.60'	1603.60'	59°33'36"	120°
C7	1603.60'	1603.60'	1603.60'	59°33'36"	120°
C8	1603.60'	1603.60'	1603.60'	59°33'36"	120°
C9	1603.60'	1603.60'	1603.60'	59°33'36"	120°
C10	1603.60'	1603.60'	1603.60'	59°33'36"	120°
C11	1603.60'	1603.60'	1603.60'	59°33'36"	120°
C12	1603.60'	1603.60'	1603.60'	59°33'36"	120°
C13	1603.60'	1603.60'	1603.60'	59°33'36"	120°



ALTA/NSPS LAND TITLE SURVEY

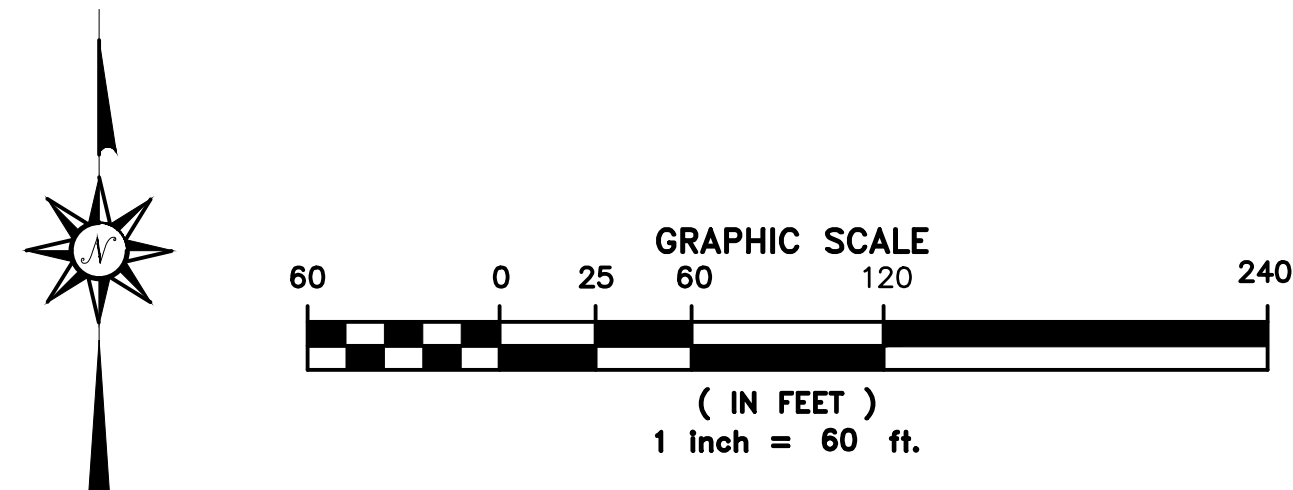
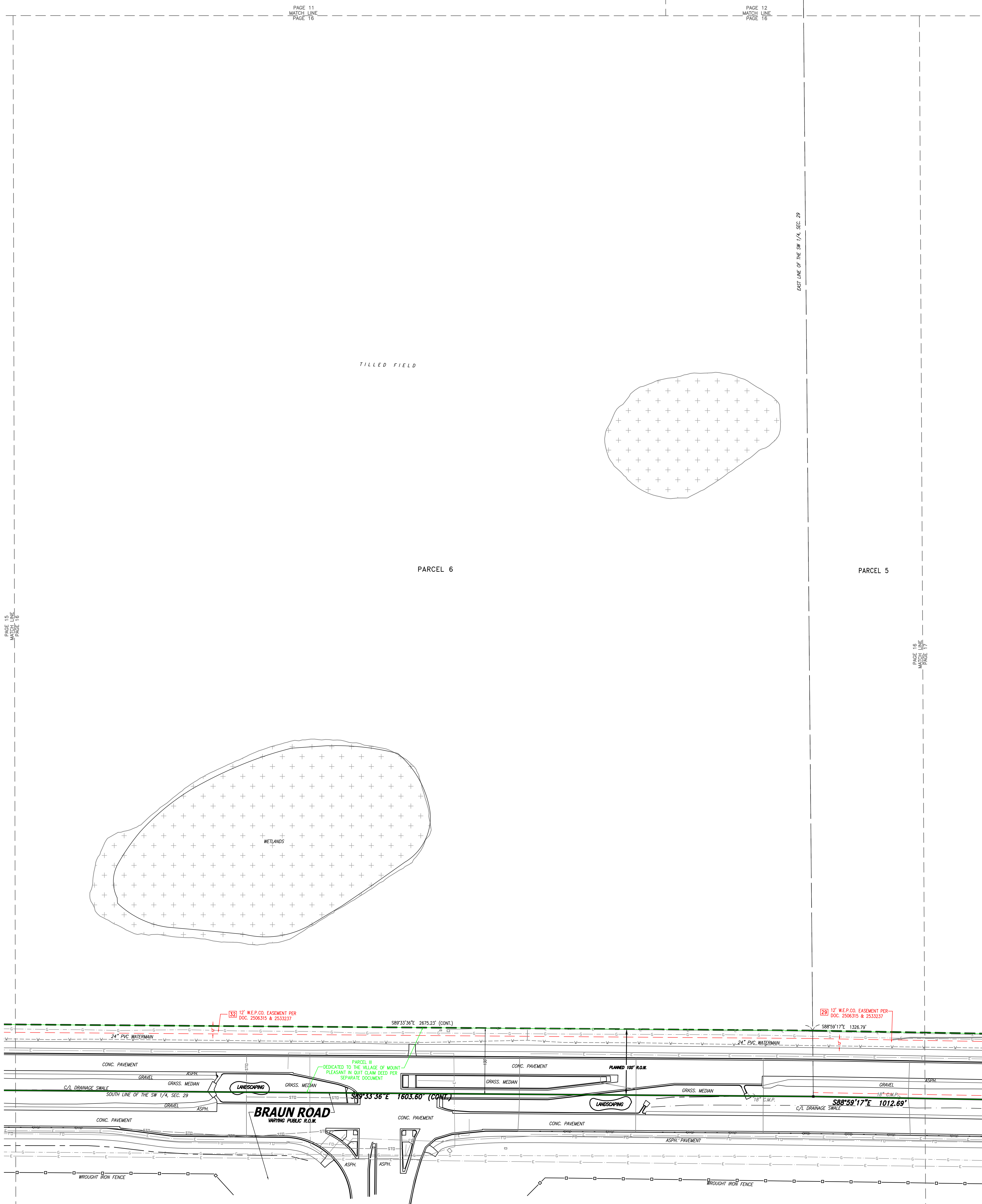
CLIENT
Dewberry
BASIS OF BEARINGS
Bearings are referenced to the Racine County Coordinate System(2011), in which the South line of the Southwest 1/4 of Section 29 bears N89°33'36"W.

VICINITY MAP
T11N, R19E.



LEGEND		
● INDICATES FOUND 1" IRON PIPE	○ WALL INDICATOR VALVE	▲ MARSH
○ INDICATES SET 1" IRON PIPE	⊥ POST INDICATOR VALVE	▴ FLAGPOLE
⊕ INDICATES FOUND CHISELED CROSS	⊥ LIGHT POLE	▾ PARKING METER
○ SANITARY MANHOLE	⊙ SPOT FLOOD LIGHT	⊙ SIGN
⊕ SANITARY CLEANOUT OR VENT	⊙ UTILITY POLE	⊙ MAILBOX
⊙ SEPTIC TANK ACCESS COVER	⊙ GUY POLE	⊙ RAILROAD CROSSING SIGNAL
⊙ M.S. MANHOLE	⊙ GUY WIRE	⊙ HANDICAP SPACE
⊙ UNKNOWN MANHOLE	⊙ ELECTRIC MANHOLE	⊙ CONIFEROUS TREE
⊙ STORM MANHOLE	⊙ ELECTRIC PEDESTAL	⊙ DECIDUOUS TREE
⊙ INLET (ROUND)	⊙ TELEPHONE MANHOLE	⊙ SANITARY SEWER
⊙ INLET (SQUARE)	⊙ TELEPHONE PEDESTAL	⊙ STORM SEWER
⊙ CURB INLET	⊙ CABLE PEDESTAL	⊙ WATERLINE
⊙ STORM SEWER END SECTION	⊙ CONTROL BOX	⊙ MARKED GAS MAIN
⊙ GAS VALVE	⊙ FIBER OPTIC PEDESTAL/SIGN	⊙ MARKED ELECTRIC
⊙ GAS METER	⊙ TRAFFIC LIGHT	⊙ OVERHEAD WIRE
⊙ WATER VALVE	⊙ COMMUNICATION MANHOLE	⊙ MARKED TELEPHONE
⊙ HYDRANT	⊙ BOLLARD	⊙ MARKED CABLE TV LINE
⊙ WATER MANHOLE	⊙ SOIL SPRING/MONITORING WELL	⊙ MARKED FIBER OPTIC
⊙ WATER SERVICE CURB STOP	⊙ WETLANDS FLAG	⊙ BURIED ELECTRIC SERVICE
⊙ WELL HEAD		⊙ BOARD FENCE
⊙ STAND PIPE		⊙ CHAIN LINK FENCE
		⊙ WIRE FENCE

WETLANDS AS PROVIDED
BY THE CLIENT ON AUGUST 7, 2023
RACINE COUNTY GIS FEMA FLOODPLAIN
RACINE COUNTY GIS WATER LINES AND WATERBODY

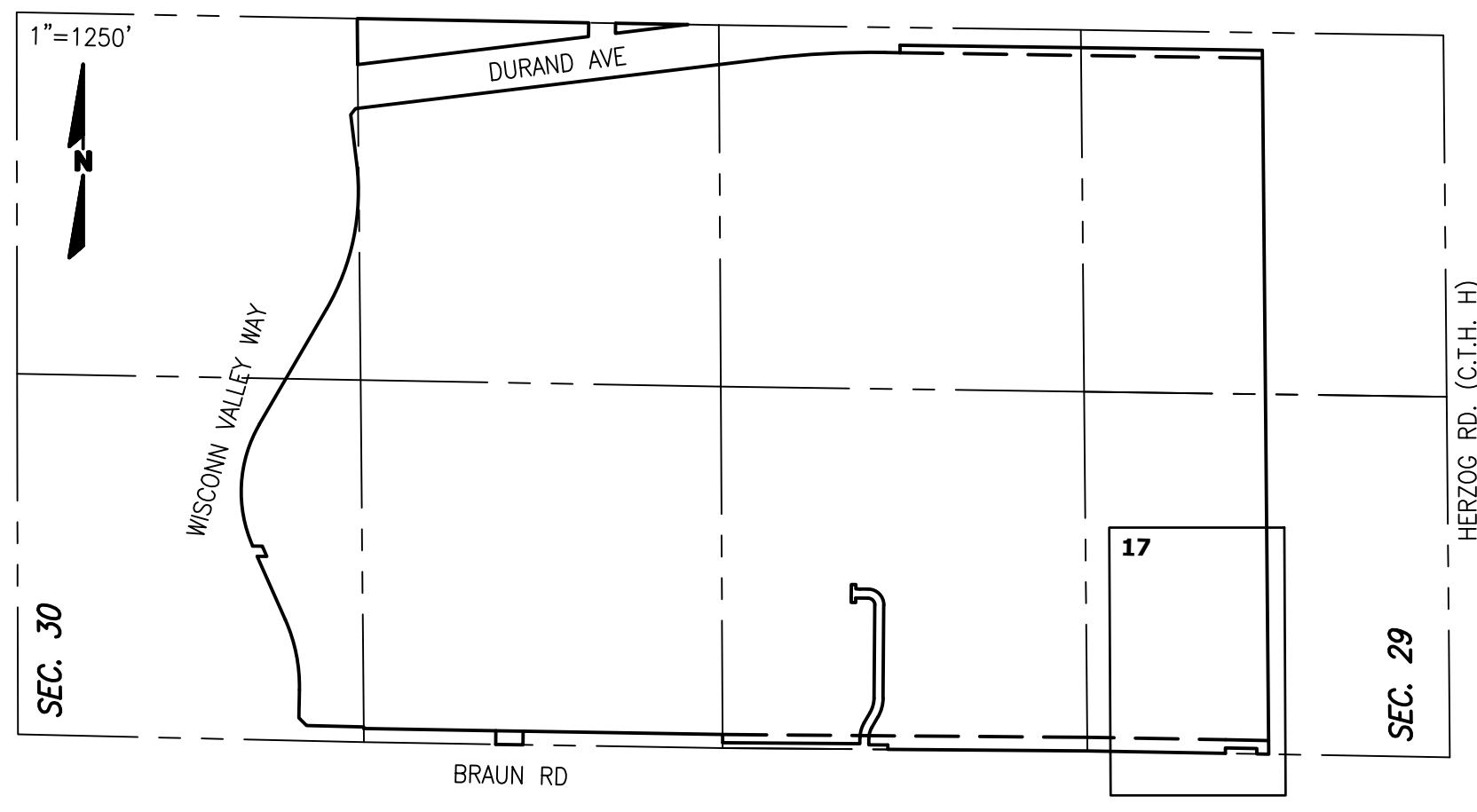


ALTA/NSPS LAND TITLE SURVEY

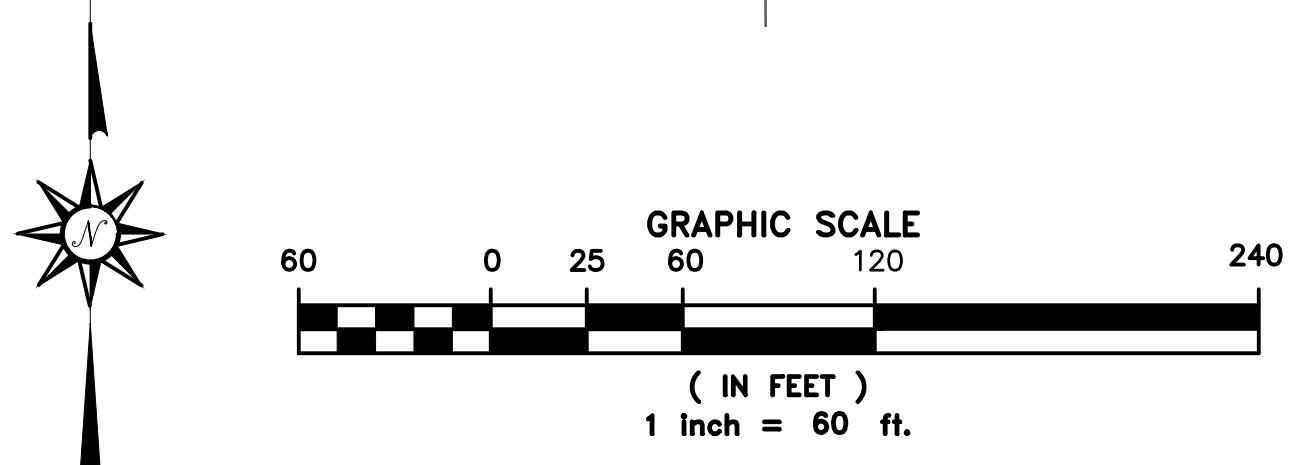
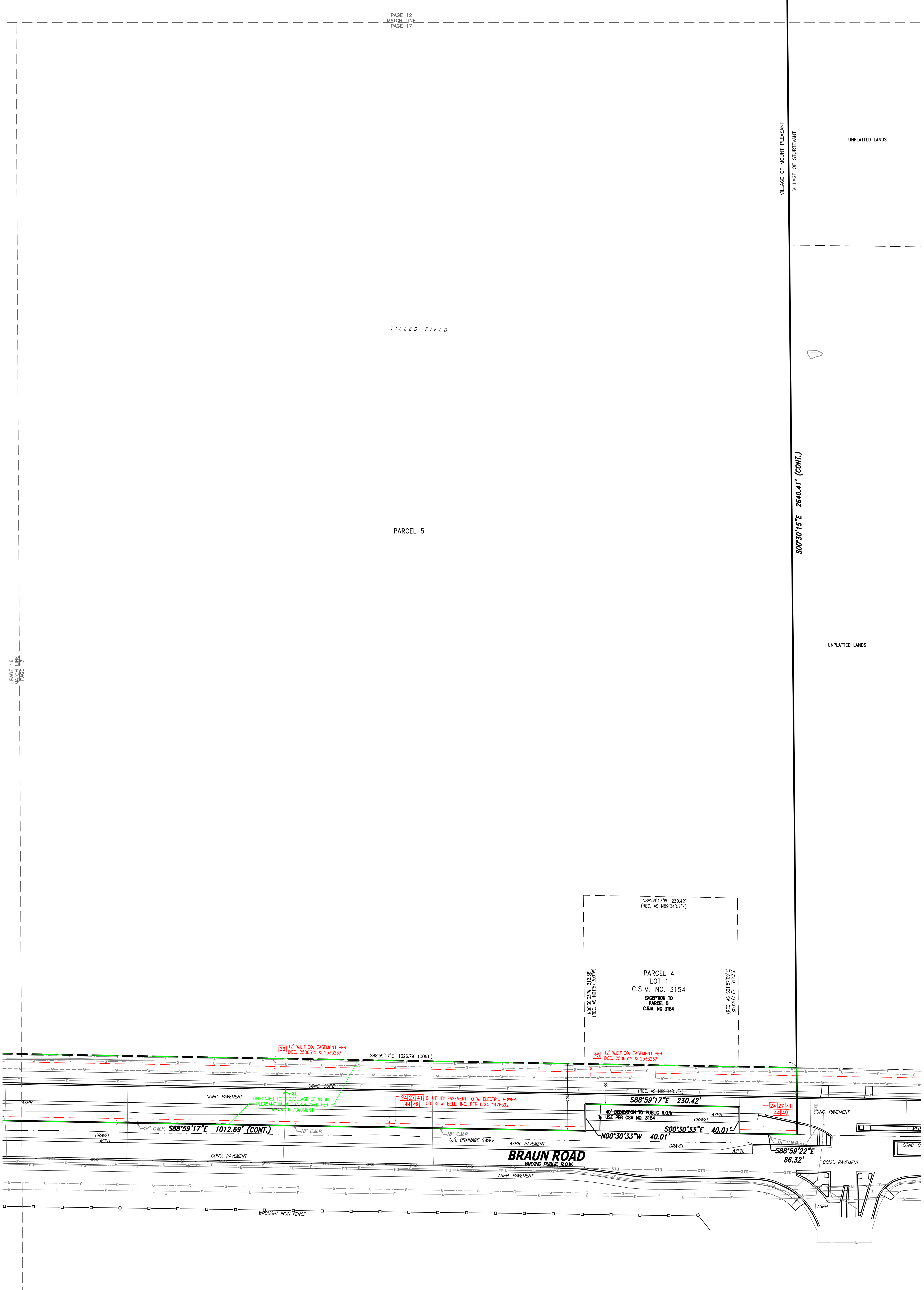
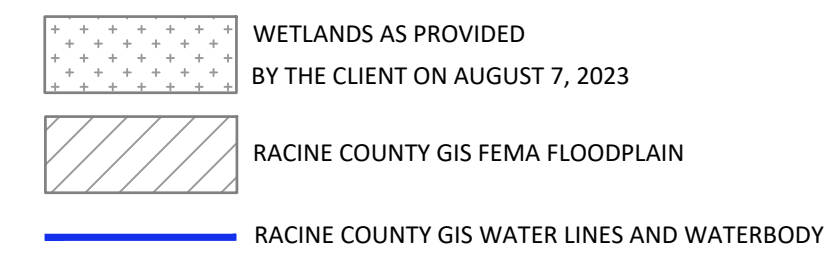
CLIENT
Dewberry

BASIS OF BEARINGS
Bearings are referenced to the Racine County Coordinate System(2011), in which the South line of the Southwest 1/4 of Section 29 bears N89°33'36"W.

VICINITY MAP
T11N, R19E.



LEGEND		
● INDICATES FOUND 1" IRON PIPE	○ WALL INDICATOR VALVE	▲ MARSH
○ INDICATES SET 1" IRON PIPE	⊕ POST INDICATOR VALVE	⊕ FLAGPOLE
⊕ INDICATES FOUND CHEELED CROSS	⊕ LIGHT POLE	⊕ PARKING METER
⊕ SANITARY MANHOLE	⊕ SPOT/YARD LIGHT	⊕ SIGN
⊕ SANITARY CLEANOUT OR VENT	⊕ UTILITY POLE	⊕ MAILBOX
⊕ SEPTIC TANK ACCESS COVER	⊕ GUY POLE	⊕ RAILROAD CROSSING SIGNAL
⊕ M.S. MANHOLE	⊕ GUY WIRE	⊕ HANDICAP SPACE
⊕ UNKNOWN MANHOLE	⊕ ELECTRIC MANHOLE	⊕ CONIFEROUS TREE
⊕ STORM MANHOLE	⊕ ELECTRIC PEDESTAL	⊕ DECIDUOUS TREE
⊕ INLET (ROUND)	⊕ ELECTRIC METER	○ SANITARY SEWER
⊕ INLET (SQUARE)	⊕ TELEPHONE MANHOLE	○ WATERLINE
⊕ CURB INLET	⊕ TELEPHONE PEDESTAL	○ MARKED GAS MAIN
⊕ STORM SEWER END SECTION	⊕ CABLE PEDESTAL	○ MARKED ELECTRIC
⊕ GAS VALVE	⊕ CONTROL BOX	○ MARKED CABLE TV LINE
⊕ GAS METER	⊕ FIBER OPTIC PEDESTAL/SIGN	○ MARKED TELEPHONE
⊕ WATER VALVE	⊕ TRAFFIC LIGHT	○ MARKED FIBER OPTIC
⊕ HYDRANT	⊕ COMMUNICATION MANHOLE	○ BURIED ELECTRIC SERVICE
⊕ WATER MANHOLE	⊕ SOIL BORING/MONITORING WELL	○ BOARD FENCE
⊕ WATER SERVICE CURB STOP	⊕ WETLANDS FLAG	○ CHAIN LINK FENCE
⊕ WELL HEAD		○ WIRE FENCE
⊕ STAND PIPE		



CHAPUT LAND SURVEYS



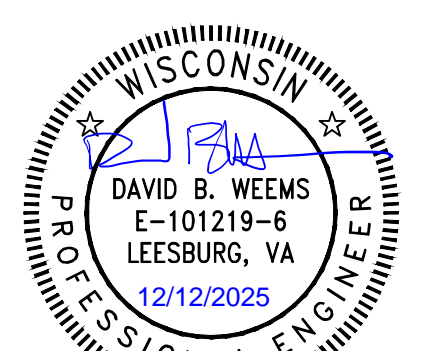
Dewberry Engineers Inc.
1503 Edwards Ferry Road
Suite 200
Leesburg, VA 20176-6680
703.771.8004

MKE 07-15

12023 Durand Avenue
Sturtevant, WI 53177

Design: LUDYK ROMAN, MAI-KHANH HUMBLE, NICK COLAVITA, LITZY AGUILAR
Drawn: LUDYK ROMAN, MAI-KHANH HUMBLE, NICK COLAVITA, LITZY AGUILAR
Checked: DAVID WEEMS
Date: OCTOBER 29, 2025

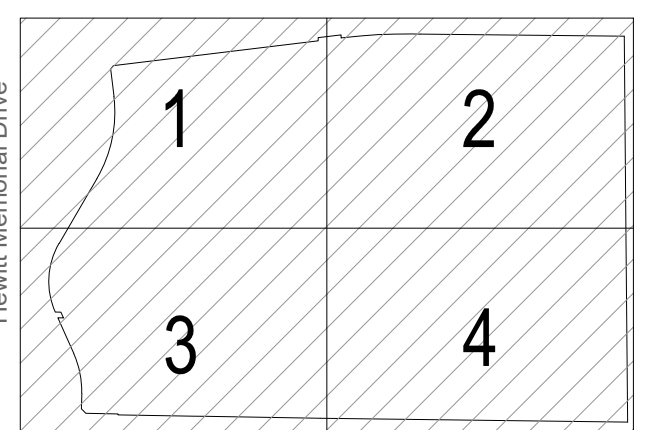
Registration



Sector Key Plan



Durand Ave



Braun Road

Revisions

No.	Date	Description
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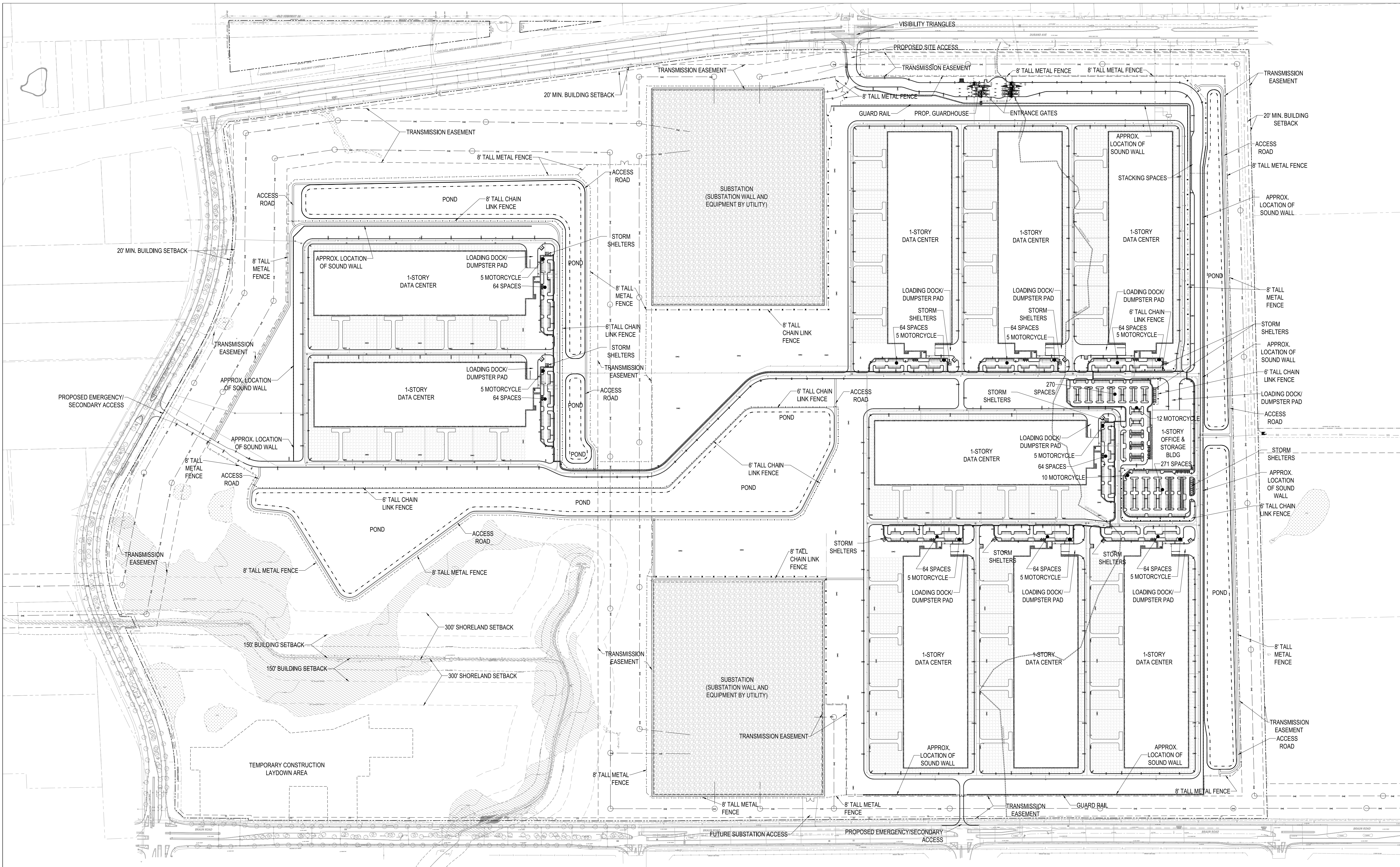
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MKE07-15

Sheet Title/Number

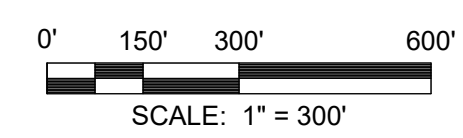
CIVIL SITE MASTER PLAN OVERALL

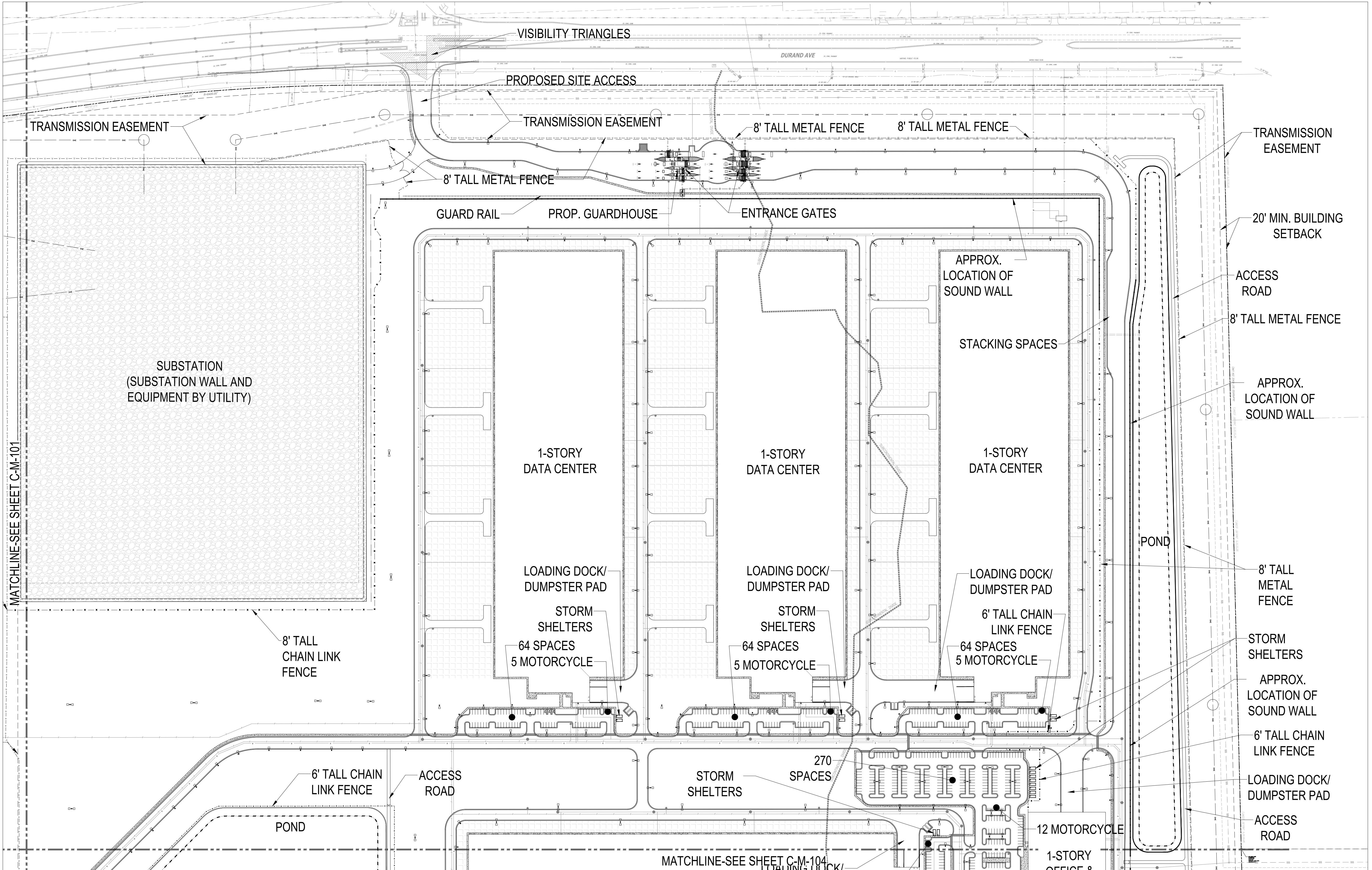
C-M-100



LEGEND

- PROPERTY LINE
- CONCRETE SIDEWALK
- MECHANICAL/ELECTRICAL EQUIPMENT YARD
- SUBSTATION
- EXISTING FLOODPLAIN
- EXISTING WETLAND (HATCHED)
- 8' TALL METAL FENCE
- 8' TALL CHAIN LINK FENCE
- 6' TALL CHAIN LINK FENCE
- GUARDRAIL
- SOUND WALL
- FIRE HYDRANT
- EXISTING SANITARY SEWER PIPE
- PROPOSED SANITARY SEWER PIPE
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE
- EXISTING WATER SERVICE SUPPLY
- WATER SERVICE SUPPLY
- FIRE PROTECTION WATER SUPPLY
- SITE LIGHTING





LEGEND

	PROPERTY LINE		8' TALL METAL FENCE		FIRE HYDRANT		EXISTING WATER SERVICE SUPPLY
	CONCRETE SIDEWALK		8' TALL CHAIN LINK FENCE		EXISTING SANITARY SEWER PIPE		WATER SERVICE SUPPLY
	MECHANICAL/ELECTRICAL EQUIPMENT YARD		6' TALL CHAIN LINK FENCE		PROPOSED SANITARY SEWER PIPE		FIRE PROTECTION WATER SUPPLY
	SUBSTATION		SOUND WALL		EXISTING SANITARY SEWER MANHOLE		SITE LIGHTING
	EXISTING FLOODPLAIN				PROPOSED SANITARY SEWER MANHOLE		
	EXISTING WETLAND (HATCHED)						

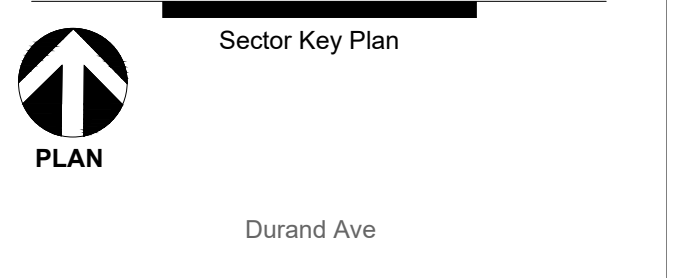
0' 50' 100' 150' 300'
SCALE: 1" = 150'

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Sturtevant, WI 53177

Design: LUDYK ROMAN, MAKHANH HUMBLE, NICK COLAVITA, LITZY AGUILAR
Drawn: LUDYK ROMAN, MAKHANH HUMBLE, NICK COLAVITA, LITZY AGUILAR
Checked: DAVID WEEMS
Date: OCTOBER 29, 2025

Registration
WISCONSIN PROFESSIONAL ENGINEER
DAVID B. WEEMS
E-101219-6
LEESBURG, VA
12/12/2025

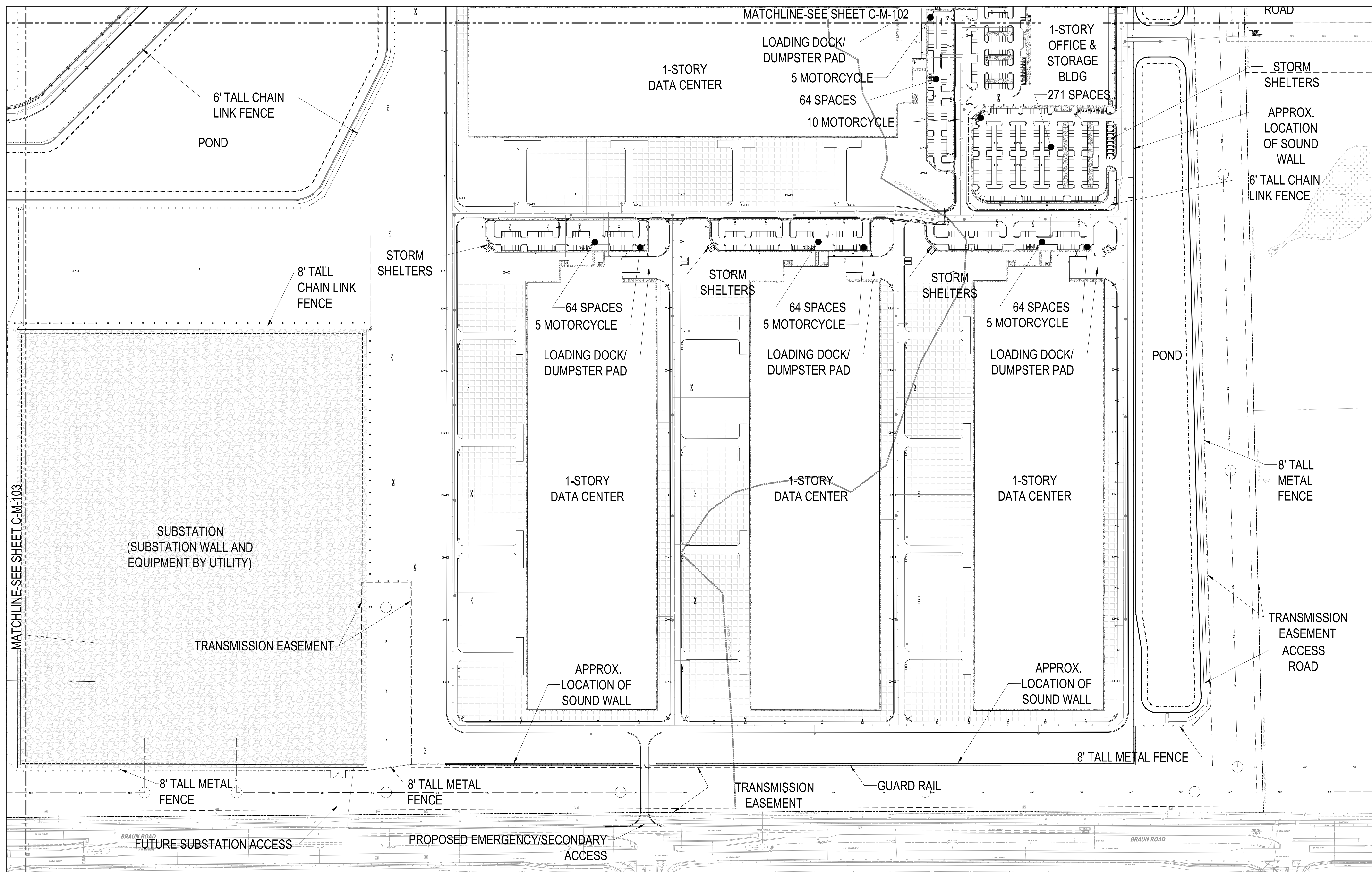


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No.	Date	Description
0	12 DEC 2025	MKE07-15 SITE PLAN #FP

Package
MKE07-15
Sheet Title/Number
CIVIL SITE MASTER PLAN SITE PLAN PART PLAN 2

C-M-102

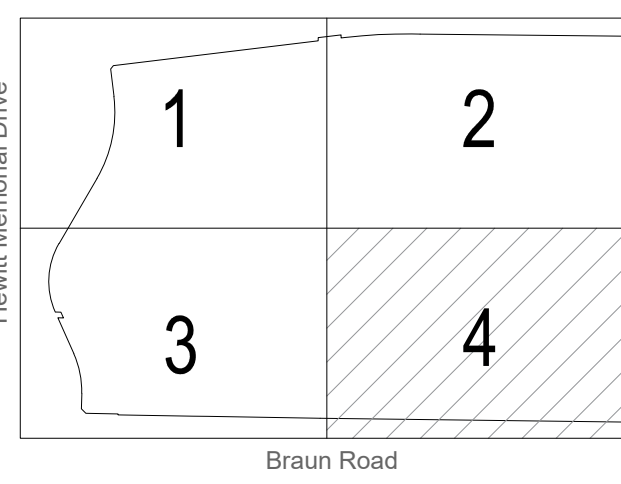
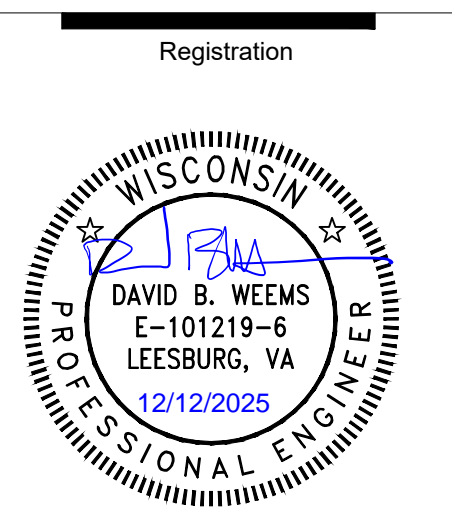


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 Checked: DAVID WEEMS
 Date: OCTOBER 29, 2025



No.	Date	Description
0	12 DEC 2025	MKE07-15 SITE PLAN #P

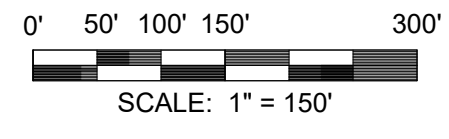
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MKE07-15

Sheet Title/Number
CIVIL SITE MASTER PLAN SITE PLAN PART PLAN 4

C-M-104

LEGEND

PROPERTY LINE	EXISTING FLOODPLAIN	8' TALL METAL FENCE	FIRE HYDRANT	EXISTING WATER SERVICE SUPPLY
CONCRETE SIDEWALK	EXISTING WETLAND (HATCHED)	8' TALL CHAIN LINK FENCE	EXISTING SANITARY SEWER PIPE	WATER SERVICE SUPPLY
MECHANICAL/ELECTRICAL EQUIPMENT YARD		6' TALL CHAIN LINK FENCE	PROPOSED SANITARY SEWER PIPE	FIRE PROTECTION WATER SUPPLY
SUBSTATION		GUARDRAIL	EXISTING SANITARY SEWER MANHOLE	SITE LIGHTING
		SOUND WALL	PROPOSED SANITARY SEWER MANHOLE	



MICROSOFT

Design Manager: **RENATA BOLLICH**
Layout Manager:

Civil, Site Survey, Landscaping Technical Lead: **DUANE THOMAS**
Architectural & Structural Technical Lead: **JORGE GONZALEZ / TRAVIS TEST**
Mech, Plumbing & Fire Protection Technical Lead: **SEAN ABBOTT / JOSH MARKS**
Building Automation Systems (BAS) Technical Lead: **BILL GEMBINSKI**
Electrical Technical Lead: **JEREMY WIKSTROM**
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Telecommunications / Network Technical Lead: **LEIANNA BOLEY**
Security Design Manager: **BRIAN BURKE**

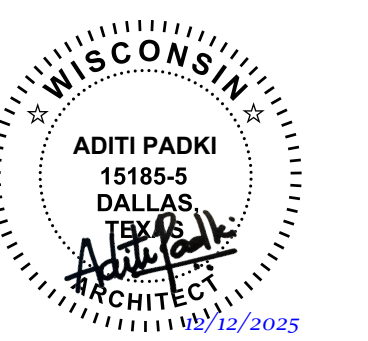
DESIGN TEAM

Civil Engineering Lead: **DAVID WEEMS / DEWBERRY**
Structural Engineering Lead: **BINYAM JEMAL / BMcD**
Architectural Lead: **ADITI PADKI / BMcD**
Mechanical Engineering Lead: **JAKE COLBRUNN / BMcD**
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Telecommunications / Network Engineering Lead: **JUSTIN JACOBSON / Z BETA**
Security Systems Engineering Lead:

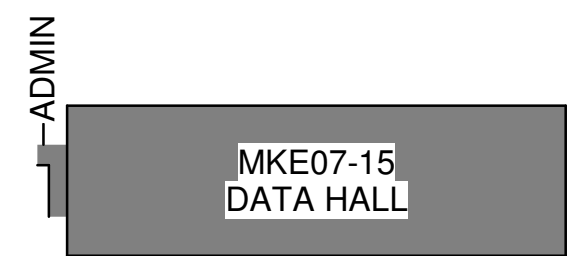
Revisions

No.	Date	Description
0	12 DEC 2025	MKE07-15 SITE PLAN IFF

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Sector Key Plan



Package

MKE07-15

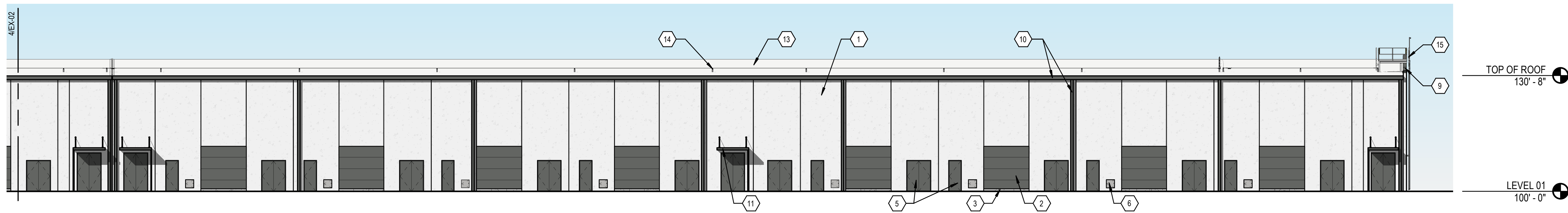
Sheet Title/Number

**ARCHITECTURAL
FLOOR PLAN**

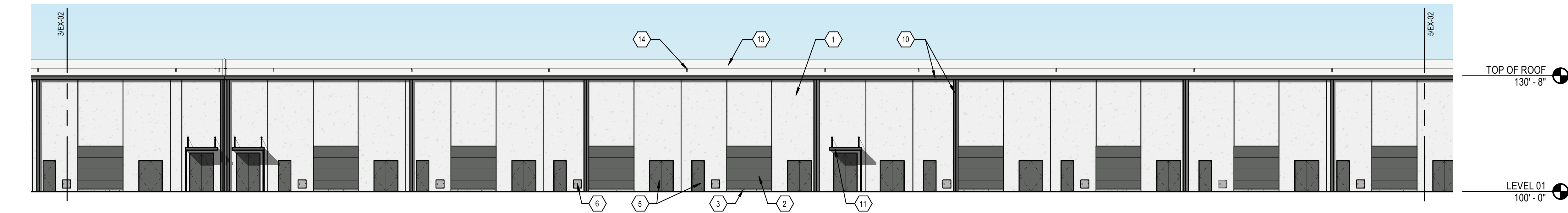


1 ARCHITECTURAL FLOOR PLAN
1/64" = 1'-0"

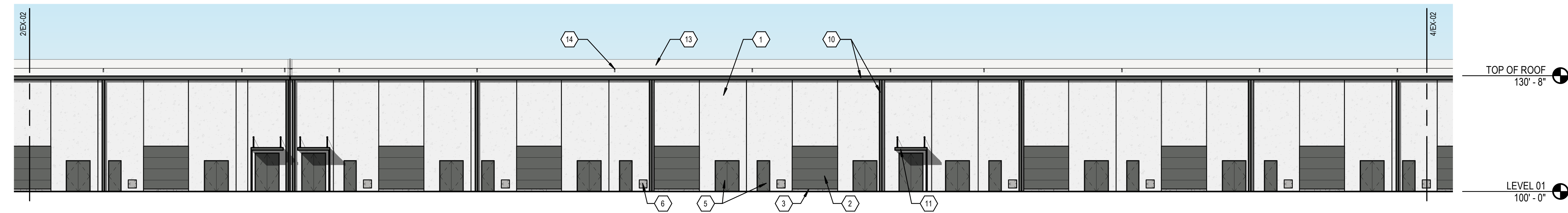
ELEVATION SHEET NOTES	
#	MATERIAL
1	INSULATED PRECAST ARCHITECTURAL CONCRETE PANELS
2	INSULATED METAL PANELS
3	CONCRETE FACED INSULATION PANELS
4	PREFINISHED, PERFORATED FORMED METAL PANELS
5	PAINTED HOLLOW METAL DOORS
6	EQUIPMENT ACCESS DOORS
7	PREFINISHED OVERHEAD COILING DOOR
8	CURTAIN WALL SYSTEM
9	PREFINISHED METAL COPING
10	PREFINISHED METAL GUTTERS WITH DOWNSPOUTS
11	PREFINISHED METAL CANOPY WITH DOWNSPOUTS
12	METAL COMPOSITE PANEL CANOPY
13	WHITE THERMOPLASTIC MEMBRANE ROOFING
14	ROOF LIFELINE FALL PROTECTION
15	ROOF ACCESS LADDER AND PLATFORM
16	WIRE MESH FENCING
17	GALVANIZED STEEL GUARDRAIL
18	LOADING DOCK SEAL



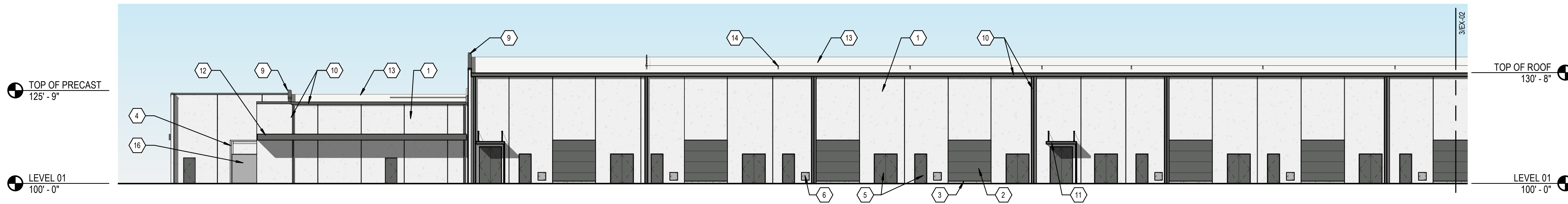
5 ENLARGED EAST ELEVATION
1/16" = 1'-0"



4 ENLARGED EAST ELEVATION
1/16" = 1'-0"



3 ENLARGED EAST ELEVATION
1/16" = 1'-0"



2 ENLARGED EAST ELEVATION
1/16" = 1'-0"



1 OVERALL EAST ELEVATION
1" = 50'-0"

MICROSOFT

Design Manager: RENATA BOLLICH
Layout Manager: DUANE THOMAS
Architectural & Structural Technical Lead: JORGE GONZALEZ / TRAVIS TEST
Mech, Plumbing & Fire Protection Technical Lead: SEAN ABBOTT / JOSH MARKS
Building Automation Systems (BAS) Technical Lead: BILL GEMBINSKI
Electrical Technical Lead: JEREMY WIKSTROM
Electrical Power Management Systems (EPMS) Technical Lead: AHMAD ALKHUWATER
Telecommunications / Network Technical Lead: LEIANNA BOLEY
Security Design Manager: BRIAN BURKE

DESIGN TEAM

Civil Engineering Lead: DAVID WEEMS / DEWBERRY
Structural Engineering Lead: BINYAM JEMAL / BMcD
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Telecommunications / Network Engineering Lead: JUSTIN JACOBSON / Z BETA
Security Systems Engineering Lead: JUSTIN JACOBSON / Z BETA

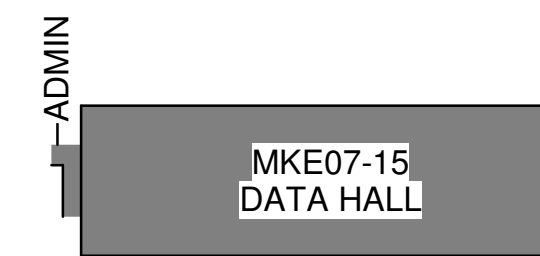
Revisions

No.	Date	Description
0	12 DEC 2025	MKE07-15 SITE PLAN IFP

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Sector Key Plan



Package
MKE07-15
Sheet Title/Number

**ARCHITECTURAL
ELEVATIONS**

ELEVATION SHEET NOTES	
#	MATERIAL
1	INSULATED PRECAST ARCHITECTURAL CONCRETE PANELS
2	INSULATED METAL PANELS
3	CONCRTE FACED INSULATION PANELS
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9	PREFINISHED METAL COPING
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11	PREFINISHED METAL CANOPY WITH DOWNSPOUTS
12	METAL COMPOSITE PANEL CANOPY
13	WHITE THERMOPLASTIC MEMBRANE ROOFING
14	ROOF LIFELINE FALL PROTECTION
15	ROOF ACCESS LADDER AND PLATFORM
16	WIRE MESH FENCING
17	GALVANIZED STEEL GUARDRAIL
18	LOADING DOCK SEAL

MICROSOFT

Design Manager	RENATA BOLLICH
Layout Manager	
Civil, Site Survey, Landscaping Technical Lead	DUANE THOMAS
Architectural & Structural Technical Lead	JORGE GONZALEZ / TRAVIS TEST
Mech, Plumbing & Fire Protection Technical Lead	SEAN ABBOTT / JOSH MARKS
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Electrical Power Management Systems (EPMS) Technical Lead	AIMAR ALKHUWAITER
Telecommunications / Network Technical Lead	LEIANNA BOLEY
Security Design Manager	BRIAN BURKE

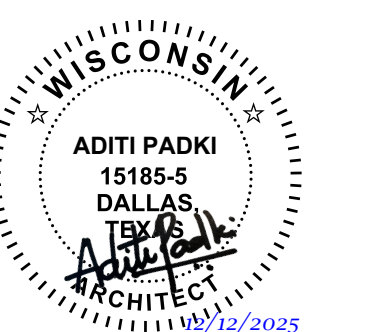
DESIGN TEAM

Civil Engineering Lead	DAVID WEEMS / DEWBERRY
Structural Engineering Lead	BINYAM JEMAL / BMcD
Architectural Lead	ADITI PADKI / BMcD
Mechanical Engineering Lead	JAKE COLBRUNN / BMcD
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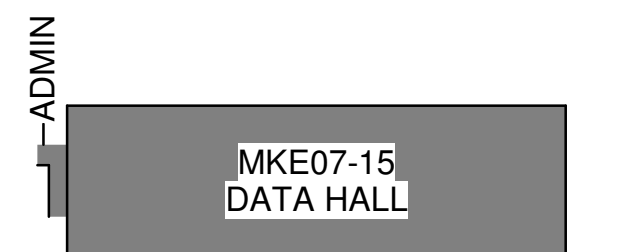
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0	12 DEC 2025	MKE07-15 SITE PLAN IFF

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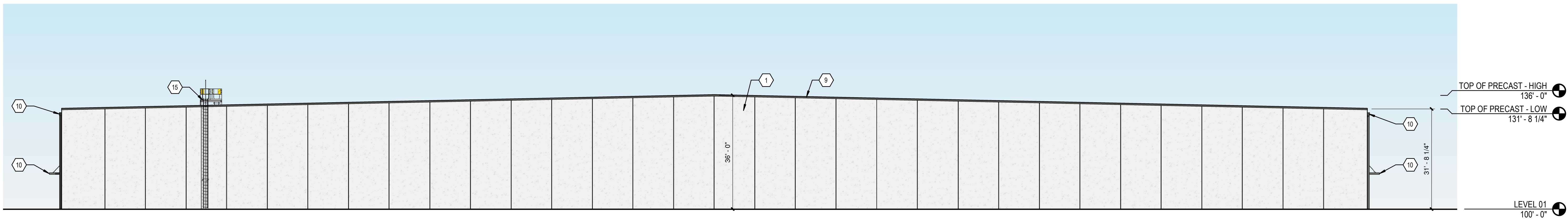


Sector Key Plan



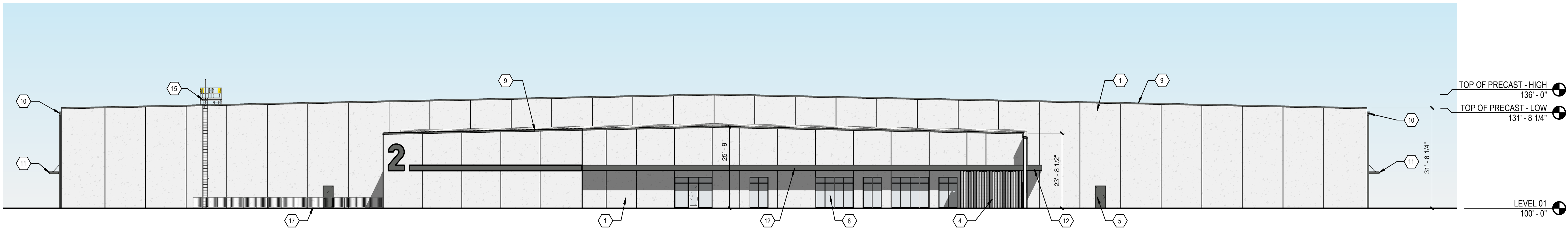
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MKE07-15
Sheet Title/Number

**ARCHITECTURAL
ELEVATIONS**



2 NORTH ELEVATION

1/16" = 1'-0"

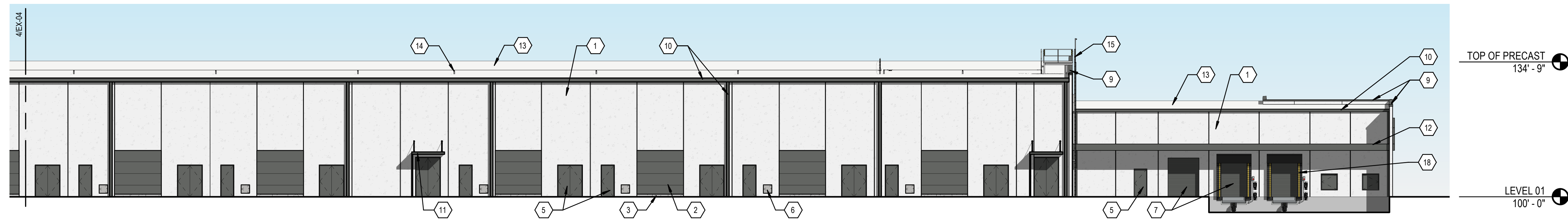


1 SOUTH ELEVATION

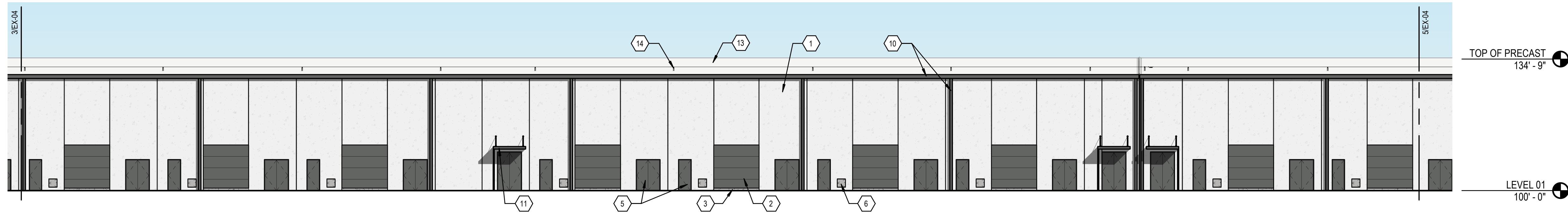
1/16" = 1'-0"

ELEVATION SHEET NOTES	
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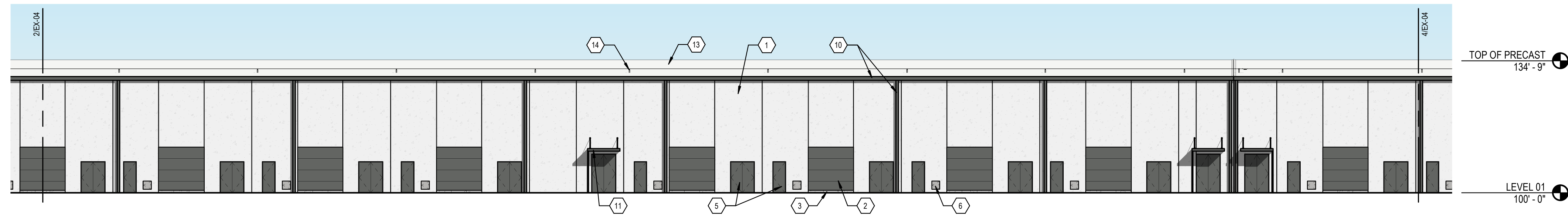
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17	GALVANIZED STEEL GUARDRAIL
18	LOADING DOCK SEAL



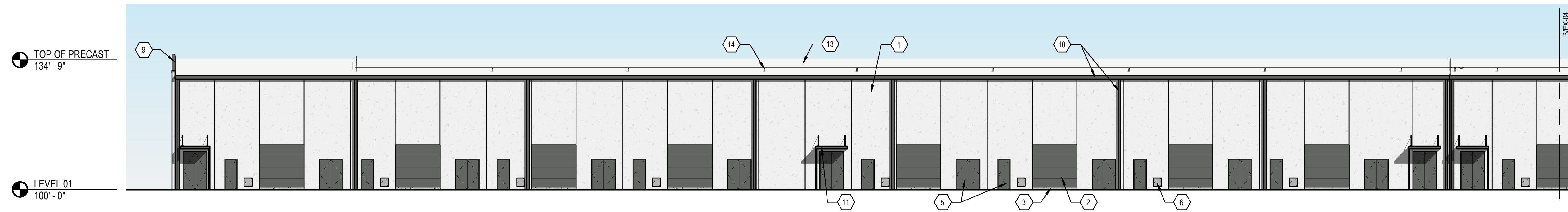
5 ENLARGED WEST ELEVATION
1/16" = 1'-0"



4 ENLARGED WEST ELEVATION
1/16" = 1'-0"



3 ENLARGED WEST ELEVATION
1/16" = 1'-0"



2 ENLARGED WEST ELEVATION
1/16" = 1'-0"



1 OVERALL WEST ELEVATION
1" = 50'-0"

MICROSOFT

Design Manager: RENATA BOLLICH
Layout Manager: DUANE THOMAS
Civil, Site Survey, Landscaping Technical Lead: JORGE GONZALEZ / TRAVIS TEST
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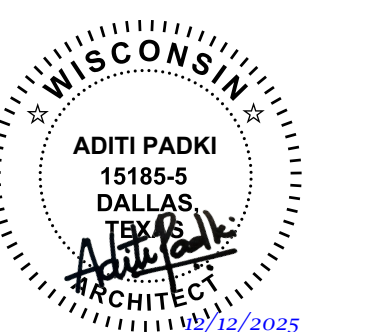
DESIGN TEAM

Civil Engineering Lead: DAVID WEEMS / DEWBERRY
Structural Engineering Lead: BINYAM JEMAL / BMcD
Architectural Lead: ADITI PADKI / BMcD
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Security Systems Engineering Lead: JUSTIN JACOBSON / Z BETA

Revisions

No.	Date	Description
0	12 DEC 2025	MKE07-15 SITE PLAN IFP

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Sector Key Plan



Package

MKE07-15
Sheet Title/Number



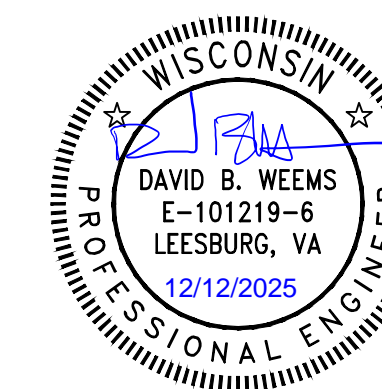
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Suite 200
Leesburg, VA 20176-6680
703.771.8004

MKE 07-15

12023 Durand Avenue
Sturtevant, WI 53177

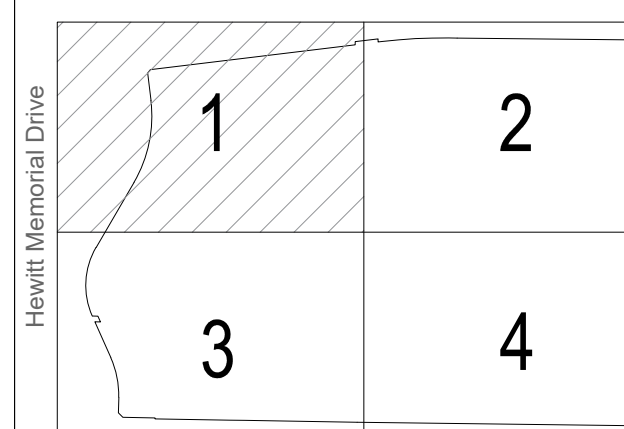
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Drawn: LUDYK ROMAN, MAHKHANH HUMBLE, NICK COLAVITA, LITZY AGUILAR
Checked: DAVID WEEMS
Date: OCTOBER 29, 2025

Registration



Sector Key Plan

Durand Ave



Braun Road

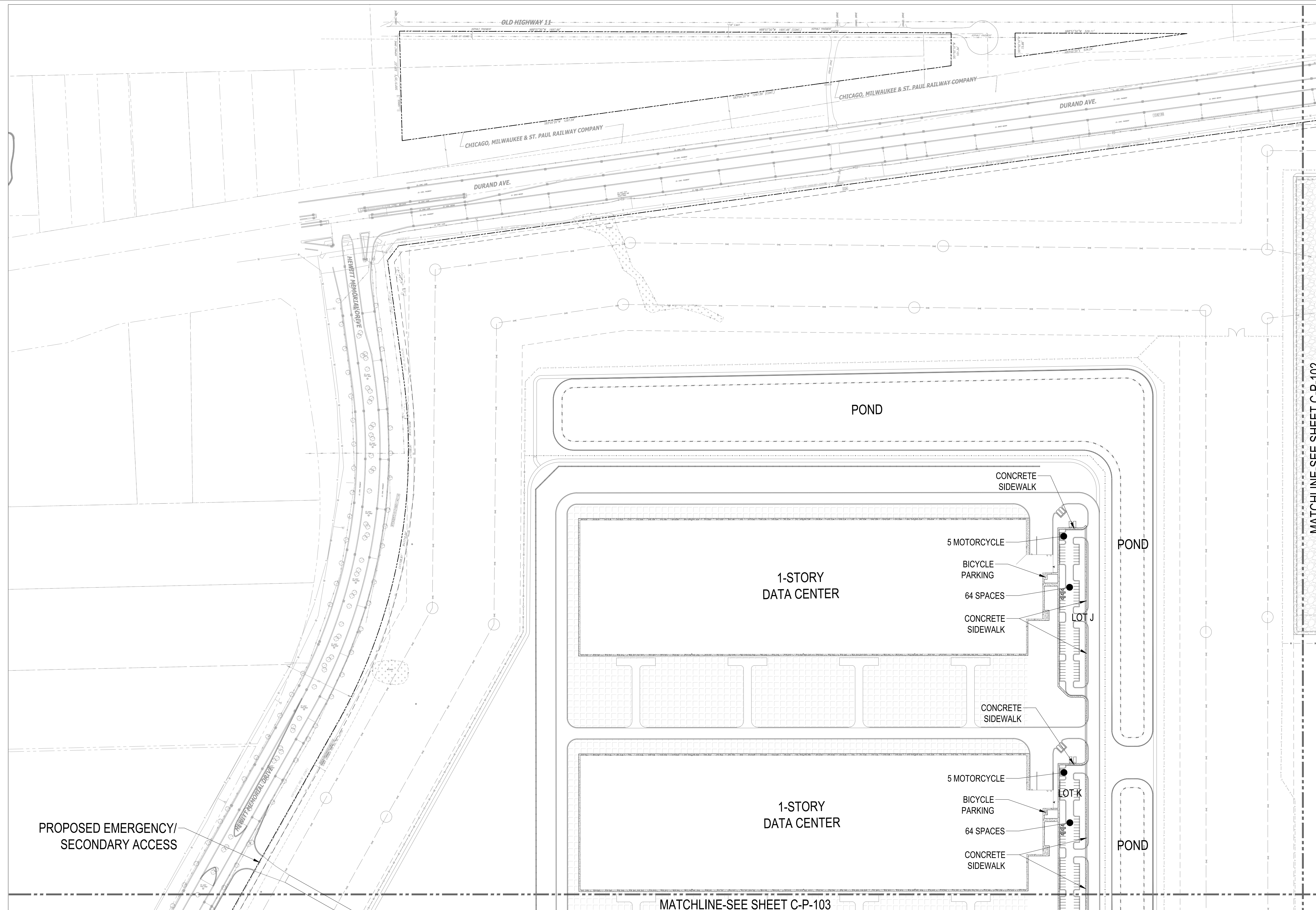
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Package
MKE07-15

Sheet Title/Number

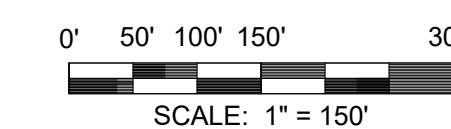
CIVIL
SITE MASTER PLAN
PARKING &
ACCESS PLAN
PART PLAN 1

C-P-101

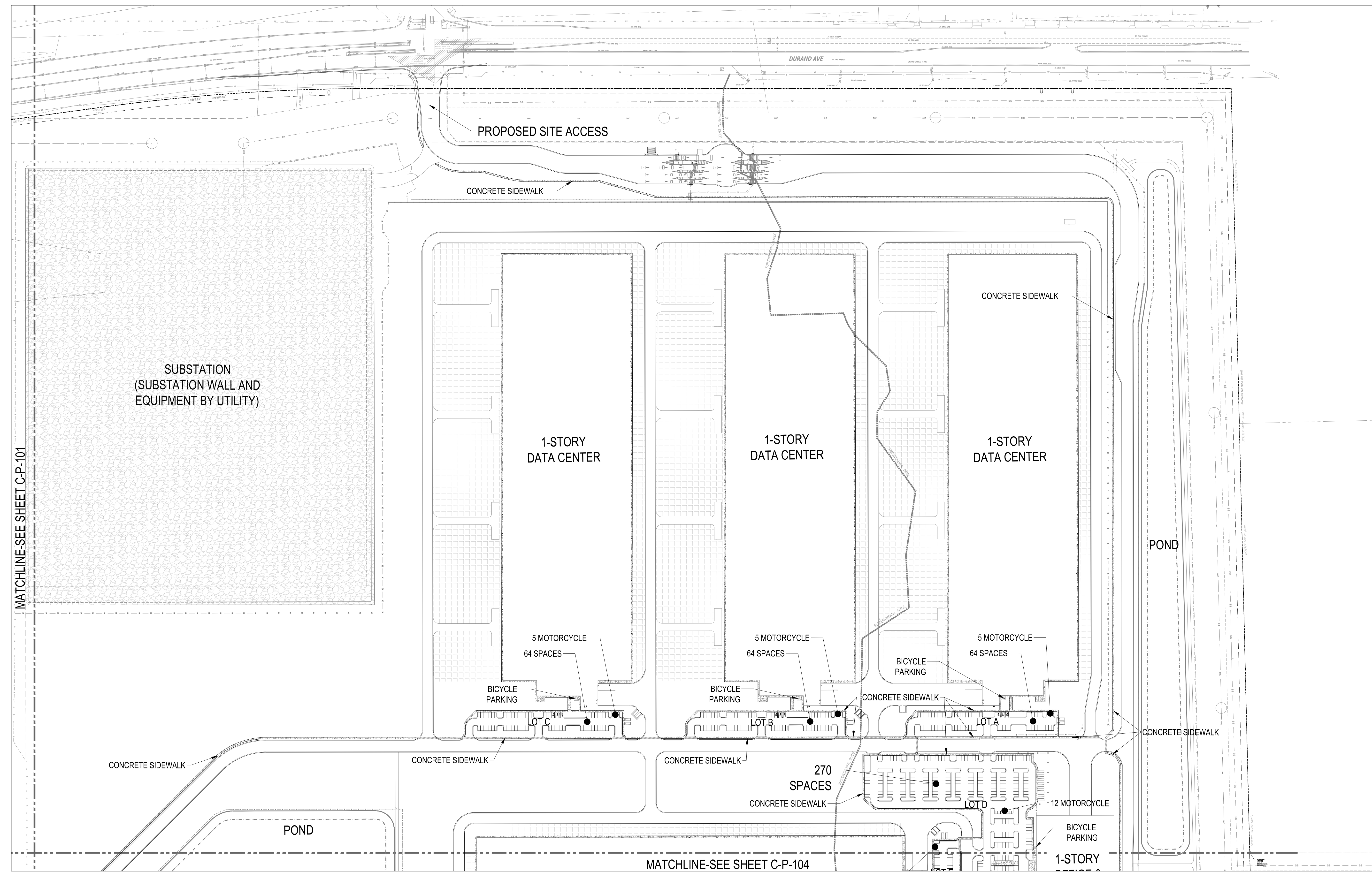


LEGEND

Legend detailing symbols for Property Line, Existing Floodplain, Wetland, Fences (8' Tall Metal, 8' Tall Chain Link, 6' Tall Chain Link), Guardrail, Sound Wall, Fire Hydrant, Sanitary Sewer (Existing/Proposed), Manhole (Existing/Proposed), Water Service Supply, Fire Protection Water Supply, Site Lighting, Concrete Sidewalk, Mechanical/Electrical Equipment Yard, and Substation.



NOTES:
1. FOR CONCRETE CROSSWALK DETAILS, SEE SHEET C-A-200.
2. FOR ACCESSIBLE PARKING DETAILS, SEE SHEET C-A-200.

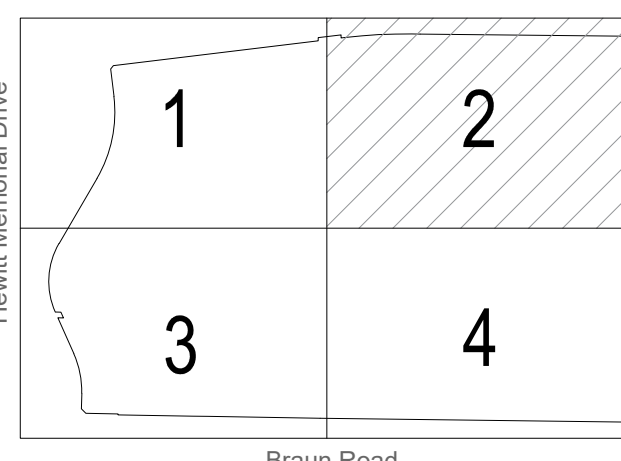
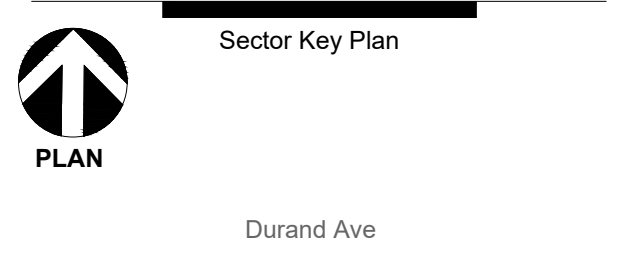
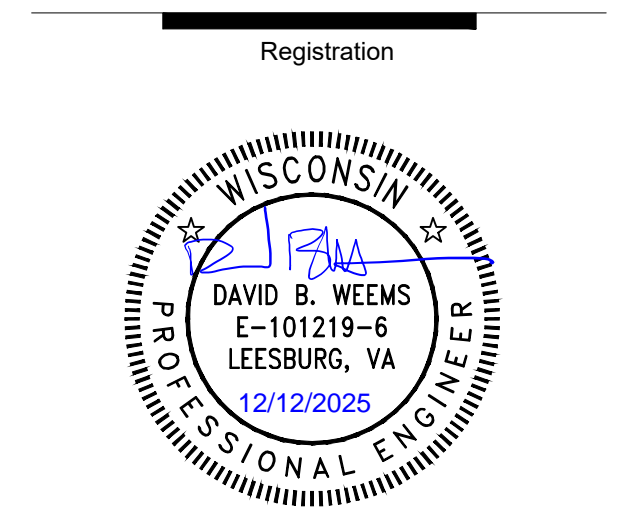


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0	12 DEC 2025	MKE07-15 SITE PLAN #P

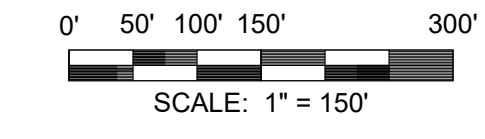
Package
MKE07-15
 Sheet Title/Number

**CIVIL
 SITE MASTER PLAN
 PARKING &
 ACCESS PLAN
 PART PLAN 2**

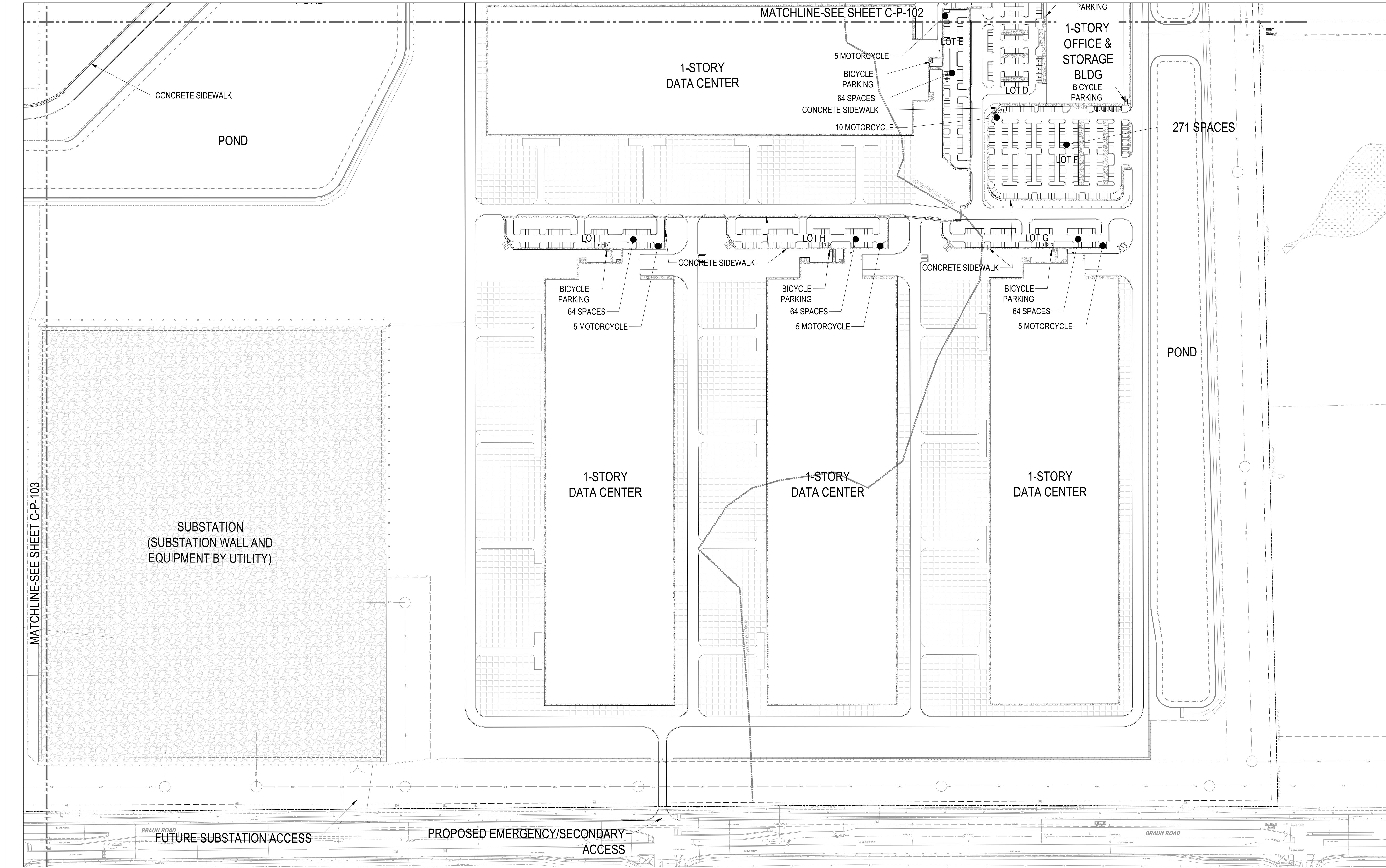
C-P-102

LEGEND

PROPERTY LINE	EXISTING FLOODPLAIN	8' TALL METAL FENCE	FIRE HYDRANT	EXISTING WATER SERVICE SUPPLY
CONCRETE SIDEWALK	EXISTING WETLAND (HATCHED)	8' TALL METAL FENCE	EXISTING SANITARY SEWER PIPE	WATER SERVICE SUPPLY
MECHANICAL/ELECTRICAL EQUIPMENT YARD		8' TALL CHAIN LINK FENCE	PROPOSED SANITARY SEWER PIPE	FIRE PROTECTION WATER SUPPLY
SUBSTATION		6' TALL CHAIN LINK FENCE	EXISTING SANITARY SEWER MANHOLE	SITE LIGHTING
		GUARDRAIL	PROPOSED SANITARY SEWER MANHOLE	SITE LIGHTING
		SOUND WALL		



- NOTES:
- FOR CONCRETE CROSSWALK DETAILS, SEE SHEET C-A-200.
 - FOR ACCESSIBLE PARKING DETAILS, SEE SHEET C-A-200.

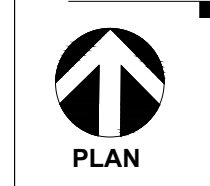
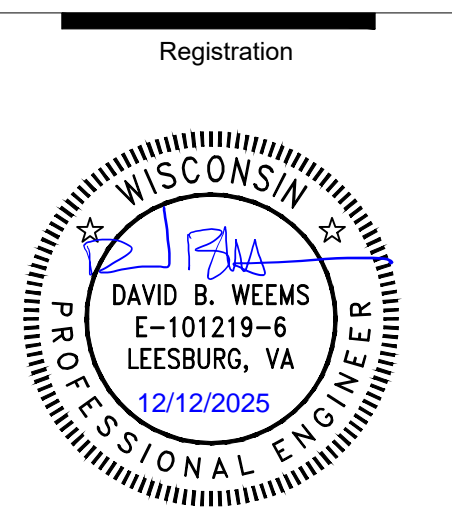


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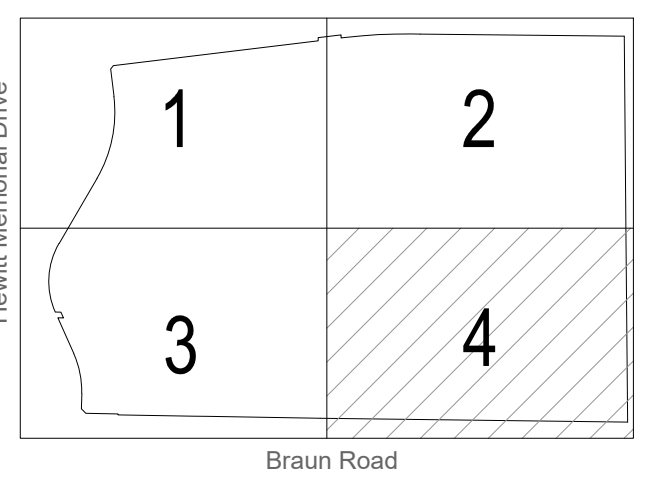
MKE 07-15

12023 Durand Avenue
Sturtevant, WI 53177

Design: LUDYK ROMAN, MA-KHANH HUMBLE, NICK COLAVITA, LITZY AGUILAR
Drawn: LUDYK ROMAN, MA-KHANH HUMBLE, NICK COLAVITA, LITZY AGUILAR
Checked: DAVID WEEMS
Date: OCTOBER 29, 2025



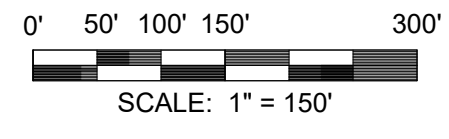
Sector Key Plan
Durand Ave



No.	Date	Description
0	12 DEC 2025	MKE07-15 SITE PLAN #P

LEGEND

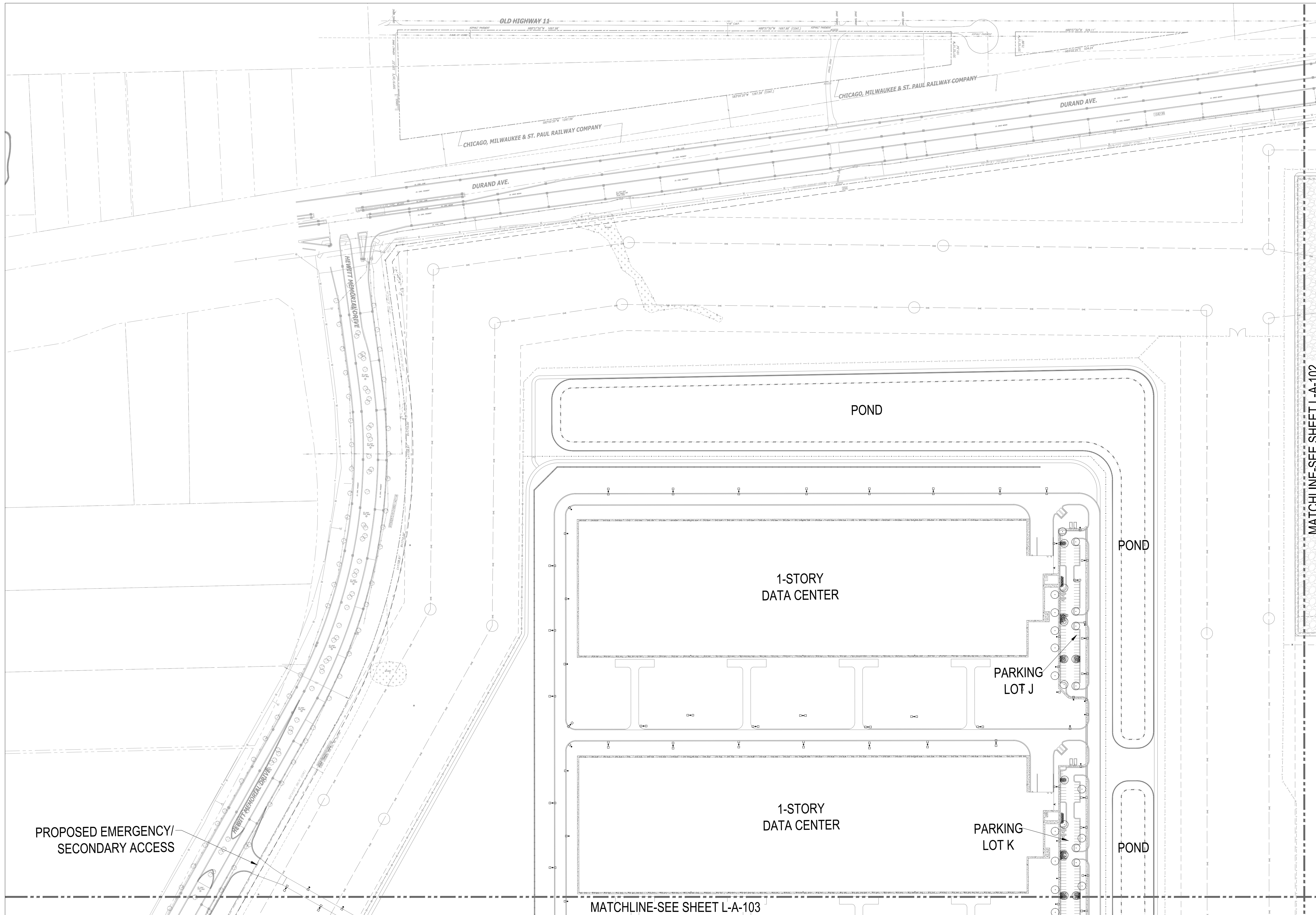
PROPERTY LINE	EXISTING FLOODPLAIN	8' TALL METAL FENCE	FIRE HYDRANT	EXISTING WATER SERVICE SUPPLY
CONCRETE SIDEWALK	EXISTING WETLAND (HATCHED)	8' TALL METAL FENCE	EXISTING SANITARY SEWER PIPE	WATER SERVICE SUPPLY
MECHANICAL/ELECTRICAL EQUIPMENT YARD		8' TALL CHAIN LINK FENCE	PROPOSED SANITARY SEWER PIPE	FIRE PROTECTION WATER SUPPLY
SUBSTATION		8' TALL CHAIN LINK FENCE	EXISTING SANITARY SEWER MANHOLE	SITE LIGHTING
		6' TALL CHAIN LINK FENCE	PROPOSED SANITARY SEWER MANHOLE	
		GUARDRAIL		
		SOUND WALL		



NOTES:
1. FOR CONCRETE CROSSWALK DETAILS, SEE SHEET C-A-200.
2. FOR ACCESSIBLE PARKING DETAILS, SEE SHEET C-A-200.

Package
MKE07-15
Sheet Title/Number
**CIVIL
SITE MASTER PLAN
PARKING &
ACCESS PLAN
PART PLAN 4**

C-P-104



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MKE 07-15

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Sturtevant, WI 53177

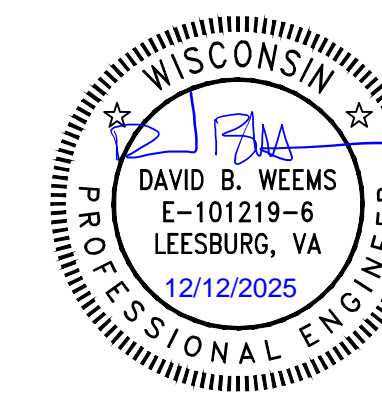
Design: LUDYK ROMAN, MAKHANH HUMBLE, NICK COLAVITA,
LITZY AGUILAR

Drawn: LUDYK ROMAN, MAKHANH HUMBLE, NICK COLAVITA,
LITZY AGUILAR

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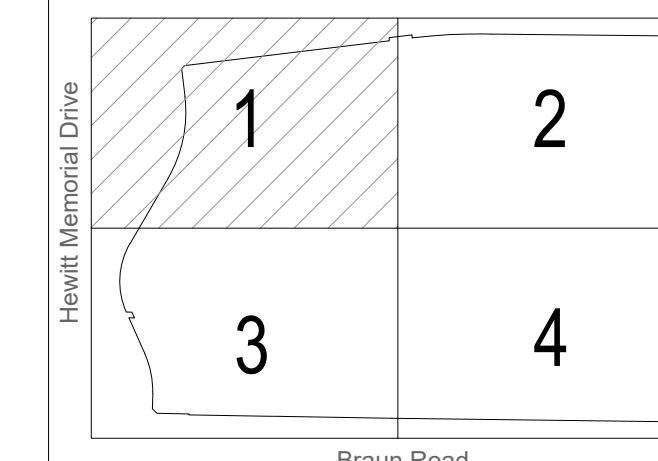
Date: OCTOBER 29, 2025

Registration



Sector Key Plan

Durand Ave



Braun Road

Revisions

No.	Date	Description
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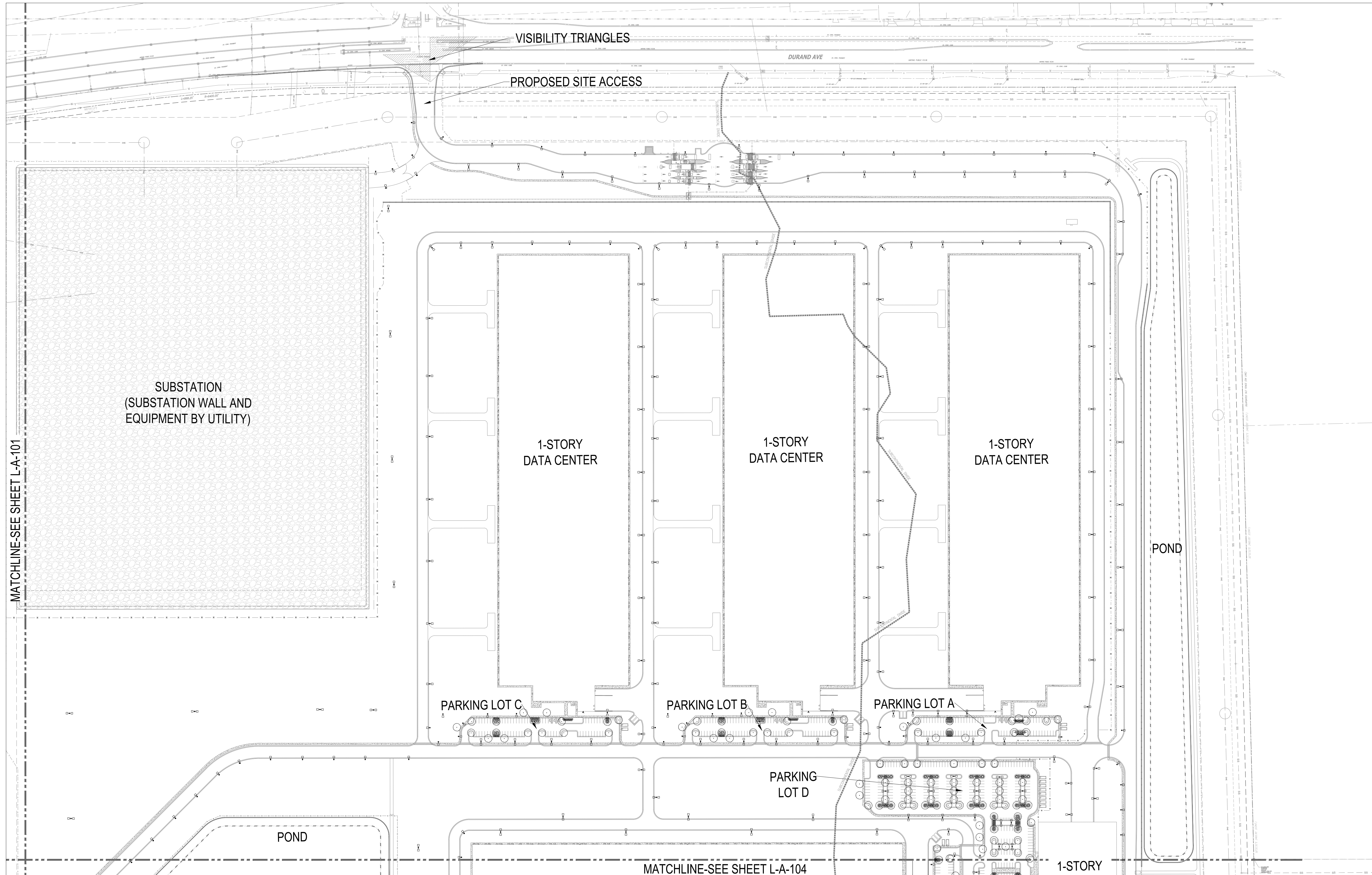
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MKE07-15

Sheet Title/Number

CIVIL
SITE MASTER PLAN
LANDSCAPING
PART PLAN 1

L-A-101

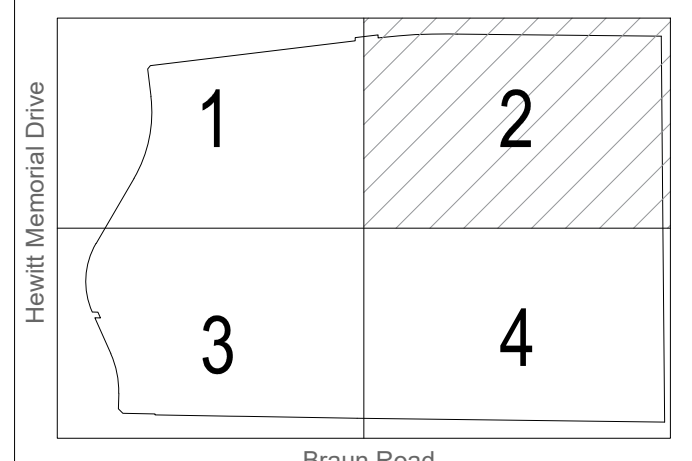
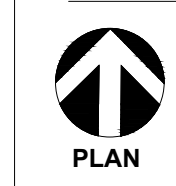
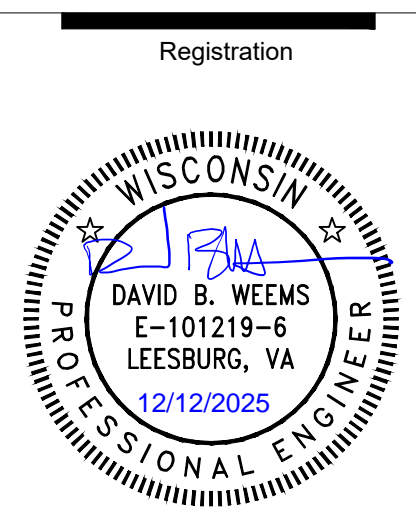


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LITZY AGUILAR
Drawn: LUDYK ROMAN, MA-KHANH HUMBLE, NICK COLAVITA,
LITZY AGUILAR
Checked: DAVID WEEMS
Date: OCTOBER 29, 2025

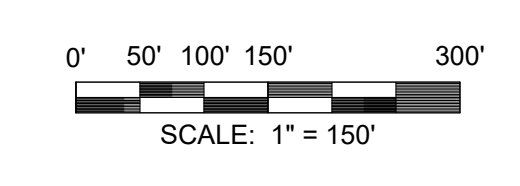
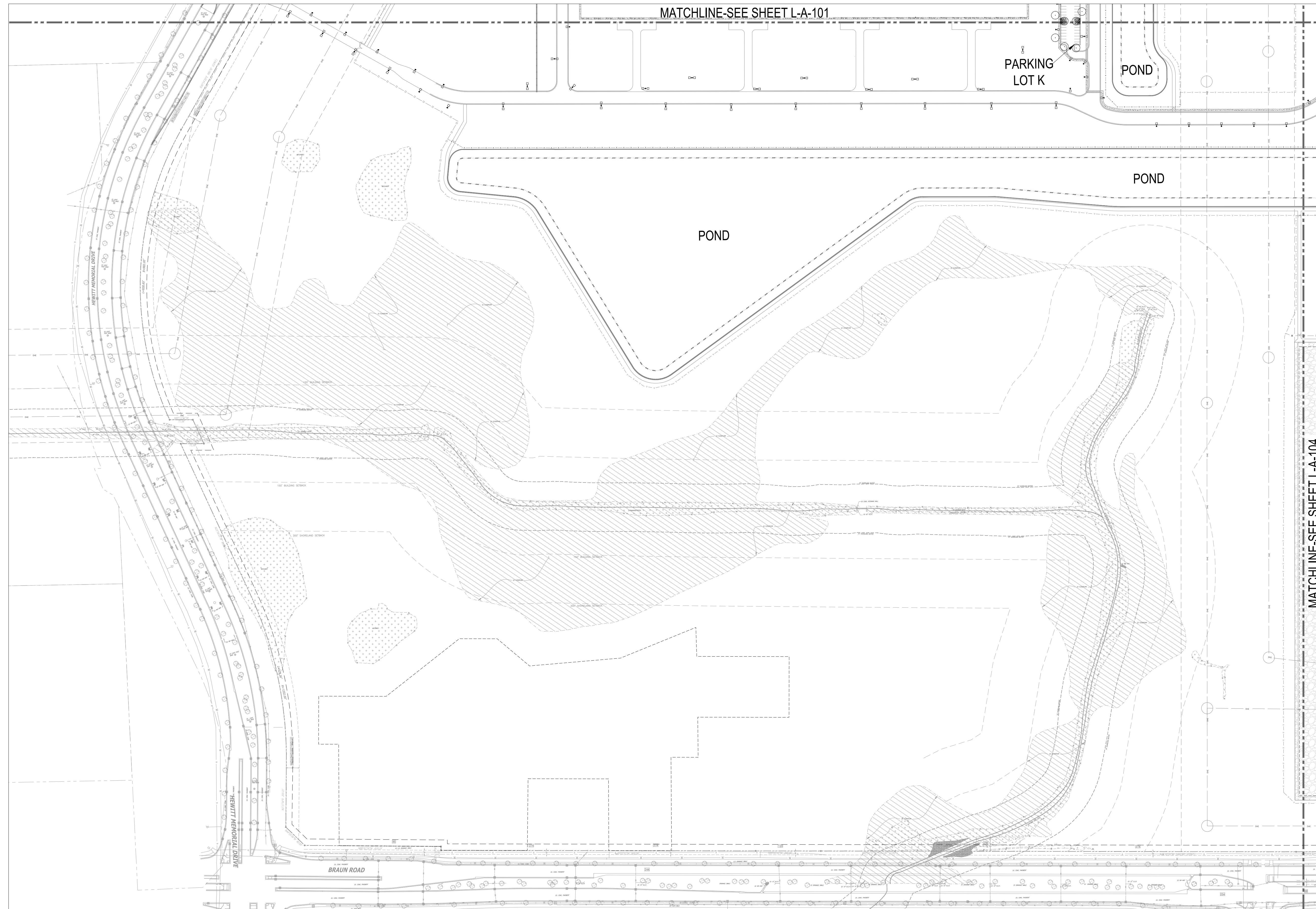


Revisions

No.	Date	Description
0	12 DEC 2025	MKE07-15 SITE PLAN #P

Package
MKE07-15
Sheet Title/Number
CIVIL
SITE MASTER PLAN
LANDSCAPING PART
PLAN 2

L-A-102



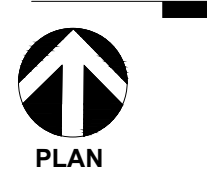
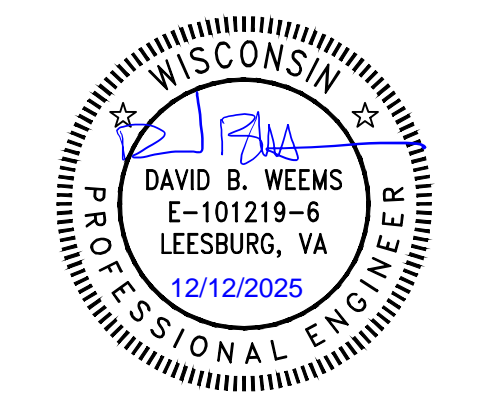
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MKE 07-15

12023 Durand Avenue
Sturtevant, WI 53177

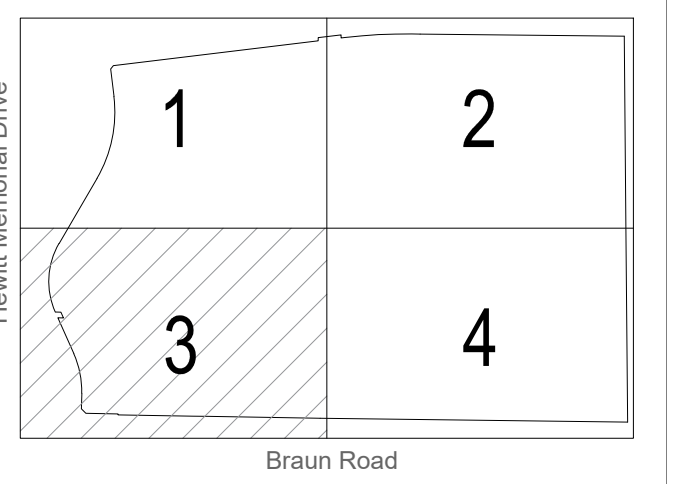
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LITZY AGUILAR
 Drawn: LUDYK ROMAN, MA-KHANH HUMBLE, NICK COLAVITA,
LITZY AGUILAR
 Checked: DAVID WEEMS
 Date: OCTOBER 29, 2025

Registration



Sector Key Plan

Durand Ave



Revisions

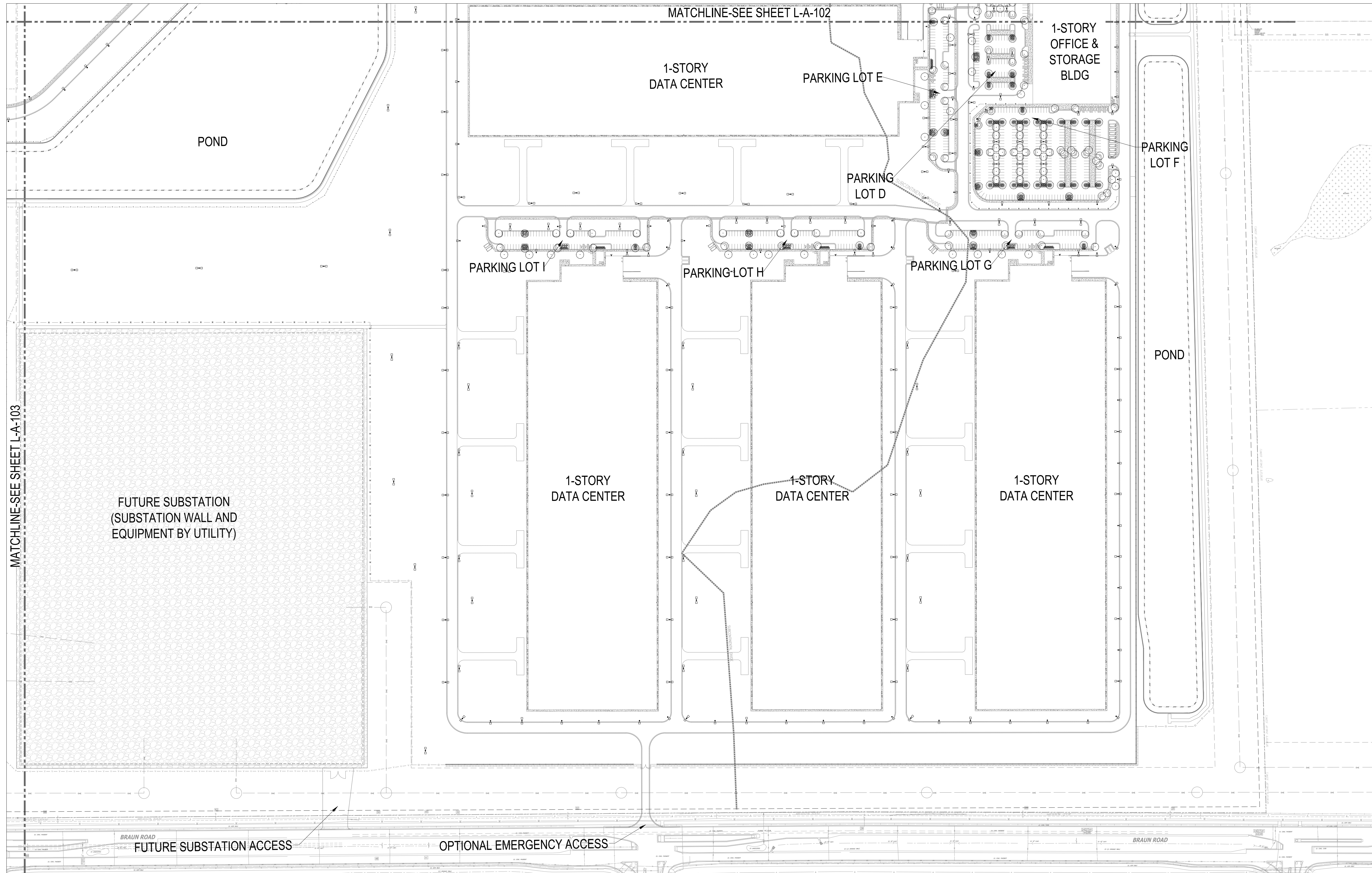
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Package
MKE07-15

Sheet Title/Number

CIVIL
SITE MASTER PLAN
LANDSCAPING PART
PLAN 3

L-A-103



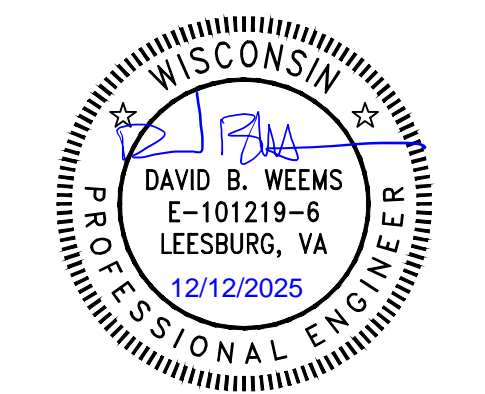
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12023 Durand Avenue
Sturtevant, WI 53177

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LITZY AGUILAR
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LITZY AGUILAR
 Checked: DAVID WEEMS
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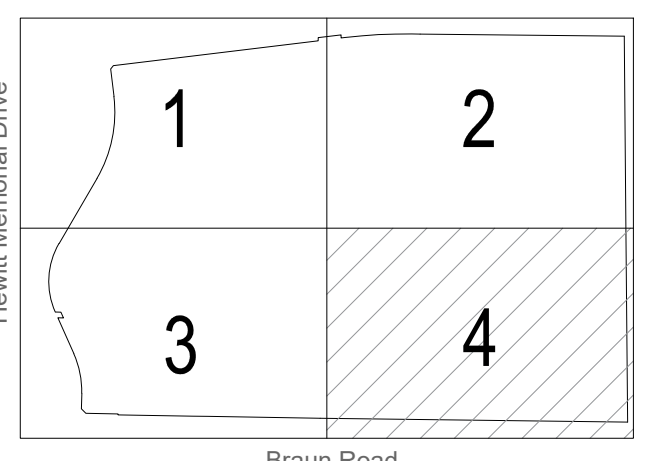
Registration



Sector Key Plan



Durand Ave



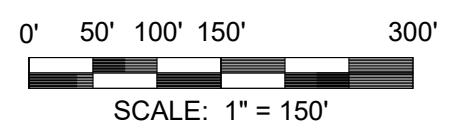
Revisions

No.	Date	Description
0	12 DEC 2025	MKE07-15 SITE PLAN #P

Package MKE07-15

Sheet Title/Number

CIVIL
SITE MASTER PLAN
LANDSCAPING PART
PLAN 4



L-A-104

ELECTRICAL LEGEND table with columns: SYMBOL, EQUIPMENT CONNECTION, ABB, DESCRIPTION, ABB, DESCRIPTION, EQUIPMENT TAG NAMING STANDARD, CIRCUIT LEGENDS. Includes symbols for conduit, receptacles, switches, breakers, transformers, etc.

ABB DESCRIPTION table with columns: ABB, DESCRIPTION, ABB, DESCRIPTION. Lists abbreviations for electrical components like 1P, 2P, 3P, 4P, etc.

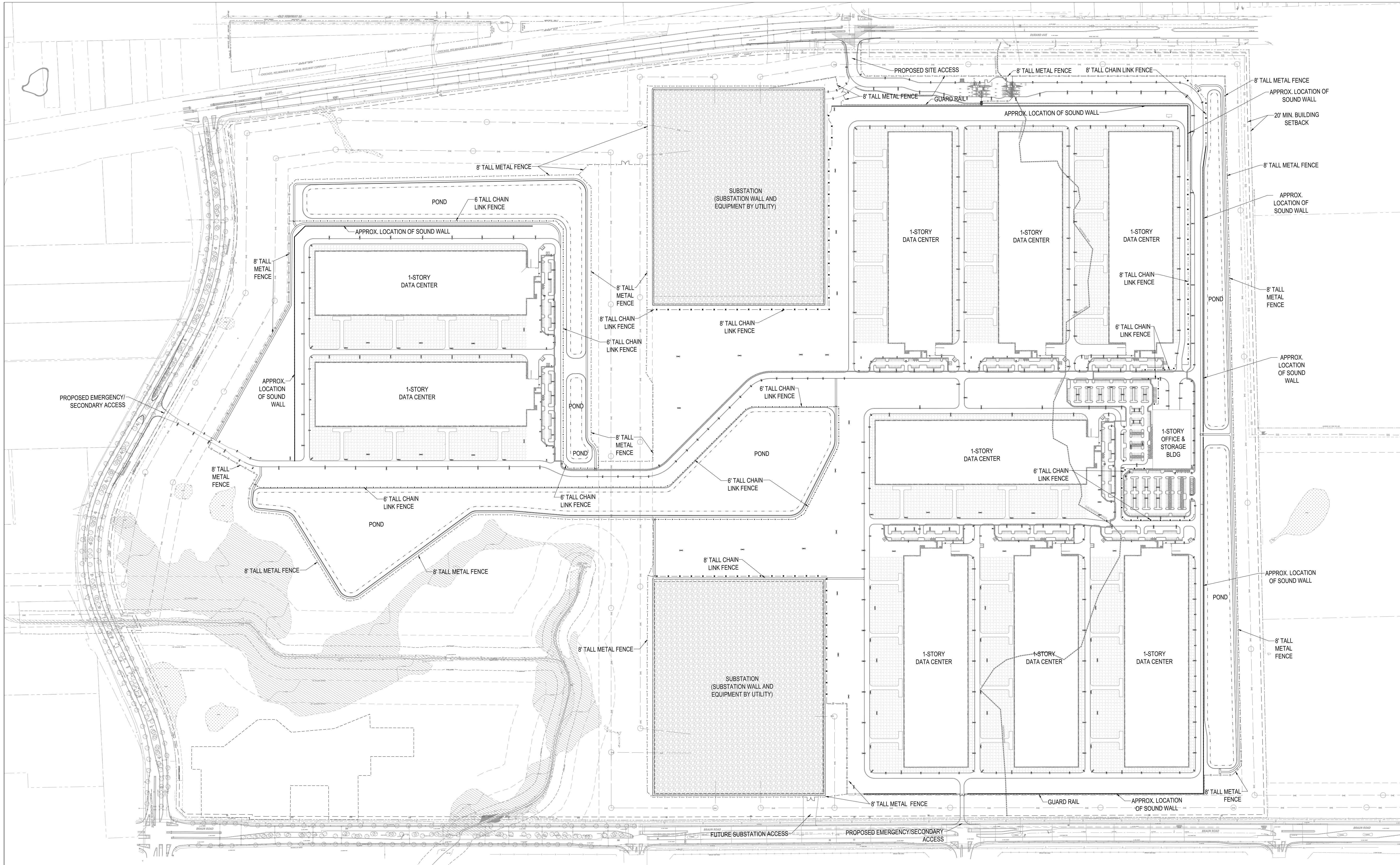
EQUIPMENT TAG NAMING STANDARD table with columns: EQUIPMENT TAG NAMING STANDARD, CIRCUIT LEGENDS. Defines naming conventions for equipment tags and circuit legends.

CIRCUIT LEGENDS table with columns: CIRCUIT LEGENDS, CIRCUIT LEGENDS. Lists circuit legends for 1Φ, 2W-G, 3W-G, 3Φ, 4W-G, and 3Φ, 4W-G transformer secondary.

Project information including Burns & McDonnell logo, project name (MKE07 DATA CENTER), location (12023 Durand Ave., Mt Pleasant, WI 53117), and a detailed Revisors table with columns for revision number, date, description, and author.

EQUIPMENT TAG NAMING STANDARD table with columns: EQUIPMENT TAG NAMING STANDARD, CIRCUIT LEGENDS. Lists naming standards for various electrical equipment and circuit legends.

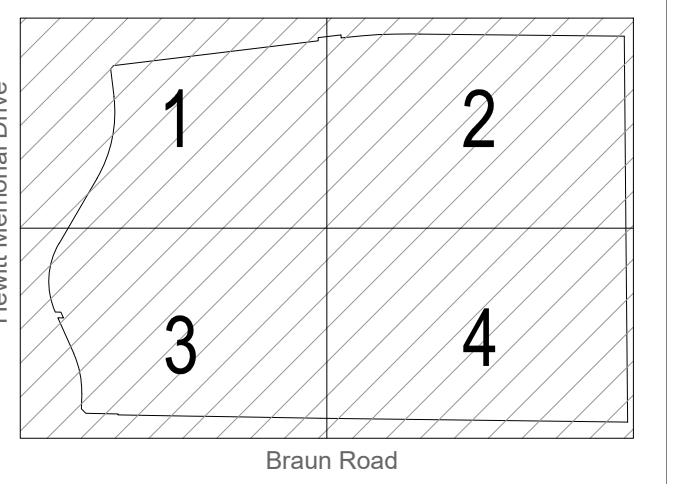
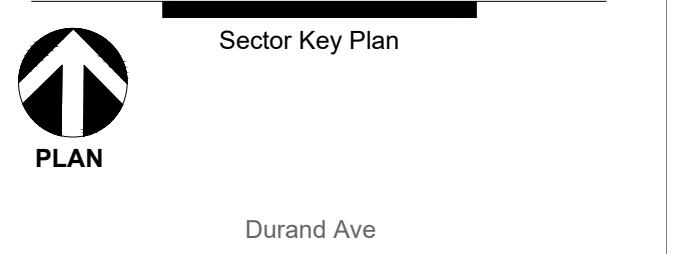
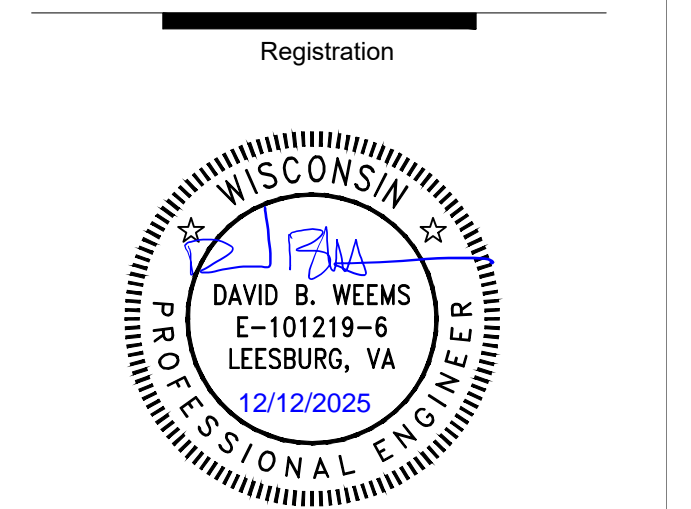
Professional Engineer Seal for Jason Pham, State of Wisconsin, License No. E-101159-6, dated 12/28/2023. Includes the text 'Professional Engineer' and 'Electrical Engineering'.



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MKE 07-15
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 Checked: DAVID WEEMS
 Date: OCTOBER 29, 2025



Revisions

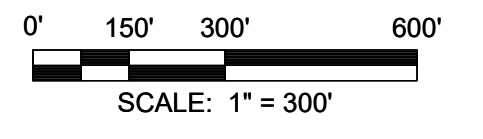
No.	Date	Description
0	12 DEC 2025	MKE07-15 SITE PLAN #FP

Package
MKE07-15
 Sheet Title/Number
CIVIL
SITE MASTER PLAN
FENCE & WALL PLAN
OVERALL

C-W-100

LEGEND

PROPERTY LINE	EXISTING FLOODPLAIN	8' TALL METAL FENCE	FIRE HYDRANT	EXISTING WATER SERVICE SUPPLY
CONCRETE SIDEWALK	EXISTING WETLAND (HATCHED)	8' TALL CHAIN LINK FENCE	EXISTING SANITARY SEWER PIPE	WATER SERVICE SUPPLY
MECHANICAL/ELECTRICAL EQUIPMENT YARD		6' TALL CHAIN LINK FENCE	PROPOSED SANITARY SEWER PIPE	FIRE PROTECTION WATER SUPPLY
SUBSTATION		GUARDRAIL	EXISTING SANITARY SEWER MANHOLE	SITE LIGHTING
		SOUND WALL	PROPOSED SANITARY SEWER MANHOLE	





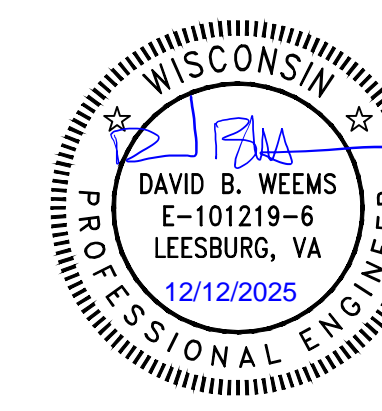
Dewberry Engineers Inc.
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703.771.8004

MKE 07-15

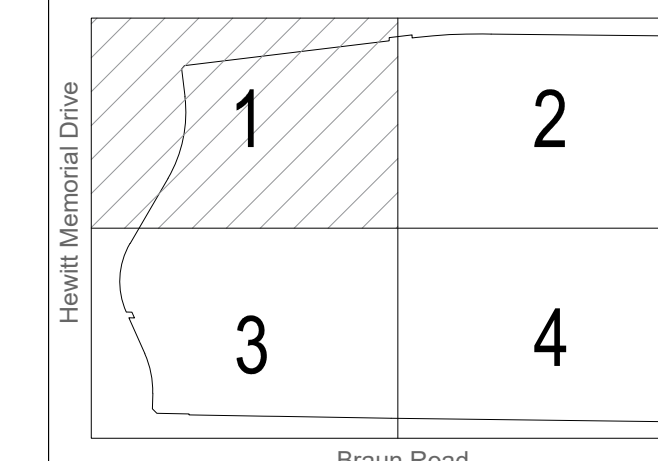
12023 Durand Avenue
Sturtevant, WI 53177

Design: LUDYK ROMAN, MA-KHANH HUMBLE, NICK COLAVITA, LITZY AGUILAR
Drawn: LUDYK ROMAN, MA-KHANH HUMBLE, NICK COLAVITA, LITZY AGUILAR
Checked: DAVID WEEMS
Date: OCTOBER 29, 2025

Registration



Sector Key Plan



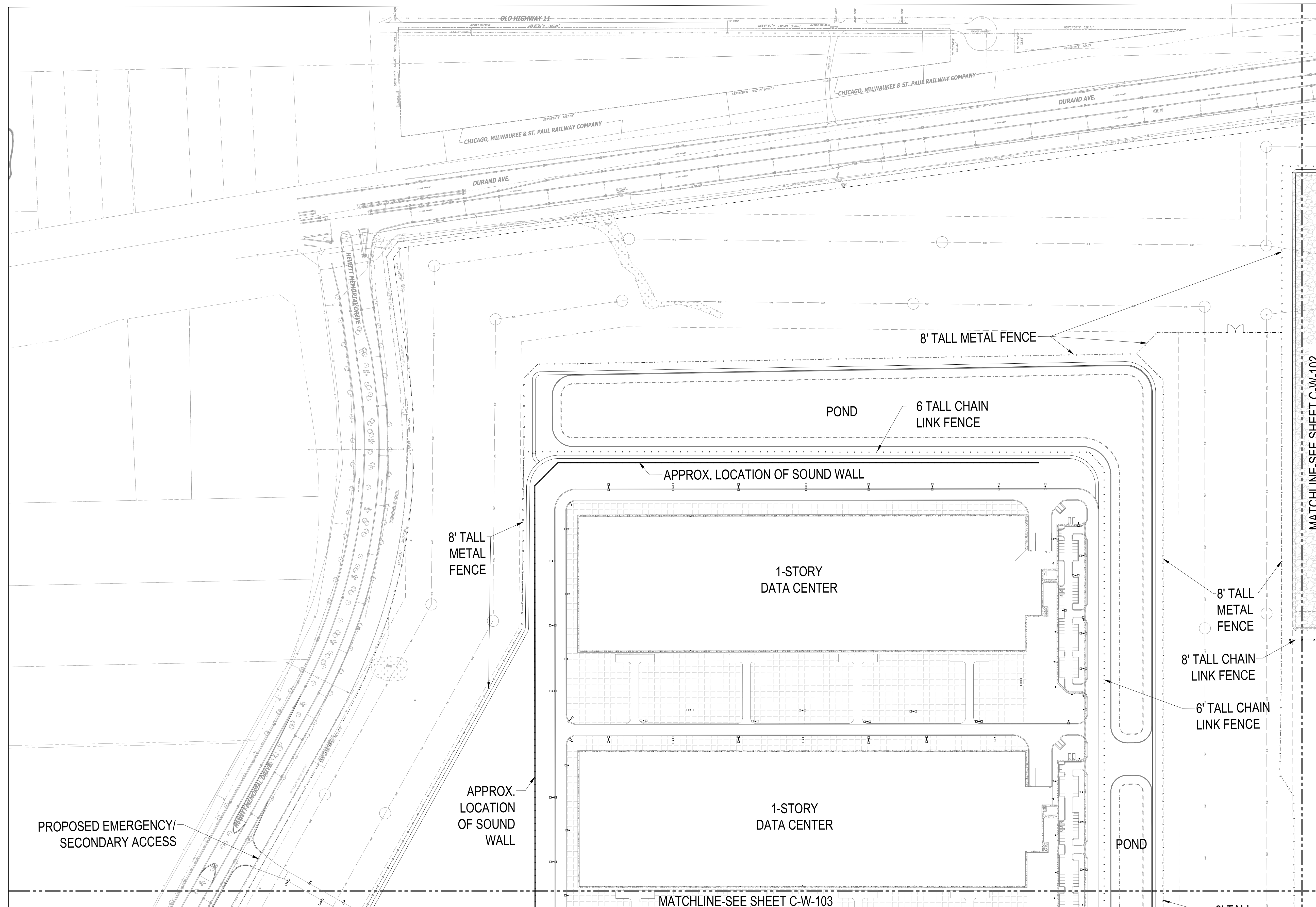
No.	Date	Description
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MKE07-15

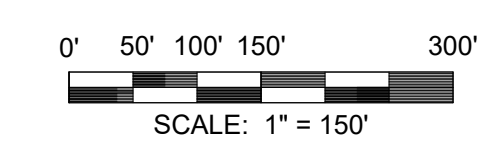
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CIVIL
SITE MASTER PLAN
FENCE & WALL PLAN
PART PLAN 1

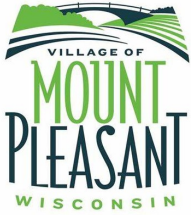
C-W-101



LEGEND				
PROPERTY LINE	EXISTING FLOODPLAIN	8' TALL METAL FENCE	FIRE HYDRANT	EXISTING WATER SERVICE SUPPLY
CONCRETE SIDEWALK	EXISTING WETLAND (HATCHED)	8' TALL CHAIN LINK FENCE	EXISTING SANITARY SEWER PIPE	WATER SERVICE SUPPLY
MECHANICAL/ELECTRICAL EQUIPMENT YARD		8' TALL CHAIN LINK FENCE	PROPOSED SANITARY SEWER PIPE	FIRE PROTECTION WATER SUPPLY
SUBSTATION		6' TALL CHAIN LINK FENCE	EXISTING SANITARY SEWER MANHOLE	SITE LIGHTING
		GUARDRAIL	PROPOSED SANITARY SEWER MANHOLE	
		SOUND WALL		



ELECTRICAL LEGEND		SYMBOL		ABBREVIATIONS		EQUIPMENT TAG NAMING STANDARD		CIRCUIT LEGENDS	
---	CONDUIT RUN CONCEALED		DUPLEX RECEPTACLE NEMA 5-20R	1P	1 POLE (2P, 3P, 4P, ETC.)	KV	KILOVOLT	1Ø, 2W-G (3 WIRES TOTAL)	
---	CONDUIT RUN EXPOSED		DUPLEX RECEPTACLE NEMA 5-20R GFCI - GROUND FAULT CIRCUIT INTERRUPTER	A	AMMETER, AMPERE	KVAR	KILOVOLT-AMPERE REACTIVE	[AA2] [2#12 & 1#12 G IN 3/4" C]	AMP
---	CONDUIT DUCT BURIED IN EARTH		DUPLEX RECEPTACLE NEMA 5-20R, CONTROLLED VIA LIGHTING SYSTEM	AD	ABOVE COUNTER, ABOVE CEILING	KWH	KILOWATT HOUR	[A2] [2#12 & 1#12 G IN 1 1/2" C]	20A
DB	CONDUIT DUCT BANK ENCASED IN CONCRETE		DUPLEX RECEPTACLE NEMA 5-20R, CONTROLLED VIA LIGHTING SYSTEM	AD	AUTOMATIC DOOR OPENER	KVA	KILOVOLT-AMPERE	[B2] [2#12 & 1#12 G IN 3/4" C]	15A
---	WIREWAY, # INDICATES SIZE		DUPLEX RECEPTACLE NEMA 5-20R, CONTROLLED VIA LIGHTING SYSTEM	AD	AMPERE FRAME	LA	LIGHTING ARRESTOR	[C2] [2#8 & 1#10 G IN 3/4" C]	40A
---	BUSWAY, # INDICATES BUS AMPACITY		DUPLEX RECEPTACLE NEMA 5-20R, CONTROLLED VIA LIGHTING SYSTEM	AD	AMPERE FRAME	LAH	LOCAL AUTHORITY HAVING JURISDICTION	[D2] [2#8 & 1#10 G IN 3/4" C]	50A
---	WIREMOLD, TYPE AS INDICATED		DUPLEX RECEPTACLE NEMA 5-20R, CONTROLLED VIA LIGHTING SYSTEM	AD	AUTOMATIC	LG	LIGHTING CONECTOR	[E2] [2#4 & 1#10 G IN 3/4" C]	70A
---	HOME RUN, HASH MARKS INDICATE QTY OF WIRE, "XX" INDICATES SIZE OF WIRE, UNMARKED WIRES INDICATE #12 AWG		DUPLEX RECEPTACLE NEMA 5-20R, UPS	AD	AUTOMATIC	LF	LIGHTING PANEL	[F2] [2#4 & 1#8 G IN 3/4" C]	80A
---	LIGHTING FIXTURE, "F" INDICATES CIRCUIT NUMBER, "X" INDICATES FIXTURE TYPE (SEE FIXTURE SCHEDULE ON DRAWING E-J-01), "X,Y" INDICATES SWITCH CONTROL OF FIXTURE, POSITIONING OF "X", "Y", ARE TO BE DEPENDENT UPON ORIENTATION OF LIGHT FIXTURE AND/OR POSITIONING OF LIGHT FIXTURE RELATIVE TO OTHER LIGHT FIXTURES AND THEIR CORRESPONDING TAGS.		DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	LV	LOW VOLTAGE	[G2] [2#2 & 1#8 G IN 1/2" C]	90A
---	LIGHTING FIXTURE ON LIFE SAFETY EMERGENCY CIRCUIT		DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MAX	MAXIMUM	[H2] [2#2 & 1#8 G IN 1/2" C]	100A
---	LIGHTING FIXTURE (SEE FIXTURE SCHEDULE ON DRAWING E-J-01)		DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MCA	MANUAL CIRCUIT BREAKER	[I2] [2#10 & 1#6 G IN 1" C]	150A
---	WALL MOUNTED LIGHTING FIXTURE (SEE FIXTURE SCHEDULE ON DRAWING E-J-01)		DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MCC	MOTOR CONTROL CENTER	[J2] [2#3 & 1#6 G IN 1" C]	175A
---	EMERGENCY BATTERY PACK (SEE FIXTURE SCHEDULE ON DRAWING E-J-01)		DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MCCB	MOLDED CASE CIRCUIT BREAKER	[K2] [2#3 & 1#6 G IN 1" C]	200A
---	CEILING MOUNTED EXIT LIGHT (SEE FIXTURE SCHEDULE ON DRAWING E-J-01), DIRECTIONAL ARROWS AS INDICATED ON PLANS, "F" INDICATES CIRCUIT NUMBER.		DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MCR	MOLDED CASE CIRCUIT BREAKER	[L2] [2#3 & 1#6 G IN 1" C]	225A
---	WALL MOUNTED EXIT LIGHT (SEE FIXTURE SCHEDULE ON DRAWING E-J-01), DIRECTIONAL ARROWS AS INDICATED ON PLANS, "F" INDICATES CIRCUIT NUMBER.		DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MCS	MOLDED CASE SWITCH	[M2] [2#3 & 1#6 G IN 1" C]	250A
---	LIGHTING CONTROL DEVICE, "XX" INDICATES THE FOLLOWING: PC INDICATES PHOTOCELL, OS INDICATES OCCUPANCY SENSOR, ARROWS INDICATE SENSING DIRECTION		DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MIS	MISCELLANEOUS	[N2] [2#3 & 1#6 G IN 1" C]	275A
---	LIGHTING SWITCH, BLANK INDICATES SINGLE POLE SINGLE THROW, "X" INDICATES THE FOLLOWING: T = DIGITAL TIMER SWITCH, OS = OCCUPANCY SENSOR SWITCH, LV = LOW VOLTAGE SWITCH, 3 = 3-WAY SWITCH, D = LOW VOLTAGE DIMMER, S = SWITCH DESIGNATION, WP = WEATHERPROOF COVER		DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MMS	MANUAL MOTOR STARTER	[O2] [2#3 & 1#6 G IN 1" C]	300A
---	HATCHING INDICATES DEVICE SHALL BE DEMOLISHED		DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNT	MANUAL TRANSFER SWITCH	[P2] [2#3 & 1#6 G IN 1" C]	325A
---	PLENUM ZONE		DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[Q2] [2#3 & 1#6 G IN 1" C]	350A
---	SITE LIGHTING (SEE FIXTURE SCHEDULE ON DRAWING E-J-01)		DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNS	MANUAL MOTOR STARTER	[R2] [2#3 & 1#6 G IN 1" C]	375A
---	EMERGENCY LIGHTING FIXTURE		DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNT	MANUAL TRANSFER SWITCH	[S2] [2#3 & 1#6 G IN 1" C]	400A
---	NOT IN SCOPE		DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[T2] [2#3 & 1#6 G IN 1" C]	425A
---	GROUND ROD		DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[U2] [2#3 & 1#6 G IN 1" C]	450A
---	GROUNDING TEST WELL		DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[V2] [2#3 & 1#6 G IN 1" C]	475A
---	GROUND BONDING POINT TO STEEL STRUCTURE, REBAR, PIPE, ETC.		DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[W2] [2#3 & 1#6 G IN 1" C]	500A
---	GROUNDING CONNECTION (TYPE AS SHOWN OR NOTED)		DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[X2] [2#3 & 1#6 G IN 1" C]	525A
---	BARE COPPER GROUND CONDUCTOR, SIZE AS SHOWN		DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[Y2] [2#3 & 1#6 G IN 1" C]	550A
---	GROUND BAR		DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[Z2] [2#3 & 1#6 G IN 1" C]	575A
---	GROUND PIT/VAL FOR CONNECTION TO EQUIPMENT AS INDICATED ON DRAWINGS		DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[AA2] [2#3 & 1#6 G IN 1" C]	600A
---	ELECTRICAL EQUIPMENT WITH HOUSEKEEPING PAD		DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[AB2] [2#3 & 1#6 G IN 1" C]	625A
---	CABLE BUS, RATING AS NOTED		DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[AC2] [2#3 & 1#6 G IN 1" C]	650A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[AD2] [2#3 & 1#6 G IN 1" C]	675A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[AE2] [2#3 & 1#6 G IN 1" C]	700A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[AF2] [2#3 & 1#6 G IN 1" C]	725A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[AG2] [2#3 & 1#6 G IN 1" C]	750A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[AH2] [2#3 & 1#6 G IN 1" C]	775A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[AI2] [2#3 & 1#6 G IN 1" C]	800A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[AJ2] [2#3 & 1#6 G IN 1" C]	825A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[AK2] [2#3 & 1#6 G IN 1" C]	850A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[AL2] [2#3 & 1#6 G IN 1" C]	875A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[AM2] [2#3 & 1#6 G IN 1" C]	900A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[AN2] [2#3 & 1#6 G IN 1" C]	925A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[AO2] [2#3 & 1#6 G IN 1" C]	950A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[AP2] [2#3 & 1#6 G IN 1" C]	975A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[AQ2] [2#3 & 1#6 G IN 1" C]	1000A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[AR2] [2#3 & 1#6 G IN 1" C]	1025A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[AS2] [2#3 & 1#6 G IN 1" C]	1050A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[AT2] [2#3 & 1#6 G IN 1" C]	1075A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[AU2] [2#3 & 1#6 G IN 1" C]	1100A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[AV2] [2#3 & 1#6 G IN 1" C]	1125A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[AW2] [2#3 & 1#6 G IN 1" C]	1150A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[AX2] [2#3 & 1#6 G IN 1" C]	1175A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[AY2] [2#3 & 1#6 G IN 1" C]	1200A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[AZ2] [2#3 & 1#6 G IN 1" C]	1225A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[BA2] [2#3 & 1#6 G IN 1" C]	1250A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[BB2] [2#3 & 1#6 G IN 1" C]	1275A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[BC2] [2#3 & 1#6 G IN 1" C]	1300A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[BD2] [2#3 & 1#6 G IN 1" C]	1325A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[BE2] [2#3 & 1#6 G IN 1" C]	1350A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[BF2] [2#3 & 1#6 G IN 1" C]	1375A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[BG2] [2#3 & 1#6 G IN 1" C]	1400A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[BH2] [2#3 & 1#6 G IN 1" C]	1425A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[BI2] [2#3 & 1#6 G IN 1" C]	1450A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[BJ2] [2#3 & 1#6 G IN 1" C]	1475A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[BK2] [2#3 & 1#6 G IN 1" C]	1500A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[BL2] [2#3 & 1#6 G IN 1" C]	1525A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[BM2] [2#3 & 1#6 G IN 1" C]	1550A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[BN2] [2#3 & 1#6 G IN 1" C]	1575A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[BO2] [2#3 & 1#6 G IN 1" C]	1600A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[BP2] [2#3 & 1#6 G IN 1" C]	1625A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[BQ2] [2#3 & 1#6 G IN 1" C]	1650A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[BR2] [2#3 & 1#6 G IN 1" C]	1675A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[BS2] [2#3 & 1#6 G IN 1" C]	1700A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[BT2] [2#3 & 1#6 G IN 1" C]	1725A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[BU2] [2#3 & 1#6 G IN 1" C]	1750A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[BV2] [2#3 & 1#6 G IN 1" C]	1775A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[BW2] [2#3 & 1#6 G IN 1" C]	1800A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[BX2] [2#3 & 1#6 G IN 1" C]	1825A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[BY2] [2#3 & 1#6 G IN 1" C]	1850A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[BZ2] [2#3 & 1#6 G IN 1" C]	1875A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[CA2] [2#3 & 1#6 G IN 1" C]	1900A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[CB2] [2#3 & 1#6 G IN 1" C]	1925A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[CC2] [2#3 & 1#6 G IN 1" C]	1950A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[CD2] [2#3 & 1#6 G IN 1" C]	1975A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[CE2] [2#3 & 1#6 G IN 1" C]	2000A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[CF2] [2#3 & 1#6 G IN 1" C]	2025A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[CG2] [2#3 & 1#6 G IN 1" C]	2050A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[CH2] [2#3 & 1#6 G IN 1" C]	2075A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[CI2] [2#3 & 1#6 G IN 1" C]	2100A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[CJ2] [2#3 & 1#6 G IN 1" C]	2125A
			DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUXILIARY	MNO	MANUAL MOTOR STARTER	[CK2] [2#3 & 1#6 G IN 1" C]	2150A



Executive Summary

Plan Commission Meeting of

2700 International Drive Site Plan Review; SP-25-13

BACKGROUND

The applicant submitted a site plan for Plan Commission review and recommendation to the Village Board. The village zoned the property business park (now General Industrial) in 2017, and the applicant purchased the property in early 2024. If the Village Board approves this site plan, Microsoft Corporation may submit civil engineering plans for review, followed by applications for building permits to start construction on the individual buildings. This site plan covers enough detail that the applicant could apply for grading permits in the meantime as delineated in the conditions below.

The site plan shows six data centers with a related office space, each 568,103 square feet. It also shows a 74,000 square foot office and storage building, a 265 square foot guard house, and the narrative mentions additional, minor accessory buildings. This equals approximately 3,553,041 square feet of building area across the approximately 530-acres of subject properties. The applicant narrative contains additional information regarding the project.

The Plan Commission unanimously recommends that the Village Board moves to approve the site plan subject to the following conditions before the applicant may apply for grading permits:

1. The applicant shall submit a Certified Survey Map to merge the subject properties for staff review, Plan Commission recommendation, and Village Board consideration before the village issues any permits for the subject properties.
2. The applicant shall modify the Parking and Access Plan to show a multi-use pathway along the north side of Old Highway 11 connecting northwards to Louis Sorenson Road, along either side of Hood's Creek, subject to final engineering plans, and southeastwards to the county trail per § 90-420.70(a) and the village's adopted Bicycle Plan.
3. The applicant shall follow all procedures listed within Division 90-490: Flood Protection if they wish to modify those areas delineated as Floodway or Floodfringe on the FIRM panels for the subject properties.

The Plan Commission unanimously recommends that the Village Board moves to approve the site plan subject to the following conditions before the applicant may apply for building permits:

1. The applicant shall modify the architectural elevations to show a minimum 20% street-facing ground-story transparency and 10% upper-story transparency per § 90-130.40(a).
2. The applicant shall comply with all Racine Water Utility, Mount Pleasant Sanitary Sewer Utility, and Wisconsin Department of Natural Resources rules and permissions regarding consuming and returning water to the applicable utility systems and watersheds.
3. The applicant shall modify the architectural elevations to pitch rooms no less than 5:12 or, if flat, enclose with parapets at least 36 inches high per § 90-405.30 Building roofs. Instead, the applicant may also apply for alternative compliance per § 90-405.40 if they identify three of the five elements listed in § 90-405.40(b).
4. The applicant shall modify the Parking and Access Plan to show a multi-use pathway along the north side and a sidewalk along the south side of Louis Sorenson Road per § 90-420.70(a). If the applicant applies to discontinue a portion of Louis Sorenson Road, they shall show the applicable multi-use pathway and

sidewalks within the remaining right-of-way and culs-de-sac.

5. The applicant shall modify the Parking and Access Plan to reduce the stall width from 18.0 to 17.0 feet for standard parking stalls or apply for alternative dimensions per § 90-420.100(m).
6. The applicant shall provide a traffic impact analysis because the development would result in average daily traffic counts of 1,000 or more vehicles per day (ADT) or 100 plus trips during peak traffic hours (PHT) based on the latest version of the Institute of Transportation Engineers (ITE) Trip Generation Manual. The applicant shall modify their site and civil plans to incorporate any analysis-recommended changes and required by the Public Works Director or Wisconsin Department of Transportation.
7. The applicant shall modify the Outdoor Lighting Plans to show the outdoor lighting levels at all property lines, which shall not exceed 3 lux measured 20 feet past the property line per § 90-425.60(b).
8. The applicant shall provide the lighting cut sheets for village staff review to ensure all lighting fixtures emitting more than 1,000 lumens are fully shielded and emit no more than 5% of their total lumen output above 80° from nadir.
9. The applicant shall modify the Outdoor Lighting Plans to eliminate all building-mounted lighting used to illuminate vehicular use areas, outdoor storage and work areas, or pedestrian walkways. The applicant may only use building-mounted lighting to illuminate entrances to a building, such as doors or loading docks.
10. The applicant shall update the landscaping plan to denote the ground cover for all non-impervious areas, including the areas subject to shoreland setbacks at the southwest portion of the site, the areas between the electrical substations, the areas surrounding stormwater detention facilities, the areas subject to utility easement restrictions, and the areas adjacent to public rights-of-way. The village staff strongly recommend the applicant prioritize the pre-settlement landscaping cover, as denoted by the Wisconsin Department of Natural Resources Surface Water Data Viewer, which is prairie for the entirety of the subject properties.
11. The applicant shall update the landscaping plan to show vehicular use area screening for all areas within 50 feet of a right-of-way, including, but not limited to, the driveways parallel to Louis Sorenson Road on the west side of the subject property.
12. The applicant shall modify the landscaping plan to identify the species of proposed planting species and sizes so the village staff may review them for compliance with § 90-430.70.
13. The applicant shall modify the landscaping plan to denote the installation and maintenance procedures for all plantings and seeding areas per § 90-430.80.
14. The applicant shall update the site plans to show the height and detail of the proposed sound wall or apply for separate administrative site plan review for this improvement per § 90-435.50.
15. The applicant shall follow all procedures listed within Division 90-490: Flood Protection if they wish to place structures within areas delineated as Floodway or Floodfringe on the FIRM panels for the subject properties.
16. The applicant shall modify the architectural elevations to show the 1-story office and storage building, or submit them for separate site plan review. This building requires Plan Commission Site Plan Review per § 90-540.50(d).
17. The applicant shall modify the architectural elevations to show the guard house building or submit them for separate site plan review. This building qualifies for administrative site plan review per § 90-540.50(c).

COMPREHENSIVE PLAN

This application complies with the Comprehensive Plan, which lists the property as Business Park and, for one parcel on the western side of the subject property, mixed Industrial/Business Park. The transportation element of the comprehensive plan shows a future roadway titled Nations Drive to the north of the subject properties. The applicant is not responsible to construct this off-site improvement as a part of this application; however, they could use this roadway for secondary access in the future upon proper permitting at that time. The Bicycle Plan recommends off-street bicycle trails along Old Highway 11, SE Frontage Road, Louis Sorenson Road, and Hoods Creek. The Park and Open Space Plan shows minor, farmed wetlands within the subject property, which are subject to Wisconsin Department of Natural Resources determination and regulations. It also shows an isolated natural resource area in the southern portion of the site, which the site plan avoids impacting.

LAND DIVISION

Any land divisions, combinations, or reconfigurations for the subject properties are subject to the land division regulations of Code of Ordinances Chapter 74. The staff, Plan Commission, and Village Board must review and consider any certified survey map or plat for the subject properties.

ZONING

The Village Board zoned this property C-4 General Industrial, previously titled BP Business Park, in 2017. Both the proposed *Office, business or professional* and *Warehousing, wholesaling, freight movement* uses contained within this application are permitted as-of-right within the C-4 district, subject to compliance with all other applicable regulations of the zoning chapter. The application meets the zoning ordinance, except for the items listed as recommended conditions for approval in the Background section of this report.

The Village Board typically delegates the Plan Commission site plan review authority per § 90-540.40(b); however, an adopted redevelopment plan that includes the subject property requires the Village Board approve all new major developments. Therefore, the Plan Commission is a recommending body for this application.

STRATEGIC PLAN

The application meets the following Key Strategies and Outcomes of the Strategic Plan.

- Safe Community
 - Outcome: Safety in the public right-of-way for all modes of transportation.
 - The Village's public infrastructure allows a smooth flow of vehicle traffic and offers safe routes for bicyclists and pedestrians.
- Balance Growth and Development
 - Outcome: Welcoming and competitive community for a variety of housing types and commercial development.
 - Development processes are streamlined, fair, and predictable for both developers and citizens, encouraging companies and individuals to invest in the Village.
 - Outcome: Long-term local and regional benefits of Tax Incremental District No. 5.
 - Growth of jobs and tax base continues in TID No. 5, creating resources to support initiatives that will benefit the Village and entire region for generations.

RECOMMENDATION

The Plan Commission recommends the Village Board approve the site plan subject to the recommended conditions.

FISCAL IMPACT

Cost/Benefit		
Estimated Taxable Value per Acre	\$ 10,240,476	The total Estimated Taxable Value divided by the Developed Acres.
Estimate Net Value Per Acre	\$ 10,217,918	The total Estimated Taxable Value minus the Infrastructure Replacement Cost (NPV) divided by the Developed Acres.
TID Open Net Revenue	\$ 91,883,065	The Tax Incremental Revenues minus the TID Open Annual Cost.
TID Closed Net Revenue	\$ 29,910,837	The Annual Tax Contributions (NPV) minus the TID Closed Annual Cost.
Gain/(Loss) over 40-year period	\$ 4,969,908,909	The Escalated Tax Contributions minus the Total Escalated Cost.
TID Open Revenue to Cost Ratio	108	:1 The Annual Tax Contributions (NPV) divided by the Total Annual Cost. Greater than 1:1 is a net positive ratio.

TID Closed Revenue to Cost Ratio	36	:1	The Tax Incremental Revenues divided by the TID Closed Annual Cost. Greater than 1:1 is a net positive ratio.
Total Revenue to Cost Ratio	80	:1	The Escalated Tax Contributions divided by the Total Escalated Cost.
Private to Public Ratio	454	:1	The Total Taxable Value divided by the Infrastructure Replacement Cost (NPV). 40:1 is net positive ratio.
Public Liability Repayment (years)	1		The number of years until the Escalated Tax Contributions are greater than the Escalated Infrastructure Replacement Cost.

The total taxable value for the proposed development is \$5,329,561,500, which would generate approximately \$92,741,619 in incremental tax revenues while TID 5 remains open, and \$30,769,391 in village revenues once TID 5 closes. Once fully constructed, the project would generate an estimated \$10,240,476 per acre. Over a 40-year period, the Total Revenue to Cost Ratio is projected at 80:1. This projection assumes a full buildout in year one, which is unlikely, and revenues will likely moderate with a phased construction schedule over many years. That said, the project, as presented, would likely still contribute far more tax revenue than require in adjacent public infrastructure liability and public service costs to the village.

PREPARED BY

Samuel Schultz, Community Development Director



December 15, 2025

Mr. Sam Schultz
 Community Development Director
 Village of Mount Pleasant
 8811 Campus Drive
 Mount Pleasant, WI 53406

RE: MKE Area North Site Master Plan

Dear Mr. Schultz,

Dewberry Engineers, Inc. is pleased to submit this application and associated document for a Site Master Plan on the assemblage known as Area North. This assemblage is bordered on three sides by existing roads: to the east by International Drive, to the south by Old Highway 11 and Durand Avenue and to the west East Frontage Road. This assemblage is bisected by Louis Sorenson Road. A Certified Survey Map will be needed to consolidate parcels of the quadrant into one parcel. In addition, a right-of-way vacation of Louis Sorenson Road may be requested at a later date.

The intent of this application is to present the Site Master Plan for the initial phase of a data center campus that involves the entire assemblage. The site layout proposed with this application includes 1 substation, 6 data center buildings as well as one office & storage building and associated roadways, parking, SWM and utilities. The plans have been and will be designed to appropriate Village of Mount Pleasant, Racine County, WisDOT, DNR, DSPS, and State of Wisconsin requirements, standards and specifications. To our knowledge, this plan does not have any nonconformities.

In accordance with the Village of Mount Pleasant list of requirements for Master Site Plan, this plan proposes the following:

- Zoning District: C-4 (General Industrial) & P-1 (Neighborhood Scale)
- Building Type: Industrial (Indoor Warehousing)
- Proposed Uses: Data Center Campus, with one Electrical Substation and an Office & Storage Building
- Proposed Accessory Uses/Structures: Small fire pump houses, small emergency storm shelters.
- Proposed Horses & Farm Animals: None
- Proposed Wireless Telecommunications: None
- Bluff and Ravine Setbacks: None
- Flood Protection Measures: Appropriate and adequate Stormwater Management will be provided for this project through the construction of wet ponds that will be approved by DNR.

Shoreland Protection Measures:

Setbacks from navigable waters per Sec. 90-495.30 of the ZO

Vegetative Buffers per Sec.90-495.50 of the ZO

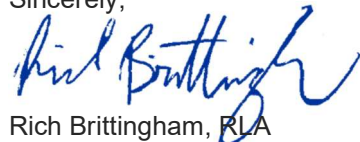
The associated Site Master Plan contains the following items:

- Existing conditions/ALTA survey
- Approximate Site Master Plan
- Approximate parking areas
- Approximate fences
- Approximate building locations
- Approximate travel ways
- Approximate stormwater facilities
- Approximate utilities
- Approximate landscaping

A traffic study will be submitted under separate cover.

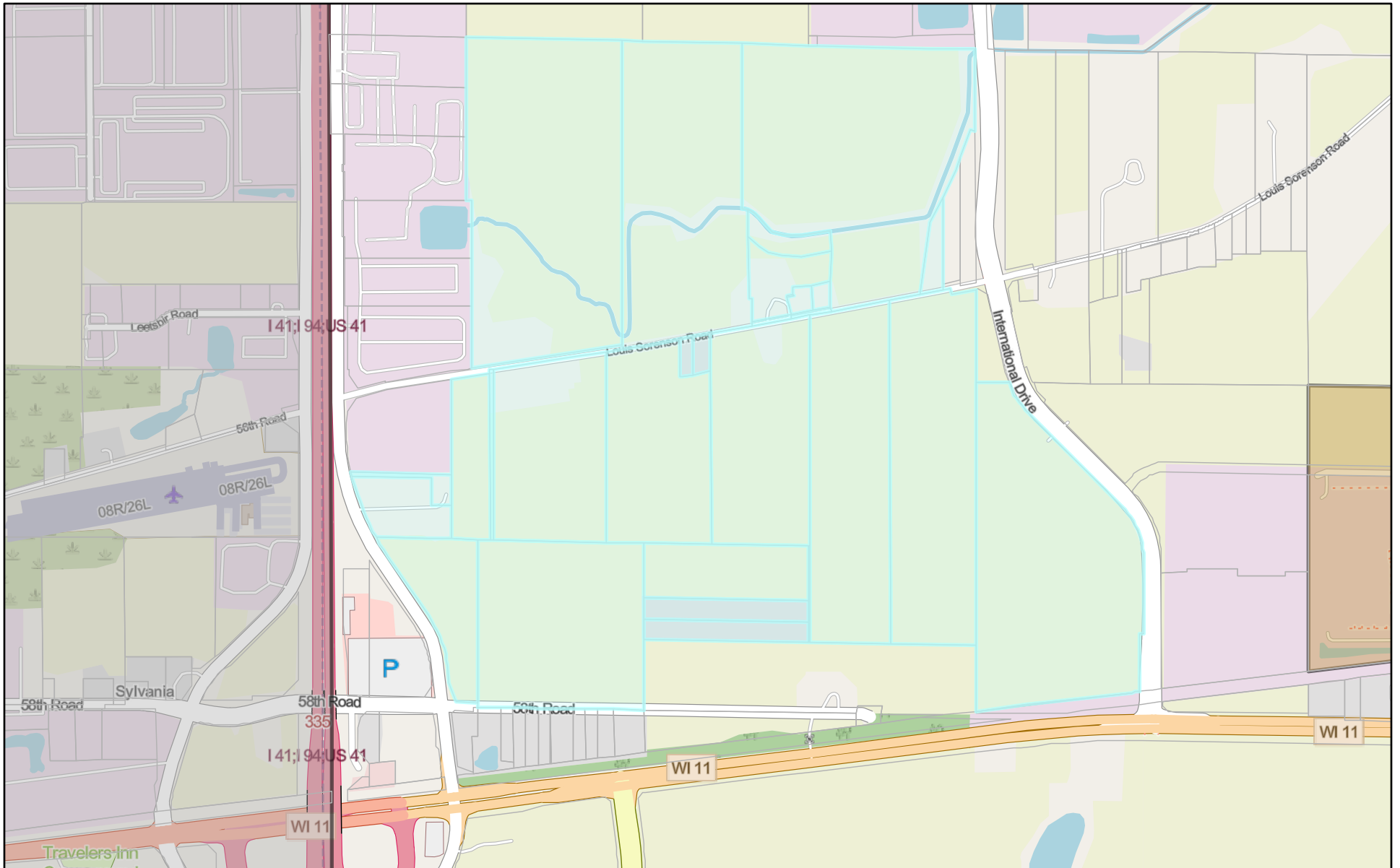
Please find the associated documents for review and approval. If you have questions or concerns, please do not hesitate to contact me at 703-840-1956 or by email at rbrittingham@dewberry.com.

Sincerely,







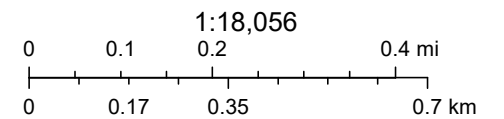
Rich Brittingham, RLA
Vice President

Property Location Map



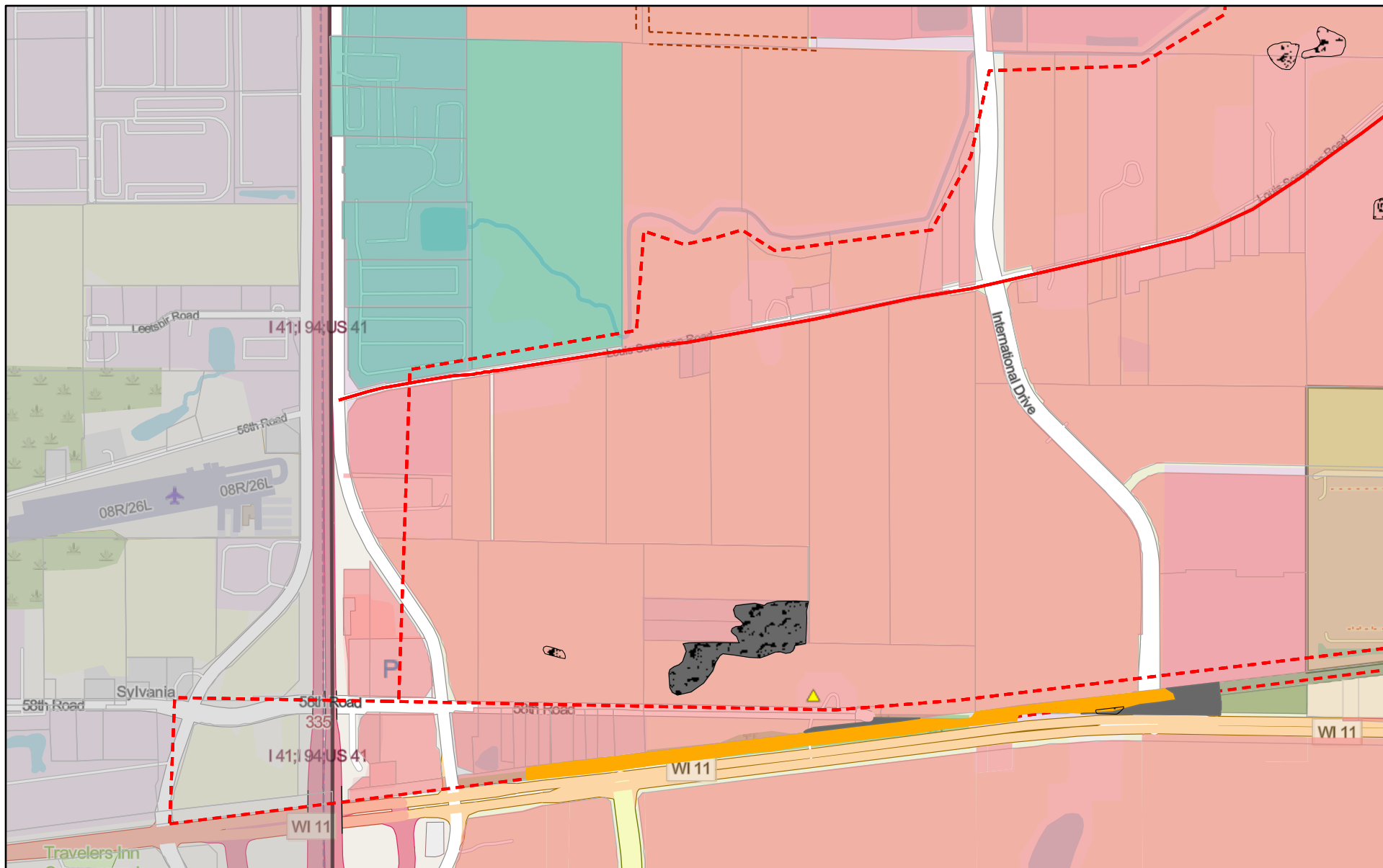
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-  Tax Parcel
 -  VILLAGE OF STURTEVANT
 -  Other
 -  VILLAGE OF MT PLEASANT
- Racine County, Municipal Boundaries



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Comprehensive Plan



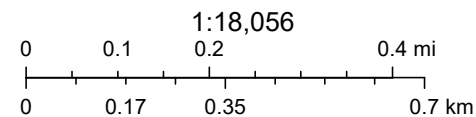
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- Tax Parcel
- Proposed Roads
- NATURAL AREA OR CRITICAL SPECIES HABITAT SITE
- EXISTING WETLAND (INCLUDES FARMED WETLANDS)
- PROPOSED PUBLIC INTEREST OWNERSHIP OF OPEN SPACE LANDS
- RACINE COUNTY

- OPEN SPACE LANDS TO BE PROTECTED
- TRAILS**
- PROPOSED ON-STREET TRAIL OR BICYCLE WAY
- PROPOSED OFF-STREET TRAIL
- OPEN SPACE LANDS TO BE PRESERVED

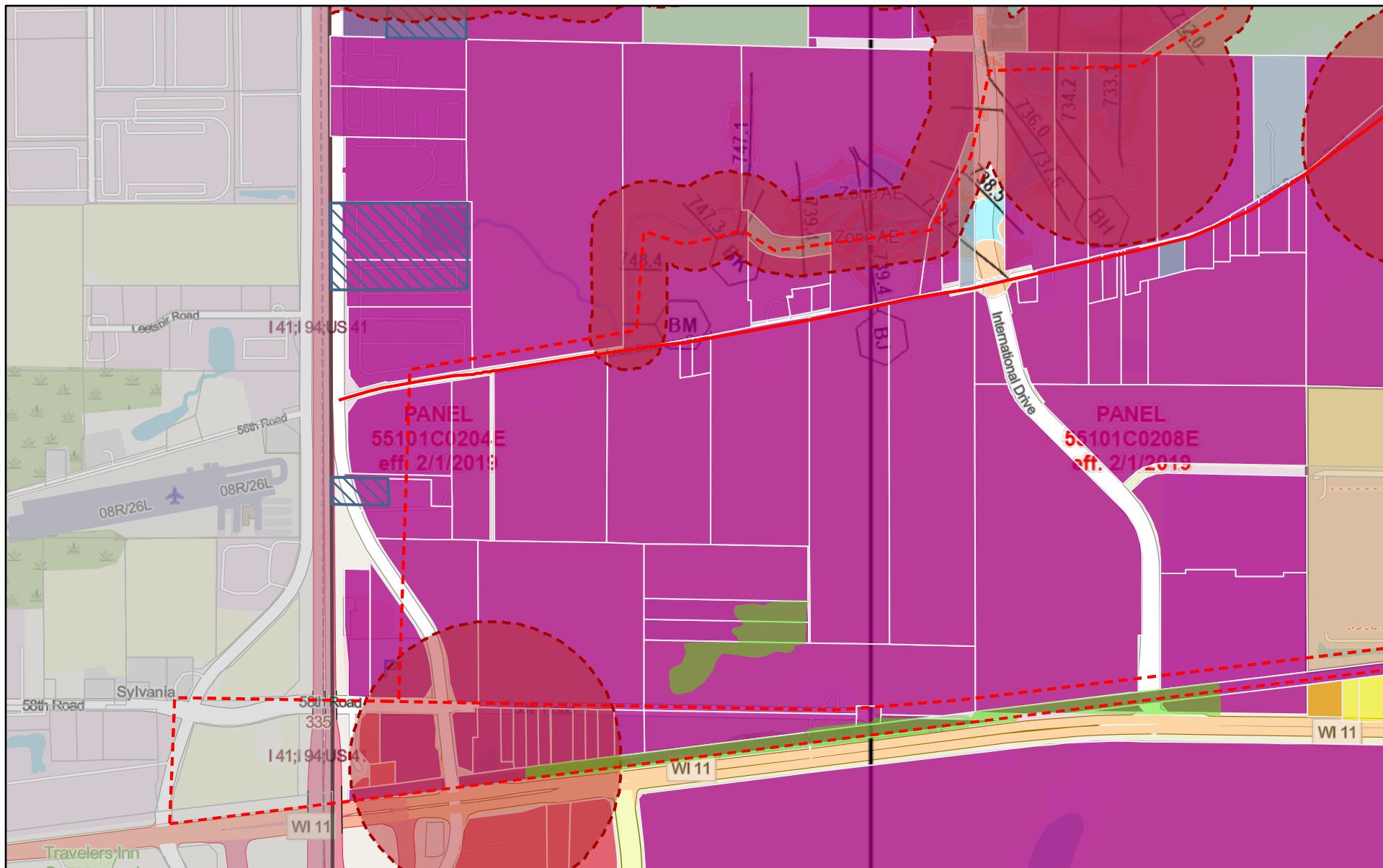
- PROPOSED ON-STREET TRAIL OR BICYCLE WAY
- PROPOSED OFF-STREET TRAIL
- 2035 Master Plan**
- Residential Areas - Incl. Churches, Multi-Family
- Park, Recreation, Natural Areas

- Industrial/Business
- Business
- Racine County, Municipal Boundaries
- VILLAGE OF MT PLEASANT
- VILLAGE OF STURTEVANT
- Other



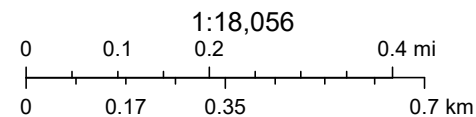
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Zoning



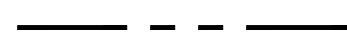
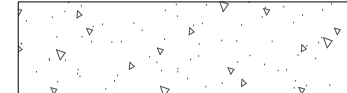
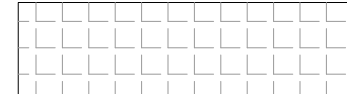
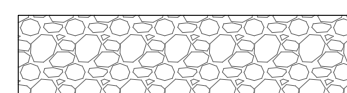
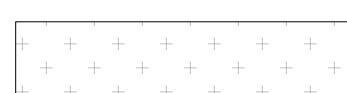



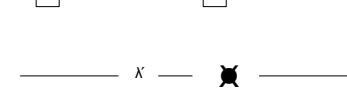

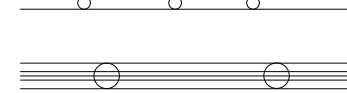
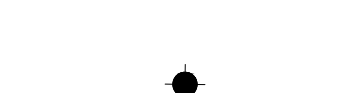
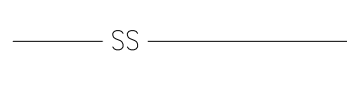
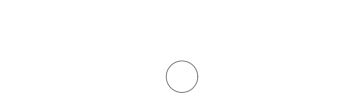

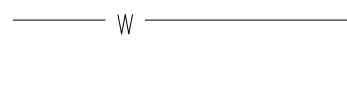
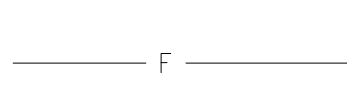






1/15/2026, 3:13:37 PM

- | | | | |
|---|-------------------------------|---|---------------------------------|
| Tax Parcel | AG-2 General Agriculture | P-1 Neighborhood-Scale Public/Institutional | Flood Hazard Zones |
| TRAILS | RE Estate Residential | P-2 Campus-Scale Public/Institutional | 1% Annual Chance Flood Hazard |
| PROPOSED ON-STREET TRAIL OR BICYCLE WAY | RN Neighborhood Residential | Racine County, Municipal Boundaries | Regulatory Floodway |
| PROPOSED OFF-STREET TRAIL | C-3 High-Intensity Commercial | VILLAGE OF MT PLEASANT | 0.2% Annual Chance Flood Hazard |
| OPEN SPACE LANDS TO BE PRESERVED | C-4 General Industrial | VILLAGE OF STURTEVANT | Flood Hazard Boundaries |
| Shoreland Zoning Overlay (OCS) | C-5 Special Industrial | Other | SFHA / Flood Zone Boundary |
| Zoning Conditional Use | | | Cross-Sections |
| | | | FIRM Panels |



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Community Maps contributors, Map layer by Esri

LEGEND

-  PROPERTY LINE
-  CONCRETE SIDEWALK
-  MECHANICAL/ELECTRICAL EQUIPMENT YARD
-  FUTURE SUBSTATION
-  EXISTING WETLAND (HATCHED)
-  EXISTING FLOODPLAIN
-  FEMA FRINGE
-  8' TALL METAL FENCE
-  8' TALL METAL FENCE
-  8' TALL CHAIN LINK FENCE
-  8' TALL CHAIN LINK FENCE
-  6' TALL CHAIN LINK FENCE
-  GUARDRAIL
-  SOUND WALL
-  FIRE HYDRANT
-  EXISTING SANITARY SEWER PIPE
-  PROPOSED SANITARY SEWER PIPE
-  EXISTING SANITARY SEWER MANHOLE
-  PROPOSED SANITARY SEWER MANHOLE
-  EXISTING WATER SERVICE SUPPLY
-  WATER SERVICE SUPPLY
-  FIRE PROTECTION WATER SUPPLY
-  SITE LIGHTING

GENERAL NOTES:

- 1 Proposed development will show conformance with Division 90-430 Landscape and Screening in the "Code of Ordinances, Village of Mount Pleasant, Wisconsin" at Final Site Plan.
- 2 Mechanical and electrical screening will meet one of the 3 options set forth in Table 90-430-1 and Table 90-430-5 in the "Code of Ordinances, Village of Mount Pleasant, Wisconsin".
- 3 At Final Site Plan, proposed development will show conformance with Division 90-400 regulations in the "Code of Ordinances, Village of Mount Pleasant, Wisconsin".

ZONING REQUIREMENTS: (Per Code of Ordinances, Village of Mount Pleasant, Wisconsin)

Zoned: C-4 (General Industrial), P-1 (Neighborhood Scale)
 Parcel Area (Including Louis Sorenson Road ROW Vacation) = 23,543,013 SF / 540.5 Acres-
 Lot Width = 6,099'±

Building Areas:
 Bldg A - Office (11,693 SF ±) + 1-Story Data Center (568,103 SF ±) = 579,796 SF ±
 Bldg B - Office (11,693 SF ±) + 1-Story Data Center (568,103 SF ±) = 579,796 SF ±
 Bldg C - Office (11,693 SF ±) + 1-Story Data Center (568,103 SF ±) = 579,796 SF ±
 Bldg D - Office (11,693 SF ±) + 1-Story Data Center (568,103 SF ±) = 579,796 SF ±
 Bldg E - Office (11,693 SF ±) + 1-Story Data Center (568,103 SF ±) = 579,796 SF ±
 Bldg F - Office (11,693 SF ±) + 1-Story Data Center (568,103 SF ±) = 579,796 SF ±

1-Story Office & Storage Building = 74,000 SF ±
 Guard House = 265 SF ±
 Total Building Area = 3,553,041 SF ±

Section 90-130.40 - Lot and Building Regulations

Table 90-130-2	Required	Proposed
(a) Lot		
Minimum lot area per dwelling unit (square feet) =	Not permitted	N/A
Lot width (feet) =	18 min.	18 min.
Maximum building coverage (% of lot) =	80%	xx% ±
(b) Principal Building Siting		
Street (minimum, feet) =	0 or 20'	20' min.
Side setback (minimum, feet) =	20'	20' min.
Rear setback (minimum, feet) =	20'	20' min.
(c) Principal Building design		
Street-facing ground-story transparency (minimum) =	20%	20% min.
Upper-story transparency (minimum) =	10%	10% min.
Ground-story floor to ceiling height (minimum, feet) =	12'	12' min.
(d) Accessory building siting		
Allowed location =	Allowed in rear yard only	Rear yard
Minimum side and rear setbacks (feet) =	20'	20' min.
Minimum building separation (feet) =	10'	10' min.
(e) Building height		
Principal building (stories) =	8 max. (2 min. 1')	8 max.
Accessory building (stories) =	2 max.	2 max.

NOTE: 1 Lot and building regulations. The lot width, building setback and building height regulations of the most restrictive abutting zoning district apply to P-1 zoned lots.
 2 The village permits zero to line setbacks when walls are shared.
 3 Applicants may bypass the minimum principal building stories requirement if approved under § 90-405.40(b).

PARKING REQUIREMENTS: (Per Code of Ordinances, Village of Mount Pleasant, Wisconsin)

Zoned: C-4 (General Industrial)

Section 90-420 - Parking & Access Regulations
 Table 90-420-1 Motor Vehicle & Bicycle Parking Ratios

Industrial (all types) =	Motor Vehicle Parking			Minimum Bicycle Parking Spaces			Motorcycle Parking	
	Required	Min. Spaces	Max. Spaces	Short Term	Long Term	Provided	Req'd	Provided
	None	No Max.	None	None	None	None	None	None
Commercial (Office) =	Required:	Min. Spaces	Max. Spaces	Short Term	Long Term	Provided	Req'd	Provided
		1 per 500 square feet for first 4,000 square feet of floor area, plus 1 per 1,000 square feet of floor area in excess of 4,000 square feet	4 per 1,000 square feet of floor area	25,000 square feet for floor area in excess of 30,000 square feet (none if smaller)	2, plus 1 per 10,000 square feet for floor area in excess of 30,000 square feet (none if smaller)	758	None	None
Office Bldg Area (SF)	Lot A:	15	44	64	2	5	None	None
11,693	Lot B:	15	44	64	2	5	None	None
11,693	Lot C:	15	44	64	2	5	None	None
11,693	Lot D:	15	44	64	2	5	None	None
11,693	Lot E:	15	44	64	2	5	None	None
11,693	Lot F:	15	44	64	2	5	None	None
74,000	Lot G & H:	78	265	374	4	5	5	8

Handicap Parking Requirements Per Federal ADA Requirements

Lot	Total Space Count	Required	Provided
Lot A:	Total Space Count = 62	Required: 3 total, 0 van accessible	Provided: 3 total, 0 van accessible
Lot B:	Total Space Count = 62	Required: 3 total, 0 van accessible	Provided: 3 total, 0 van accessible
Lot C:	Total Space Count = 62	Required: 3 total, 0 van accessible	Provided: 3 total, 0 van accessible
Lot D:	Total Space Count = 62	Required: 3 total, 0 van accessible	Provided: 3 total, 0 van accessible
Lot E:	Total Space Count = 62	Required: 3 total, 0 van accessible	Provided: 3 total, 0 van accessible
Lot F:	Total Space Count = 62	Required: 3 total, 0 van accessible	Provided: 3 total, 0 van accessible
Lot G:	Total Space Count = 189	Required: 8 total, 1 van accessible	Provided: 7 total, 2 van accessible
Lot H:	Total Space Count = 185	Required: 8 total, 1 van accessible	Provided: 7 total, 2 van accessible

INTERIOR PARKING LOT LANDSCAPING

Parking Lot	Parking Spaces Provided	Landscaped Area (100 sf per 4 parking spaces)	Required	Provided
Parking Lot A	64	1,600 sf	1,600 sf	3,436 sf
			Canopy Trees (1 per 100 sf of req. landscaped area)	16
			Required	16
			Shrubs (4 per 100 sf of req. landscaped area)	64
			Required	64
			Provided*	64
Parking Lot B	64	1,600 sf	1,600 sf	3,472 sf
			Canopy Trees (1 per 100 sf of req. landscaped area)	16
			Required	16
			Shrubs (4 per 100 sf of req. landscaped area)	64
			Required	64
			Provided*	64
Parking Lot C	64	1,600 sf	1,600 sf	3,454 sf
			Canopy Trees (1 per 100 sf of req. landscaped area)	16
			Required	16
			Shrubs (4 per 100 sf of req. landscaped area)	64
			Required	64
			Provided*	64

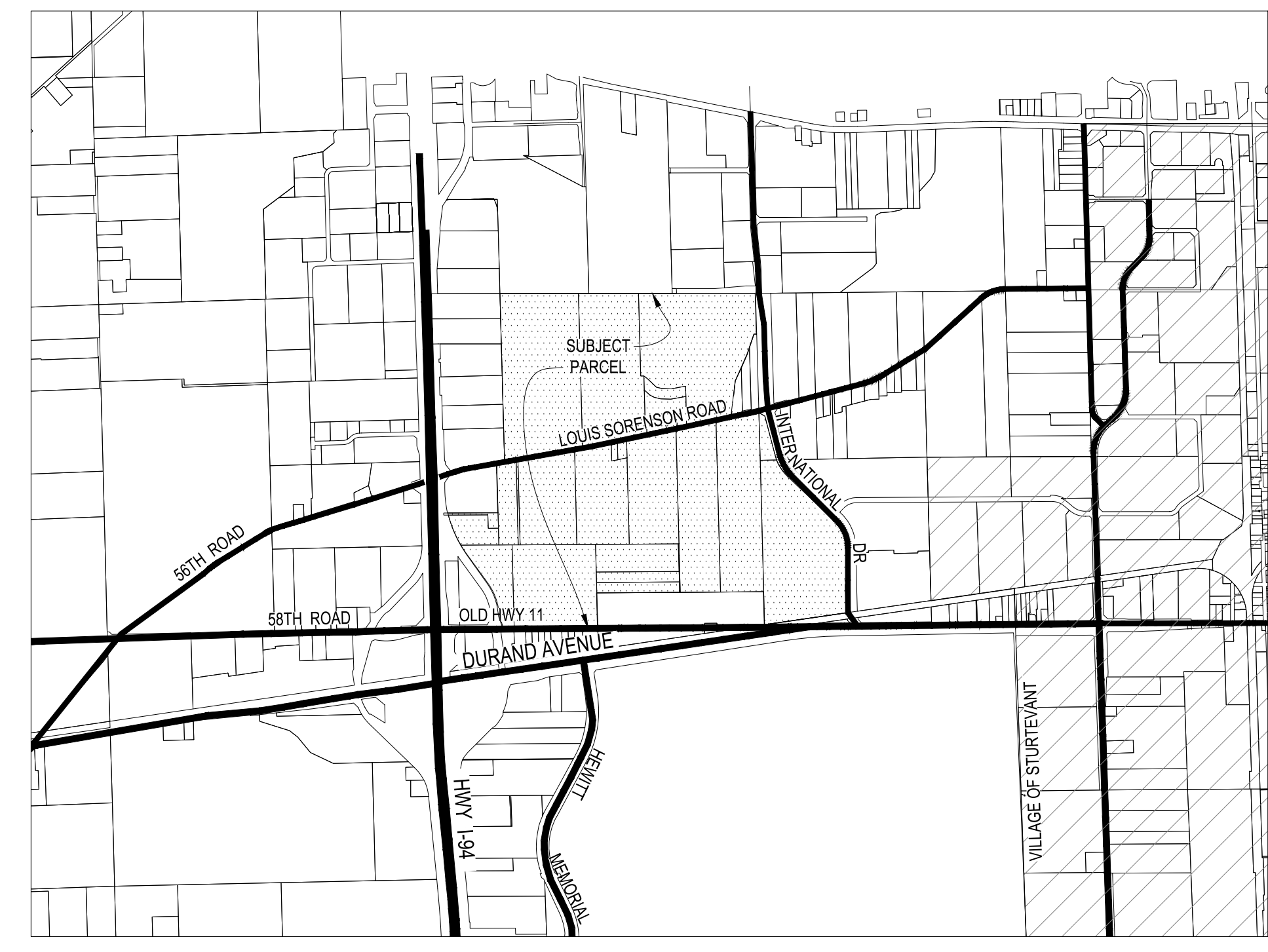
INTERIOR PARKING LOT LANDSCAPING

Parking Lot	Parking Spaces Provided	Landscaped Area (100 sf per 4 parking spaces)	Required	Provided
Parking Lot D	64	1,600 sf	1,600 sf	3,454 sf
			Canopy Trees (1 per 100 sf of req. landscaped area)	16
			Required	16
			Shrubs (4 per 100 sf of req. landscaped area)	64
			Required	64
			Provided*	64
Parking Lot E	64	1,600 sf	1,600 sf	3,454 sf
			Canopy Trees (1 per 100 sf of req. landscaped area)	16
			Required	16
			Shrubs (4 per 100 sf of req. landscaped area)	64
			Required	64
			Provided*	64
Parking Lot F	64	1,600 sf	1,600 sf	3,454 sf
			Canopy Trees (1 per 100 sf of req. landscaped area)	16
			Required	16
			Shrubs (4 per 100 sf of req. landscaped area)	64
			Required	64
			Provided*	64

INTERIOR PARKING LOT LANDSCAPING

Parking Lot	Parking Spaces Provided	Landscaped Area (100 sf per 4 parking spaces)	Required	Provided
Parking Lot G	189	4,725 sf	4,725 sf	6,261 sf
			Canopy Trees (1 per 100 sf of req. landscaped area)	47
			Required	47
			Shrubs (4 per 100 sf of req. landscaped area)	189
			Required	189
			Provided*	189
Parking Lot H	185	4,625 sf	4,625 sf	6,447 sf
			Canopy Trees (1 per 100 sf of req. landscaped area)	46
			Required	46
			Shrubs (4 per 100 sf of req. landscaped area)	185
			Required	185
			Provided*	185

*Combination of shrubs, perennials and grasses. Two perennials or grasses equivalent to one shrub.



VICINITY MAP SCALE: 1"= 2000'

Sheet List Table

Sheet Number	Sheet Title
C-A-100	SITE MASTER PLAN LEGEND, TABS, & VICINITY MAP
C-A-200	SITE MASTER PLAN SITE DETAILS
C-M-100	SITE MASTER PLAN OVERALL
C-M-101	SITE MASTER PLAN PART PLAN 1
C-M-102	SITE MASTER PLAN PART PLAN 2
C-M-103	SITE MASTER PLAN PART PLAN 3
C-M-104	SITE MASTER PLAN PART PLAN 4
C-P-100	SITE MASTER PLAN PARKING & ACCESS OVERALL
C-P-101	SITE MASTER PLAN PARKING & ACCESS PART PLAN 1
C-P-102	SITE MASTER PLAN PARKING & ACCESS PART PLAN 2
C-P-103	SITE MASTER PLAN PARKING & ACCESS PART PLAN 3
C-P-104	SITE MASTER PLAN PARKING & ACCESS PART PLAN 4
C-U-100	SITE MASTER PLAN UTILITIES OVERALL
C-U-101	SITE MASTER PLAN UTILITIES PART PLAN 1
C-U-102	SITE MASTER PLAN UTILITIES PART PLAN 2
C-U-103	SITE MASTER PLAN UTILITIES PART PLAN 3
C-U-104	SITE MASTER PLAN UTILITIES PART PLAN 4
C-W-100	SITE MASTER PLAN FENCE & WALL OVERALL
C-W-101	SITE MASTER PLAN FENCE & WALL PART PLAN 1
C-W-102	SITE MASTER PLAN FENCE & WALL PART PLAN 2
C-W-103	SITE MASTER PLAN FENCE & WALL PART PLAN 3
C-W-104	SITE MASTER PLAN FENCE & WALL PART PLAN 4
L-A-100	SITE MASTER PLAN LANDSCAPING OVERALL
L-A-101	SITE MASTER PLAN LANDSCAPING PART PLAN 1
L-A-102	SITE MASTER PLAN LANDSCAPING PART PLAN 2
L-A-103	SITE MASTER PLAN LANDSCAPING PART PLAN 3
L-A-104	SITE MASTER PLAN LANDSCAPING PART PLAN 4

PLANTING LEGEND

	LARGE CANOPY TREE		PERENNIALS / ORNAMENTAL GRASSES
	SHRUB		SHRUB

Dewberry

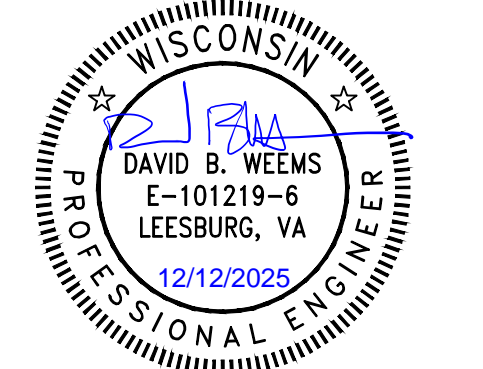
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 1503 Edwards Ferry Road
 Suite 200
 Leesburg, VA 20176-6680
 703.771.8004

MKE 54-59

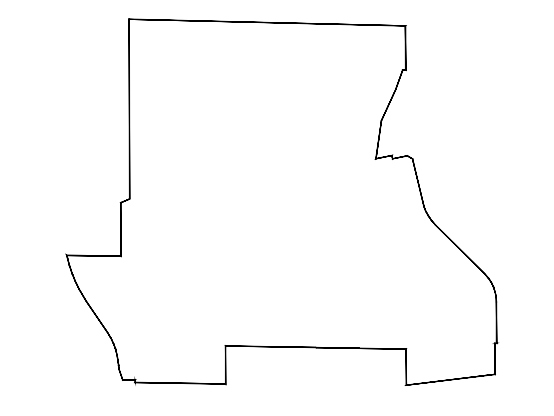
2700 International Drive
 Sturtevant, WI 53177

Design: SARAH JONUZAJ, CONNOR WHALEN
 Drawn: SARAH JONUZAJ, CONNOR WHALEN
 Checked: ELIZABETH SOBECKE, DAVID WEEMS
 Date: OCTOBER 29, 2025

Registration



Sector Key Plan

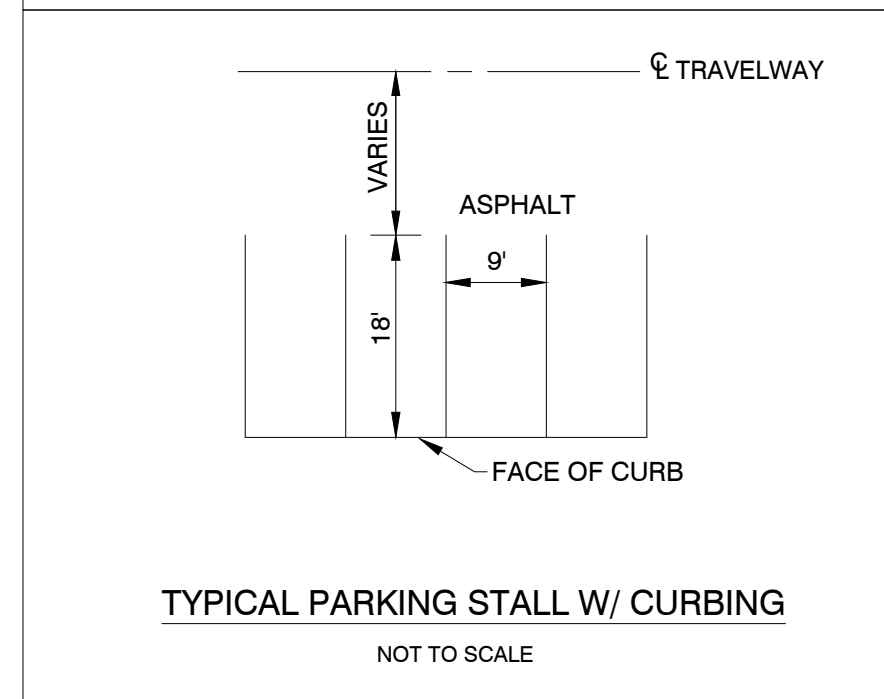
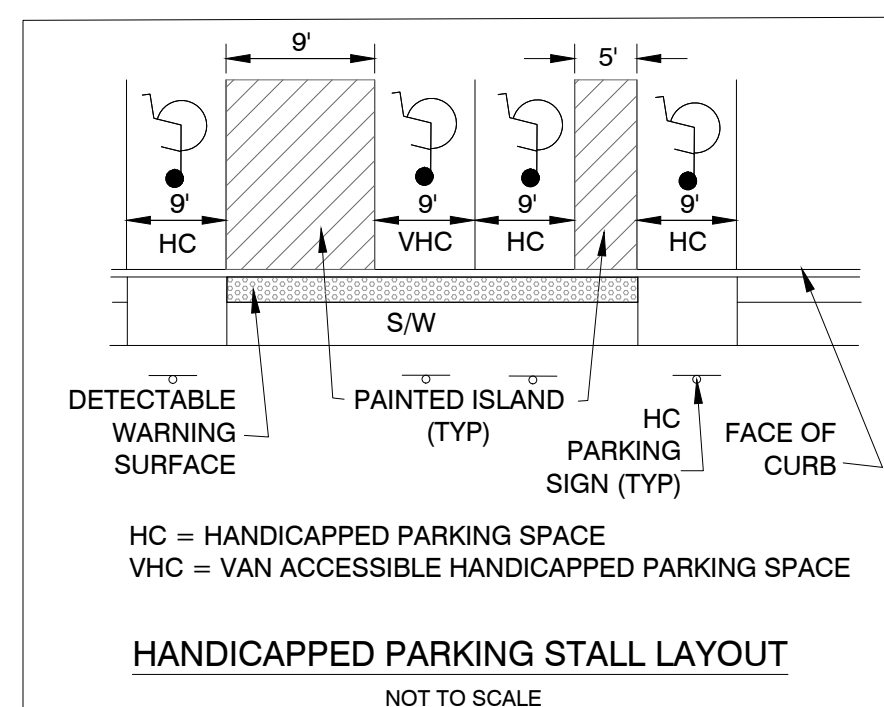
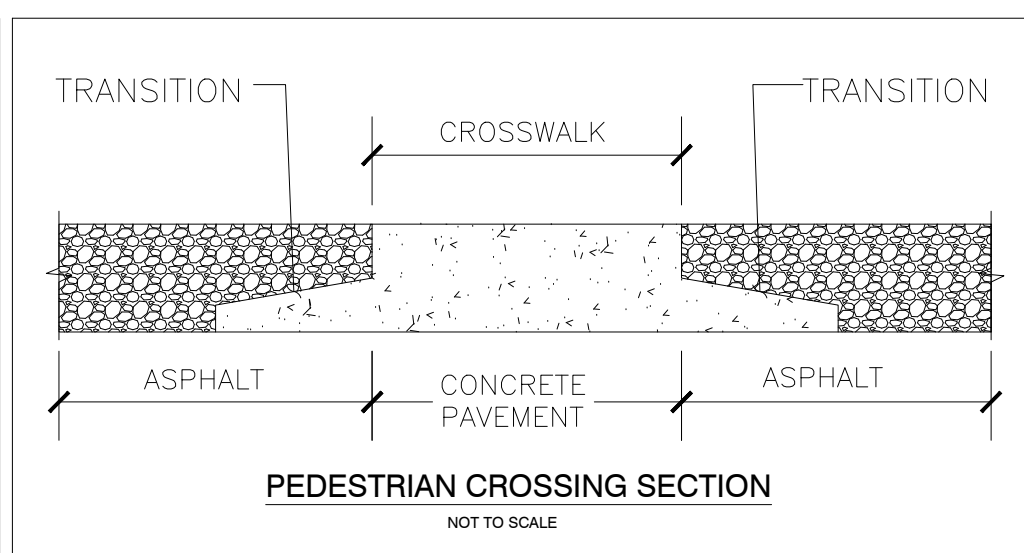
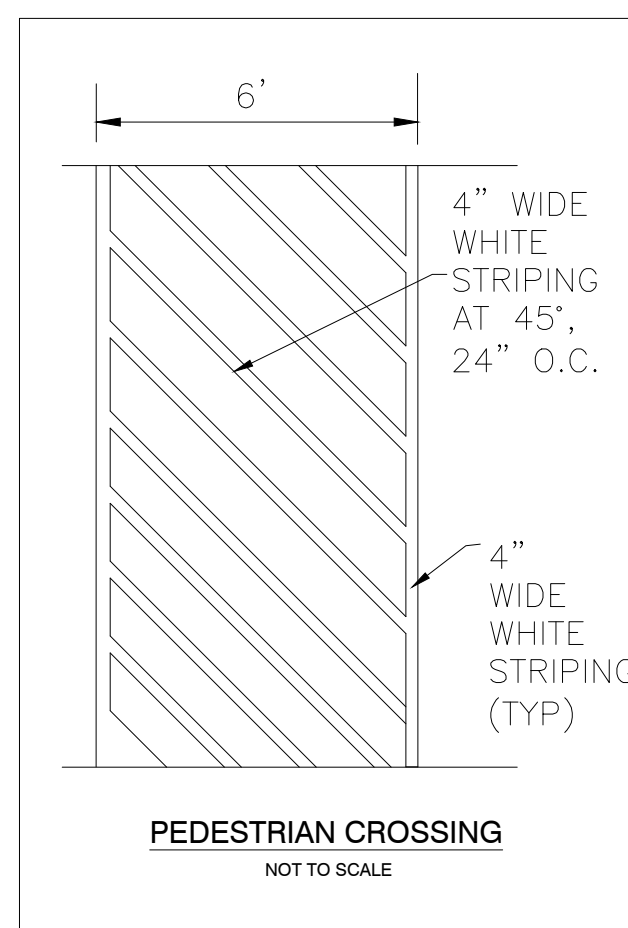


Revisions

No.	Date	Description
0	12 DEC 2025	MKE54-59 SITE PLAN I/F/P

Package
MKE54-59
 Sheet Title/Number
CIVIL
SITE MASTER PLAN
LEGEND, TABS, &
VICINITY MAP

C-A-100



Dewberry Engineers Inc.
1503 Edwards Ferry Road
Suite 200
Leesburg, VA 20176-6680
703.771.8004

MKE 54-59

2700 International Drive
Sturtevant, WI 53177

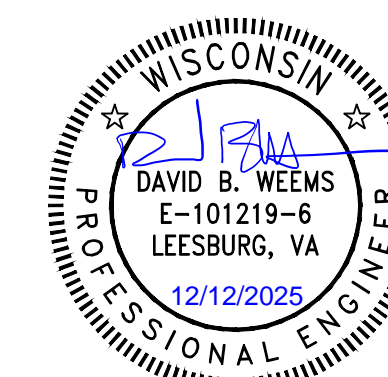
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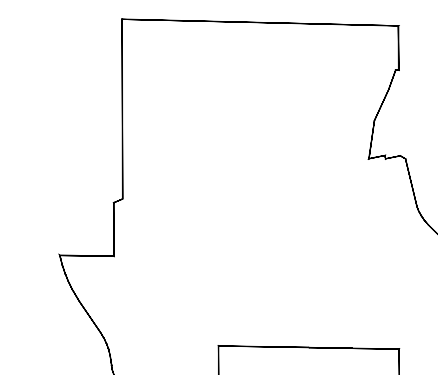
Checked: ELIZABETH SOBECKE, DAVID WEEMS

Date: OCTOBER 29, 2025

Registration



Sector Key Plan

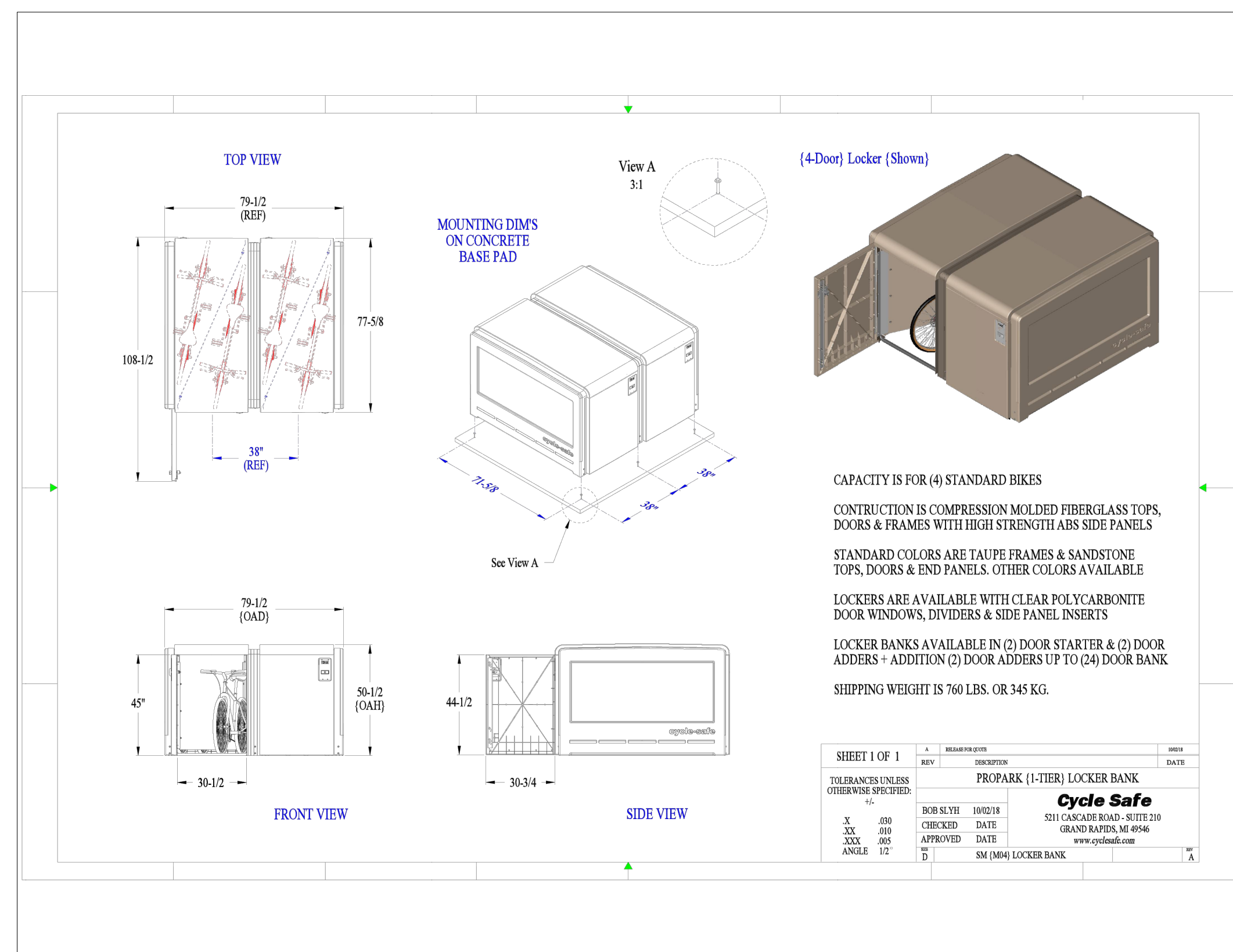


Revisions

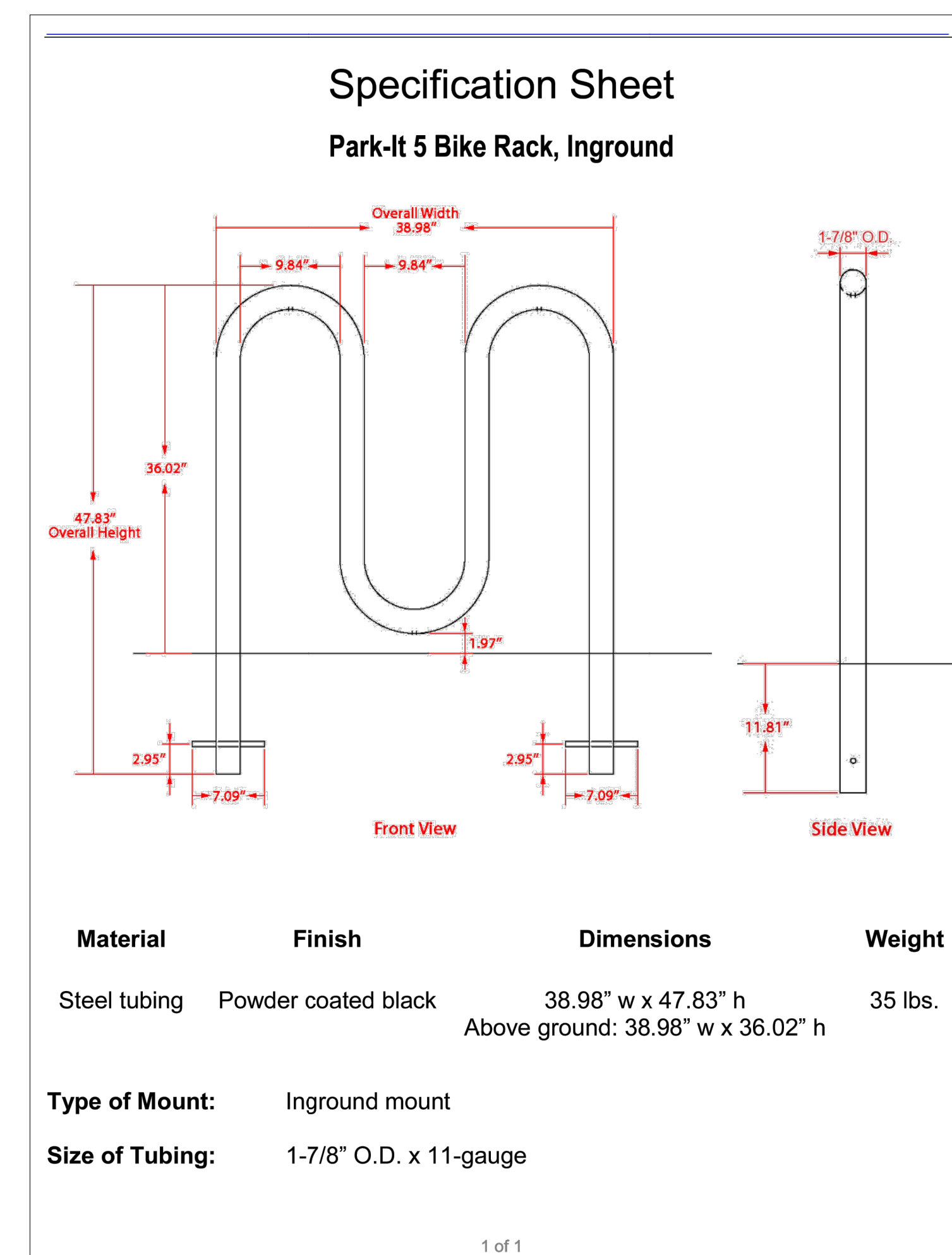
No.	Date	Description
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Package
MKE54-59
Sheet Title/Number
**CIVIL
SITE MASTER PLAN
SITE DETAILS**

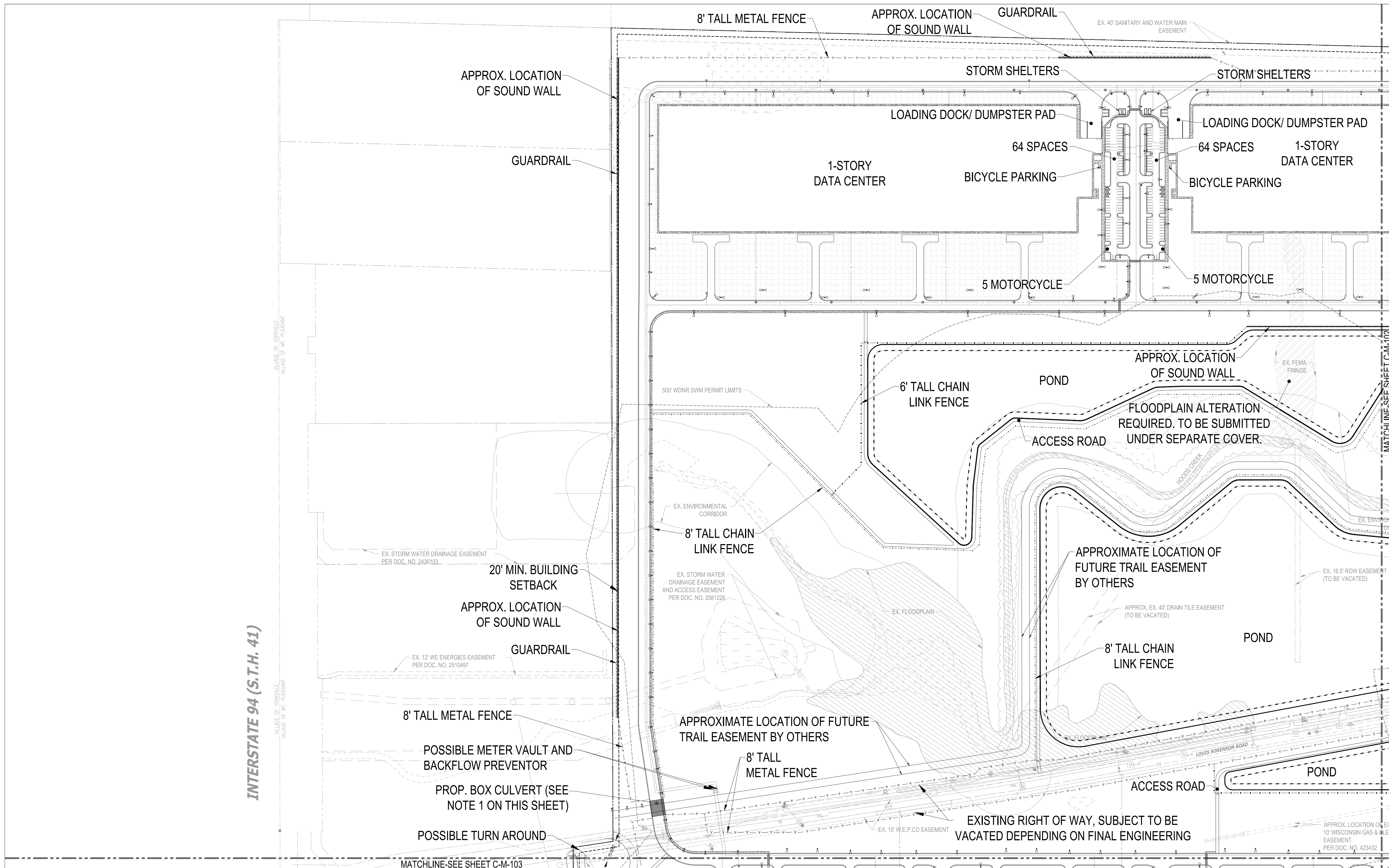
C-A-200



LONG TERM BICYCLE PARKING
NOT TO SCALE



SHORT TERM BICYCLE PARKING
NOT TO SCALE



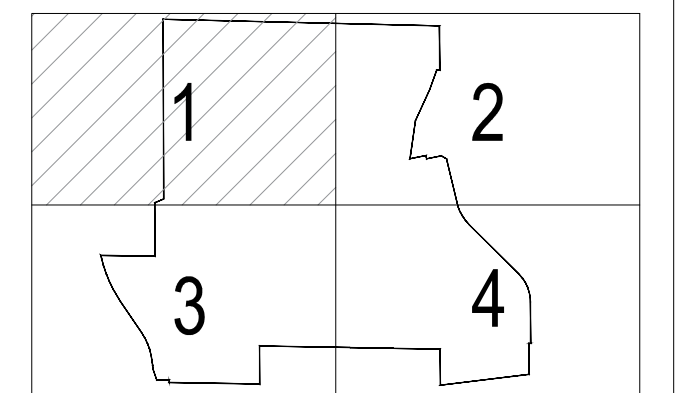
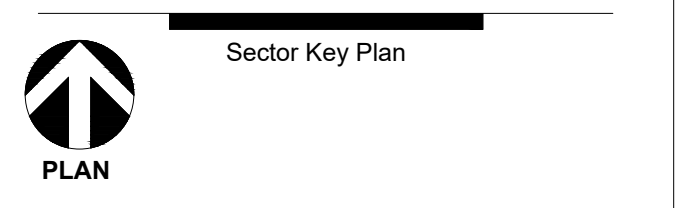
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 Dewberry Engineers Inc.
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MKE 54-59

2700 International Drive
 Sturtevant, WI 53177

Design: SARAH JONUZAJ, CONNOR WHALEN
 Drawn: SARAH JONUZAJ, CONNOR WHALEN
 Checked: ELIZABETH SOBECKE, DAVID WEEMS
 Date: OCTOBER 29, 2025

Registration



Revisions

No.	Date	Description
0	12 DEC 2025	MKE54-59 SITE PLAN I/F/P

Package
MKE54-59
 Sheet Title/Number
CIVIL SITE MASTER PLAN PART PLAN 1

C-M-101

LEGEND

	PROPERTY LINE		8' TALL METAL FENCE		FIRE HYDRANT		EXISTING WATER SERVICE SUPPLY
	CONCRETE SIDEWALK		8' TALL CHAIN LINK FENCE		EXISTING SANITARY SEWER PIPE		WATER SERVICE SUPPLY
	MECHANICAL/ELECTRICAL EQUIPMENT YARD		6' TALL CHAIN LINK FENCE		PROPOSED SANITARY SEWER PIPE		FIRE PROTECTION WATER SUPPLY
	FUTURE SUBSTATION		GUARDRAIL		EXISTING SANITARY SEWER MANHOLE		SITE LIGHTING
	EXISTING WETLAND (HATCHED)		SOUND WALL		PROPOSED SANITARY SEWER MANHOLE		
	EXISTING FLOODPLAIN						
	FEMA FRINGE						

NOTE:
 1. THE PROP. BOX CULVERT IS INTENDED FOR PEDESTRIANS CROSSING UNDER THE ROAD.

ALTA/NSPS LAND TITLE SURVEY

CLIENT
Dewberry

SITE ADDRESS
12620 & 12800 Louis Sorenson Road, Village of Sturtevant, Racine County, Wisconsin

LEGAL DESCRIPTION
Parcel 1:

Lot 1 of Certified Survey Map No. 2784 recorded in the Office of the Register of Deeds for Racine County, Wisconsin on May 16, 2006, in Volume 8 of Certified Survey Maps, Page 896, as Document No. 2085293, as modified by affidavit of correction recorded August 02, 2006 as Document No. 2096005, said Certified Survey Map being part of the Southwest 1/4, Southeast 1/4 and the Northwest 1/4 of the Northeast 1/4 of Section 19, Township 3 North, Range 22 East, in the Village of Mt. Pleasant, Racine County, Wisconsin.
For Informational Purposes Only:
Property Address: 12800 Louis Sorenson Road, Sturtevant, WI 53177
Tax Parcel No. 151-03-22-19-006-010

Parcel 2:

That part of the Northeast 1/4 of Section 19, Township 3 North, Range 22 East, in the Village of Mt. Pleasant, Racine County, Wisconsin, bounded as follows: begin at a point on the North-South 1/4 line of said Section 19 located South 01°31'12" East 2424.37 feet from a Racine County cast iron monument marking the North 1/4 corner of said Section; run thence North 78°07'53" East 1201.51 feet to a point in the centerline of Louis Sorenson Road and the point of beginning of this description; run thence North 11°52'07" West 33.00 feet to a 3/4" diameter re-bar stake; continue thence North 11°52'07" West 141.46 feet to a 3/4" diameter re-bar stake; continue thence North 11°52'07" West 3.00 feet; thence North 79°14'33" East 48.00 feet to a point located North 11°52'07" West 3.00 feet from a 3/4" diameter re-bar stake; thence North 11°52'07" West 64.80 feet to a 3/4" diameter re-bar stake; thence North 81°40'39" East 161.68 feet to a 3/4" diameter re-bar stake; thence South 01°44'07" East 201.48 feet to a 3/4" diameter rebar stake; continue thence South 01°44'07" East 33.52 feet to the centerline of Louis Sorenson Road; thence South 78°07'53" West 168.01 feet to the place of beginning.
For Informational Purposes Only:
Property Address: 12620 Louis Sorenson Road, Sturtevant, WI 53177
Tax Parcel No. 151-03-22-19-001-000

Parcel 3:

That part of the Northeast 1/4 of Section 19, Township 3 North, Range 22 East, in the Village of Mt. Pleasant, Racine County, Wisconsin, bounded as follows: begin at a point on the North-South 1/4 line of said Section 19 located South 01°31'12" East 2424.37 feet from a Racine County cast iron monument marking the North 1/4 corner of said Section; run thence North 78°07'53" East 1201.51 feet to a point in the centerline of Louis Sorenson Road; run thence North 11°52'07" West 33.00 feet to a 3/4" diameter re-bar stake; continue thence north 11°52'07" west 141.46 feet to a 3/4" diameter re-bar stake; continue thence North 11°52'07" West 3.00 feet to the point of beginning of this description; thence North 79°14'33" East 48.00 feet to a point located North 11°52'07" West 3.00 feet from a 3/4" diameter re-bar stake; thence North 11°52'07" West 11.00 feet, thence South 79°14'33" West 48 feet; thence South 11°52'07" East 11.00 feet to the point of beginning.
For Informational Purposes Only:
Property Address: Vacant Land
Tax Parcel No. 151-03-22-19-006-015

BASIS OF BEARINGS
Bearings are referenced to the Racine County Coordinate System(2011), in which the South line of the Southwest 1/4 of Section 29 bears N89°33'36"W.

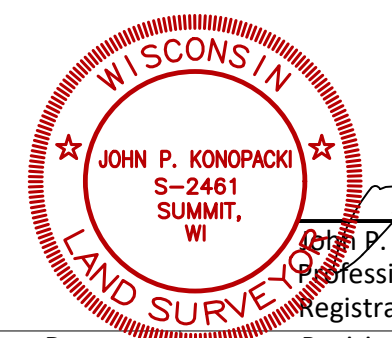
TITLE COMMITMENT
This survey was prepared based on First American Title Insurance Company Commitment No. NCS-1195279-MKE Revision No. 1, effective date of October 5, 2023, revised March 6, 2024, which lists the following easements and/or restrictions from schedule B-II:

- 1, 2, 3, 5, 11, 12, 23 & 26 visible evidence shown.
- 4, 6, 7, 8, 9, 10, 11, 17, 18, 19, 20, 21, 22, 24 & 25 not survey related.
13. Easements, dedications, reservations, provisions, relinquishments, recitals, certificates, and any other matters as provided for or delineated on Certified Survey Map No. 2784 recorded May 16, 2006, in Volume 8 of Certified Survey Maps, Page 896, as Document No. 2085293 referenced in the legal description contained herein. Reference is hereby made to said plat for particulars. As amended by Affidavit of Correction recorded August 02, 2006 as Document No. 2096005. **Affects property by location, shown. (Parcel 1)**
14. Utility Easement to Wisconsin Electric Power Company and Wisconsin Bell, Inc. d/b/a Ameritech, dated March 16, 1994, recorded/filed March 17, 1994 in Volume 2354, Page 550 as Document No. 1458779. **Affects property by location, shown.**
15. The terms and provisions contained in the document entitled "Order Adding Lands to Mt. Pleasant Storm Water Drainage District No. 1" recorded May 28, 1996 in Volume 2539, Pages 429-471 as Document No. 1540010 of Official Records. **Affects property by location, blanket statement. (Parcel 2)**
16. Covenants, Conditions and Restrictions as set forth in Quit Claim Deed recorded on July 29, 1997 in Volume 2659, Page 795 as Document No. 1588450, of Official Records, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c). **Affects property by location, shown. (Parcel 3)**

TO: Microsoft Corporation, a Washington corporation
First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 19, 20(a) and 20(b) of Table A thereof. The field work was completed on December 18, 2023.

Date of Map: January 19, 2024



John P. Konopacki
Professional Land Surveyor
Registration Number S-2461

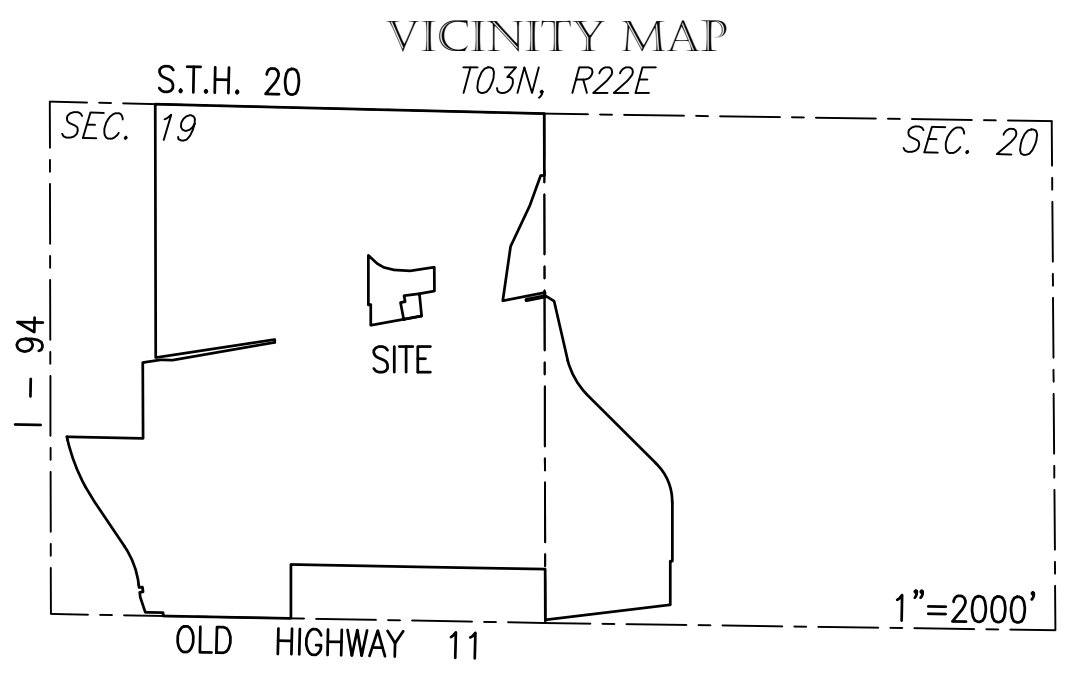
CHAPUT LAND SURVEYS
234 W. Florida Street Milwaukee, WI 53204 414-224-8068 www.chaputlandsurveys.com

Date	Revision description	
Mar. 11, 2024	Title and comments	lpm
May 28, 2024	Updated title commitment	lpm

DRAFTED BY: lpm
Drawing No. 4404.10

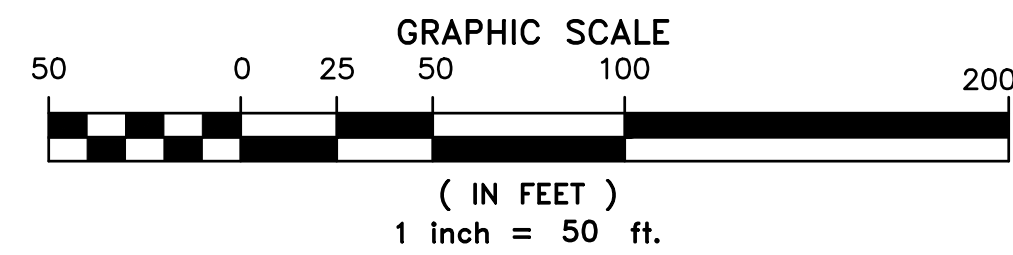
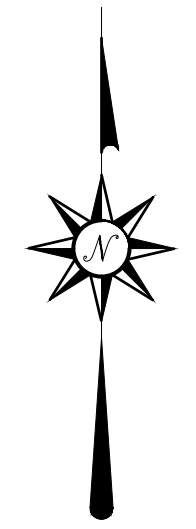
TABLE "A" ITEMS

3. According to the flood insurance rate map of the County of Racine, Community Panel No. 55101C0204D, effective date of May 2, 2012, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).
4. The Land Area of the subject property is 308,453 square feet or 7.0581 acres.
9. There are 0 regular parking spaces and 0 handicap space marked on this site.
- 11(b). Evidence of underground utilities existing on or serving the surveyed property as determined by markings requested by the surveyor pursuant to a Diggers Hotline one-call center utility locate. Ticket Number 20235206022, 20235206013 and 20235206003. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. Client understands only utility lines with imbedded electric tracer wires or utilities made of materials capable of electric connectivity can be marked at the surface and located. Depth of utilities may prohibit their location even with electric connectivity.

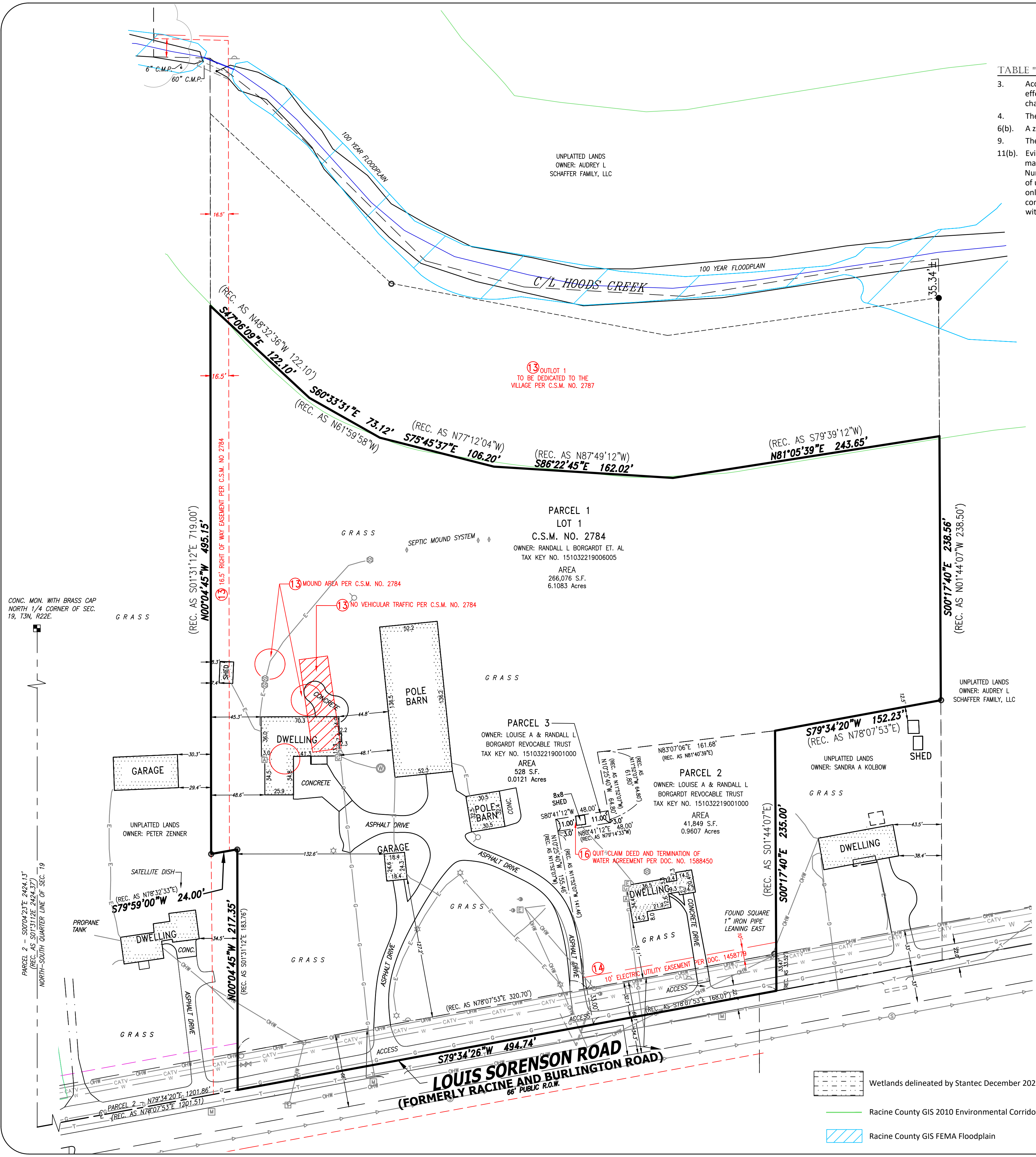


LEGEND

⊙	SANITARY MANHOLE	▲	FIBER OPTIC MARKER	⊖	SIGN
⊕	STORM MANHOLE	⊕	FIBER OPTIC MANHOLE/VAULT	⊠	MAIL BOX
⊗	SEPTIC MOUND VENT	⊠	TELEPHONE PEDESTAL	⊕	FLAG POLE
⊙	SEPTIC COVER	⊕	TELEPHONE MANHOLE/VAULT	⊕	BASKETBALL HOOP
⊕	SANITARY CLEANOUT OR VENT	⊕	TELEPHONE MARKER	⊕	BOLLARD
⊠	CURB INLET	⊠	TRANSFORMER	⊕	CROSS CUT
⊠	STORM INLET	⊠	ELECTRIC METER/PEDESTAL	⊕	IRON PIPE
⊠	CATCH BASIN	⊠	ELECTRIC MANHOLE/VAULT	⊕	IRON REBAR/ROD
⊠	LATERAL	⊠	CABLE TV RISER/BOX CABLE	⊕	MAG NAIL
⊕	UNKNOWN MANHOLE	⊕	TV MANHOLE/VAULT	⊕	SECTION MONUMENT
⊕	DRAIN TILE	⊕	GAS VALVE	⊕	BENCH MARK
⊕	WELL	⊕	GAS METER	⊕	CONIFER TREE
⊕	HYDRANT	⊕	GAS MARKER	⊕	DECIDUOUS TREE
⊕	WATER VALVE	⊕	AIR CONDITIONING UNIT	⊕	BUSH
⊕	DOWN SPOUT	⊕	VENT	⊕	WETLAND SYMBOL
⊕	SPRINKLER VALVE	⊕	UTILITY POLE	⊕	DIRECTIONAL ARROW
⊕	WATER SHUT OFF	⊕	GUY WIRE	CL	=CENTERLINE
⊕	STANDPIPE	⊕	DUMPSTER	CONC.	=CONCRETE
⊕	WATER MANHOLE	⊕	HANDICAP STALL	EL.	=ELEVATION
⊕	LIGHT POLE	⊕	SPOT ELEVATION	EXT.	=EXISTING
⊕		⊕	SANITARY SEWER	INV.	=INVERT
⊕		⊕	STORM SEWER	MON.	=MONUMENT
⊕		⊕	WATER MAIN	P.O.B.	=POINT OF BEGINNING
⊕		⊕	FIBER OPTIC LINE	P.O.C.	=POINT OF COMMENCEMENT
⊕		⊕	TELEPHONE LINE	R.O.W.	=RIGHT OF WAY
⊕		⊕	ELECTRIC LINE	SEC.	=SECTION
⊕		⊕	OVERHEAD WIRES	SQ. FT.	=SQUARE FEET
⊕		⊕	CATV	W/	=WITH
⊕		⊕	GAS MAIN	(R)	=RECORDED AS
⊕		⊕	WETLANDS	(D)	=DEEDED AS
⊕		⊕	TREE LINE		
⊕		⊕	NO ACCESS		



- Wetlands delineated by Stantec December 2023
- Racine County GIS 2010 Environmental Corridors
- Racine County GIS FEMA Floodplain



CONC. MON. WITH BRASS CAP NORTH 1/4 CORNER OF SEC. 19, 13N, R22E.

PARCEL 2 - S00°04'23"E 2424.13' (REC. AS S01°31'12"E 2424.37') NORTH-SOUTH QUARTER LINE OF SEC. 19

LOUIS SORENSON ROAD (FORMERLY RACINE AND BURLINGTON ROAD)
86' PUBLIC R.O.W.

ALTA/NSPS LAND TITLE SURVEY

CLIENT
Dewberry

SITE ADDRESS
12845 Louis Sorenson Road, Village of Sturtevant, Racine County, Wisconsin

LEGAL DESCRIPTION
That part of the East 1/2 of Section 19, Township 3 North, Range 22 East, bounded as follows: commence at the point of intersection of the North and South 1/4 line of said Section 19 and the centerline of the Louis Sorenson Road as now laid out; run thence North 80°03'45" East 296.55 feet long said centerline to the point of beginning of this description; run thence North 80°03'45" East 100.00 feet along said centerline; thence South 00°27'45" West 300 feet; thence South 80°03'45" West 100 feet; thence North 00°27'45" East 300.00 feet the point of beginning of this description.

Excepting therefrom the Northerly 33 feet for roadway purposes. Said land being the Village of Mt. Pleasant, County of Racine, State of Wisconsin.

BASIS OF BEARINGS
Bearings are referenced to the Racine County Coordinate System(2011), in which the South line of the Southwest 1/4 of Section 29 bears N89°33'36"W.

TITLE COMMITMENT
This survey was prepared based on First American Title Insurance Company Commitment No. NCS-1195281-WA1, effective date of _____, 2024 which lists the following easements and/or restrictions from schedule B-II:

17 & 20 visible evidence shown.
7, 9 & 16 not survey related.
1-6, 8, 10, 13-15, 18 & 19 intentionally deleted.

- Order Adding Lands to Mt. Pleasant Storm Water Drainage District No. 1 recorded May 28, 1996 in Volume 2539, page 429 as Document No. 1540010. and assessments, fees and/or charges, if any, levied by said district. None due and delinquent as of Date of Policy. **Affects property by location, blanket statement.**
- Easement Agreement upon the terms, conditions and provisions contained therein:
Dated: March 28, 2002
Parties: Louis Sorenson Road, LLC, and the Village of Mount Pleasant, Racine County, Wisconsin, a municipal corporation
Recorded: May 02, 2022
Instrument No.: 2627799
As amended by Affidavit of Correction recorded May 25, 2022 as Document No. 2629905. as approximately shown on ALTA/NSPS survey by Chaput Land Surveys dated January 19, 2024 and designated as Job No. 4404.10. **Affects property by location, shown.**

TABLE "A" ITEMS

- According to the flood insurance rate map of the County of Racine, Community Panel No. 55101C0204D, effective date of May 2, 2012, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).
- The Land Area of the subject property is 29,512 square feet or 0.6775 acres.
- A zoning report has not been provided.
- There are 0 parking spaces marked on this site.
- Evidence of underground utilities existing on or serving the surveyed property as determined by markings requested by the surveyor pursuant to a Diggers Hotline One-call center utility locate. Ticket Number 20235205981 and 20235205983. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. Client understands only utility lines with imbedded electric tracer wires or utilities made of materials capable of electric connectivity can be marked at the surface and located. Depth of utilities may prohibit their location even with electric connectivity.

TO: Microsoft Corporation, a Washington corporation
First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 19, 20(a) and 20(b) of Table A thereof. The field work was completed on December 18, 2023.

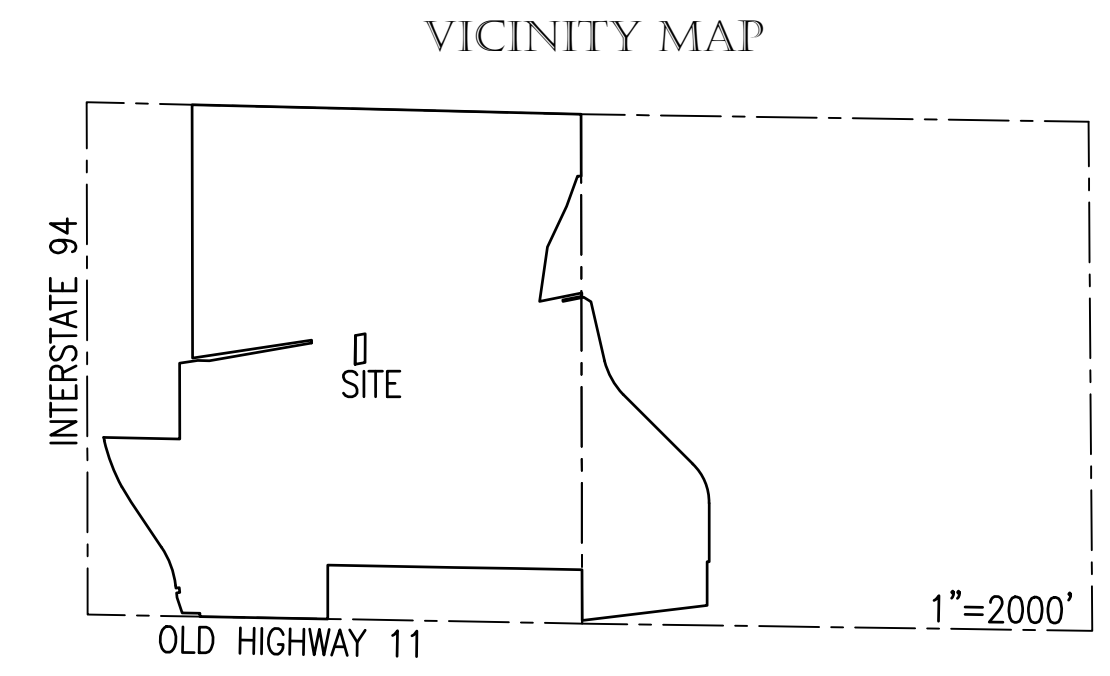
Date of Map: January 19, 2024



Date	Revision description	By
Apr. 18, 2024	Proforma and comments	lpm

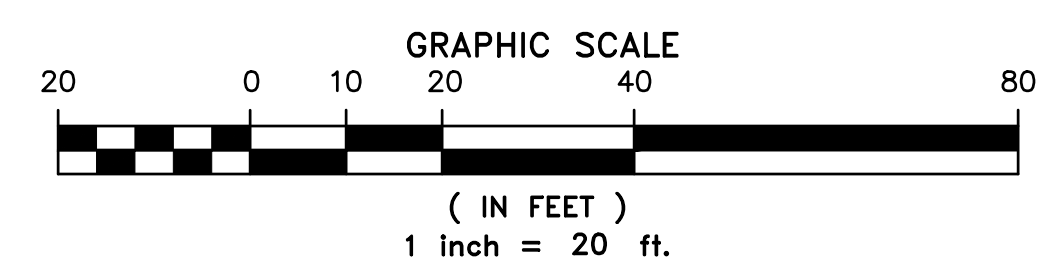
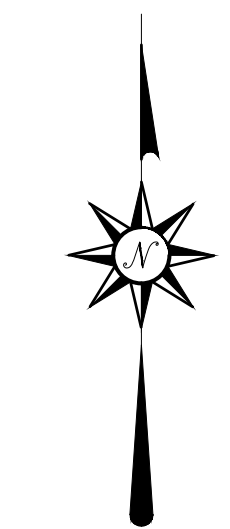
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Milwaukee, WI 53204
414-224-8068
www.chaputlandsurveys.com

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DRAFTED BY: lpm
Drawing No. 4404.10



LEGEND

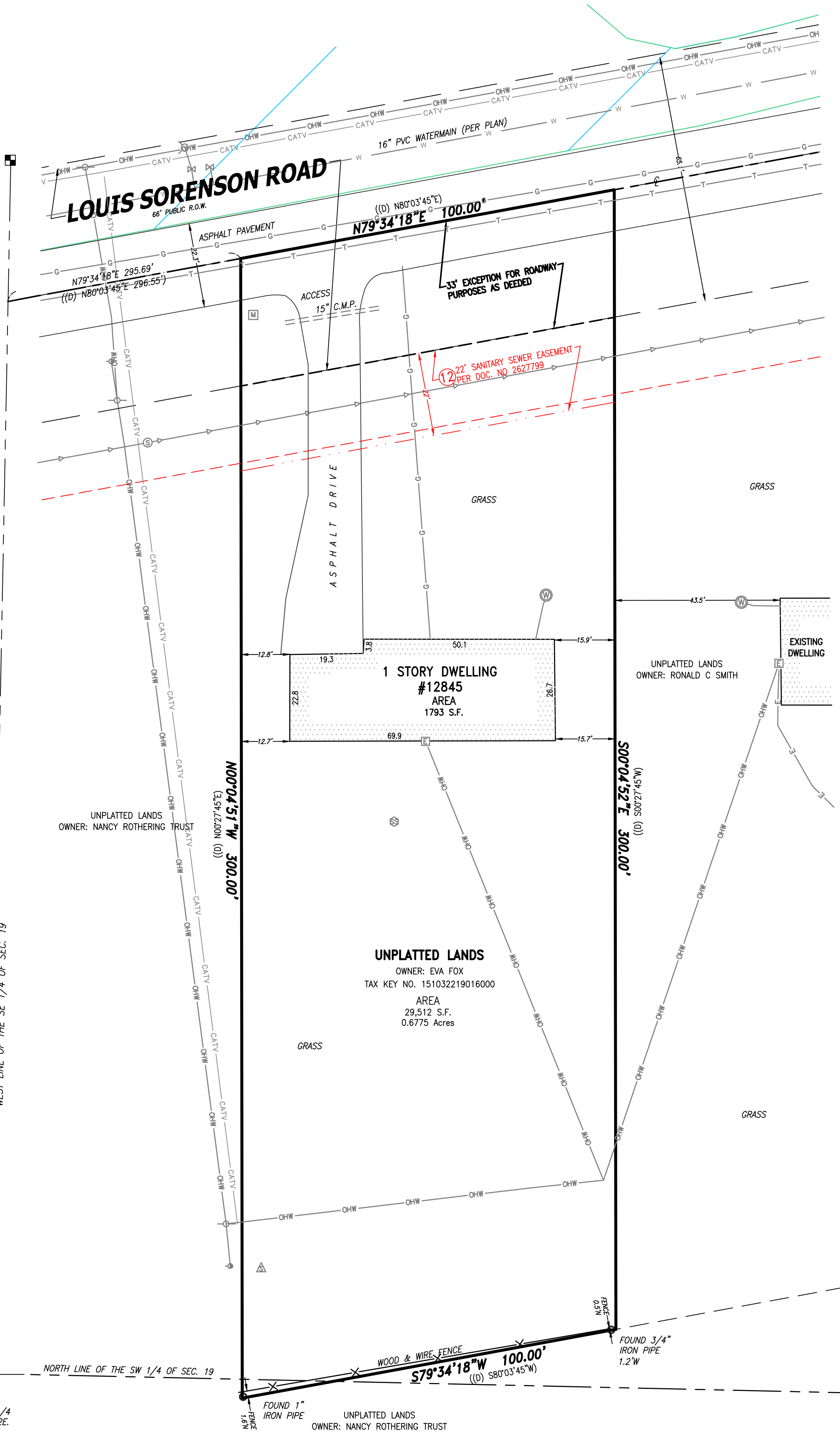
⊙	SANITARY MANHOLE	▲	FIBER OPTIC MARKER	—	SIGN
⊕	STORM MANHOLE	⊕	FIBER OPTIC MANHOLE/VAULT	▣	MAIL BOX
△	SEPTIC MOUND VENT	□	TELEPHONE PEDESTAL	⚓	FLAG POLE
⊗	SEPTIC COVER	⊕	TELEPHONE MANHOLE/VAULT	⊙	BASKETBALL HOOP
⋄	SANITARY CLEANOUT OR VENT	△	TELEPHONE MARKER	●	BOLLARD
▣	CURB INLET	▭	TRANSFORMER	×	CROSS CUT
□	STORM INLET	▭	ELECTRIC METER/PEDESTAL	○	IRON PIPE
○	CATCH BASIN	⊕	ELECTRIC MANHOLE/VAULT	●	IRON REBAR/ROD
○	LATERAL	▭	CABLE TV RISER/BOX CABLE	●	MAG NAIL
⊕	UNKNOWN MANHOLE	⊕	TV MANHOLE/VAULT	■	SECTION MONUMENT
⊕	DRAIN TILE	⊕	GAS VALVE	⊕	BENCH MARK
⊕	WELL	⊕	GAS METER	☀	CONIFER TREE
⊕	HYDRANT	△	GAS MARKER	⊕	DECIDUOUS TREE
⊕	WATER VALVE	▭	AIR CONDITIONING UNIT	⊕	BUSH
⊕	DOWN SPOUT	⊕	VENT	⊕	WETLAND SYMBOL
⊕	SPRINKLER VALVE	—	UTILITY POLE	→	DIRECTIONAL ARROW
⊕	WATER SHUT OFF	—	GUY WIRE	CL	=CENTERLINE
⊕	STANDPIPE	⊕	DUMPSTER	CONC.	=CONCRETE
⊕	WATER MANHOLE	♿	HANDICAP STALL	EL	=ELEVATION
☆	LIGHT POLE	+	SPOT ELEVATION	EXT.	=EXISTING
—	SANITARY SEWER	—	NO ACCESS	INV.	=INVERT
—	STORM SEWER			MON.	=MONUMENT
—	WATER MAIN			P.O.B.	=POINT OF BEGINNING
—	FIBER OPTIC LINE			P.O.C.	=POINT OF COMMENCEMENT
—	TELEPHONE LINE			R.O.W.	=RIGHT OF WAY
—	ELECTRIC LINE			SEC.	=SECTION
—	OVERHEAD WIRES			SQ. FT.	=SQUARE FEET
—	CABLE TELEVISION			W/	=WITH
—	GAS MAIN			(R)	=RECORDED AS
—	WETLANDS			(D)	=DEEDED AS
—	TREE LINE				



- Wetlands delineated by Stantec December 2023
- Racine County GIS 2010 Environmental Corridors
- Racine County GIS FEMA Floodplain

CONC. MON. WITH BRASS CAP NE COR. OF NW 1/4 SEC. 19, T3N, R22E.

CONC. MON. WITH BRASS CAP NE COR. OF SW 1/4 SEC. 19, T3N, R22E.



CHAPUT LAND SURVEYS

ALTA/NSPS LAND TITLE SURVEY

CLIENT Dewberry
SITE ADDRESS Lands along Louis Sorenson Road & Old Highway 11, Village of Sturtevant, Racine County, Wisconsin

BASIS OF BEARINGS
 Bearings are referenced to the Racine County Coordinate System (2011), in which the South line of the Southwest 1/4 of Section 29 bears N89°33'36"W.

TITLE COMMITMENT
 This survey was prepared based on First American Title Insurance Company Commitment No. NCS-1185340-WA1 (PROFORMA), effective date of _____, 20__ which lists the following easements and/or restrictions from schedule B-II:

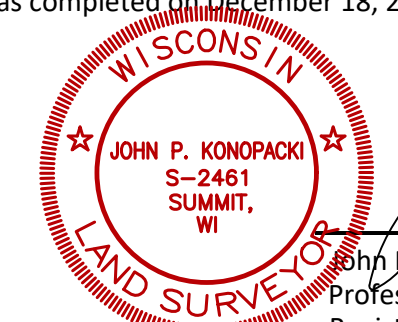
- 25 & 30 visible evidence shown.
- 7, 24, 26 & 29 not survey related.
- 1-6, 8-11, 23, 27 & 28 intentionally deleted.
- 12. Easements, dedications, reservations, provisions, relinquishments, recitals, certificates, and any other matters as provided for or delineated on Certified Survey Map No. 1205 recorded on February 12, 1987 in Volume 3 of CSM's, Page 523 as Document No. 1219679 referenced in the legal description contained herein. Reference is hereby made to said plat for particulars. (Affects Parcel 1) **Affects property by location.**
- 13. Utility Easement to Wisconsin Gas & Electric Company, dated February 02, 1937, recorded/filed April 19, 1937 in Volume 331 of Deeds, Page 86 as Document No. 423434. as approximately shown on ALTA/NSPS survey by Chaput Land Surveys dated January 16, 2024 and designated as Job No. 4404.10. (Affects Parcel 1) **Affects property by location, shown.**
- 14. Terms, conditions, restrictions and provisions relating to the use and maintenance of the Easement of Way over private road recorded on February 26, 1963 in Volume 771, Page 292, as Document No. 748318. as approximately shown on ALTA/NSPS survey by Chaput Land Surveys dated January 16, 2024 and designated as Job No. 4404.10. (Affects Parcels 2 & 3) **Affects property by location, shown.**
- 15. Terms, conditions, restrictions and provisions relating to the use and maintenance of the Easement of Way over private road recorded on April 09, 1965 in Volume 858, Page 145, as Document No. 785968. as approximately shown on ALTA/NSPS survey by Chaput Land Surveys dated January 16, 2024 and designated as Job No. 4404.10. (Affects Parcels 2 & 3) **Affects property by location, shown.**
- 16. Order Adding Lands to Mt. Pleasant Storm Water Drainage District No. 1 recorded on May 28, 1996 in Volume 2539, Page 429 as Document No. 1540010; and assessments, fees and/or charges, if any levied by said district. **Affects property by location, blanket statement.**
- 17. Restrictions, dedications, conditions, reservations, easements and other matters shown on the plat of Corridor Preservation Map, as recorded in Volume 2876, Page 615 as Document No. 1669177, on February 05, 1999, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c). (Affects Parcels 2 & 3) Notice and Order Establishing Locations and Right-of-Way Widths for Future Freeways or Expressways recorded February 05, 1999 in Volume 2876, Page 621 as Document No. 1669178. **Affects property by location, shown on Parcel 2, along East Frontage Road.**
- 18. Restrictions, dedications, conditions, reservations, easements and other matters shown on the plat of Transportation Project Plat No: 1030-24-20-4.04, as recorded in Document No. 2240909, on January 27, 2010, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c). (Affects Parcels 2 & 3) Modification and/or amendment by instrument: Transportation Project Plat No: 1030-24-20-4.04 Amendment No: 1 Recording Information: October 13, 2017 as Document No. 2477108 **Affects property by location, shown.**
- 19. Covenants, Conditions and Restrictions as set forth in Warranty Deed recorded on May 11, 2011 as Document No. 2284061, of Official Records, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c). (Affects Parcels 2 & 3) **Affects property by location, shown.**
- 20. Right-of-way as contained in Trustee's Deed recorded on June 08, 2016 as Document No. 2436461. As amended by Correction Instrument recorded on July 15, 2016 as Document No. 2439718. As further amended by Correction Instrument recorded on June 09, 2017 as Document No. 2466787. as approximately shown on ALTA/NSPS survey by Chaput Land Surveys dated January 16, 2024 and designated as Job No. 4404.10. (Affects Parcels 2 & 3) **Affects property by location, shown.**
- 21. Utility Easement to Wisconsin Electric Power Company, a Wisconsin corporation doing business as We Energies, Charter Communications Operating, LLC and Wisconsin Bell, Inc. doing business as AT&T Wisconsin, a Wisconsin corporation, dated January 04, 2018, recorded/filed July 24, 2018 as Document No. 2499317. as approximately shown on ALTA/NSPS survey by Chaput Land Surveys dated January 16, 2024 and designated as Job No. 4404.10. (Affects Parcel 2) **Affects property by location, shown.**
- 22. Easement Agreement upon the terms, conditions and provisions contained therein: Dated: March 28, 2022 Parties: Robert E. Funk Farms, Inc. and the Village of Mount Pleasant, Racine County, Wisconsin, a municipal corporation Recorded: May 2, 2022 Instrument No: 2627816 as approximately shown on ALTA/NSPS survey by Chaput Land Surveys dated January 16, 2024 and designated as Job No. 4404.10. (Affects Parcel 1) **Affects property by location, shown.**

TO: Microsoft Corporation, a Washington corporation
 First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 19, 20(a) and 20(b) of Table A thereof. The field work was completed on December 18, 2023.

Date of Map: January 16, 2024

CHAPUT LAND SURVEYS
 234 W. Florida Street
 Milwaukee, WI 53204



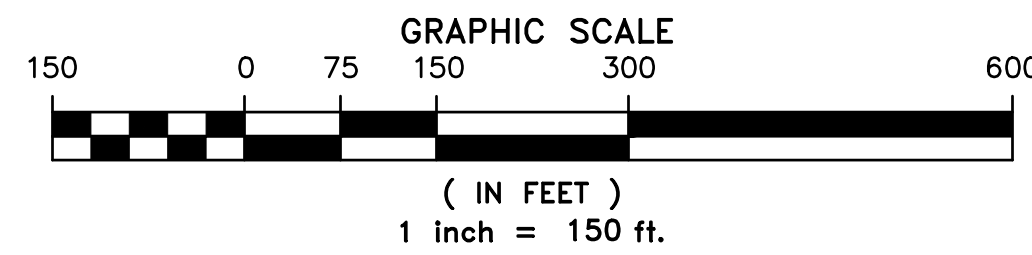
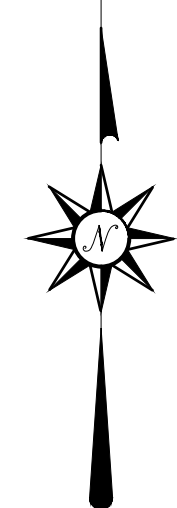
Date	Mar 27, 2024	Revision description	Proforma and comments	lpm
Date		Revision description		

This document is an instrument of professional service, and may be protected by the surveyor's work product doctrine. The surveyor's client privilege. The information shown hereon is intended solely for the use of the client and client directed third parties. Chaput Land Surveys is a division of Pinnacle Engineering Group. DRAFTED BY: LPM Drawing No. 4404.10

TABLE "A" ITEMS

3. According to the flood insurance rate map of the County of Racine, Community Panel No. 55101C02040, effective date of May 2, 2012, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).
4. The Land Area of the subject property is 2,779,722 square feet or 63.8136 acres.
6. A zoning report has not been provided.
9. There are 0 parking spaces marked on this site.
- 11(b). Evidence of underground utilities existing on or serving the surveyed property as determined by markings requested by the surveyor pursuant to a Diggers Hotline One-call center utility locate. Ticket Number 20235205925, 20235205926, 20235205934, 20235205937, 20235205966 and 20235205970. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. Client understands only utility lines with imbedded electric tracer wires or utilities made of materials capable of electric connectivity can be marked at the surface and located. Depth of utilities may prohibit their location even with electric connectivity.

- Wetlands delineated by Stantec December 2023
- Racine County GIS 2010 Environmental Corridors
- Racine County GIS FEMA Floodplain

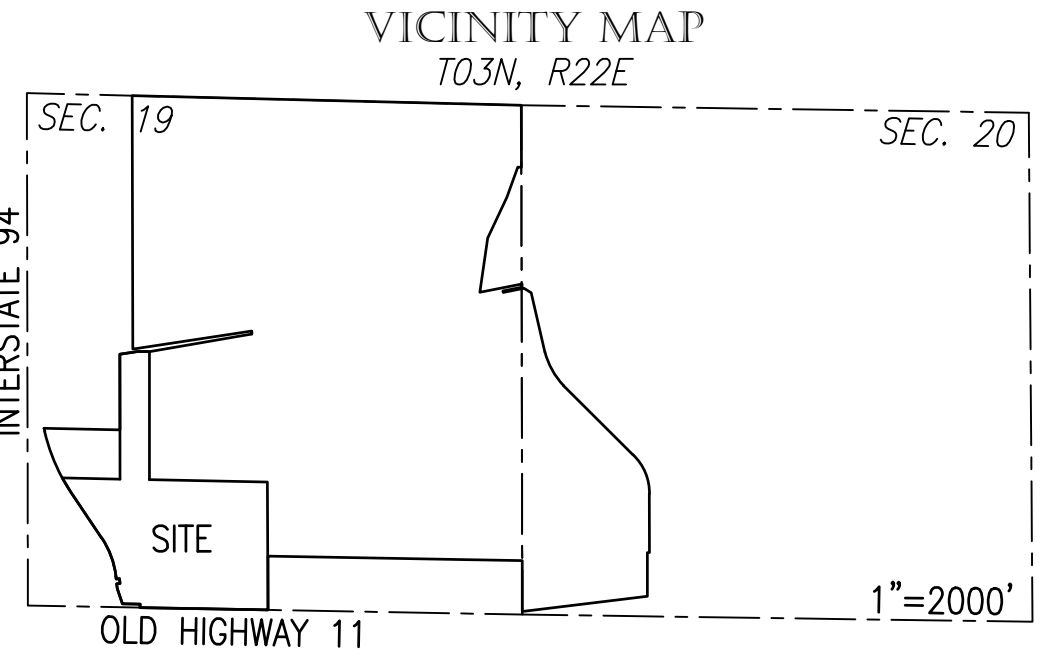


LEGAL DESCRIPTION

PARCEL 1:
 LOT TWO (2) OF CERTIFIED SURVEY MAP NO. 1205 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR RACINE COUNTY, WISCONSIN ON FEBRUARY 12, 1987, IN VOLUME 03 OF CERTIFIED SURVEY MAPS, PAGE 523, AS DOCUMENT NO. 1219679, SAID CERTIFIED SURVEY MAP BEING A PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 AND PART OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 19, TOWNSHIP 3 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF MOUNT PLEASANT, RACINE COUNTY, WISCONSIN. EXCEPTING THEREFROM THAT PORTION OF LAND CONVEYED IN WARRANTY DEED RECORDED AUGUST 16, 1990 IN VOLUME 2028, PAGE 902 AS DOCUMENT NO. 1318099. FOR INFORMATIONAL PURPOSES ONLY: PROPERTY ADDRESS: LANDS ALONG LOUIS SORENSON ROAD, STURTEVANT, WI 53177 TAX PARCEL NO. 151-03-22-19-013-200

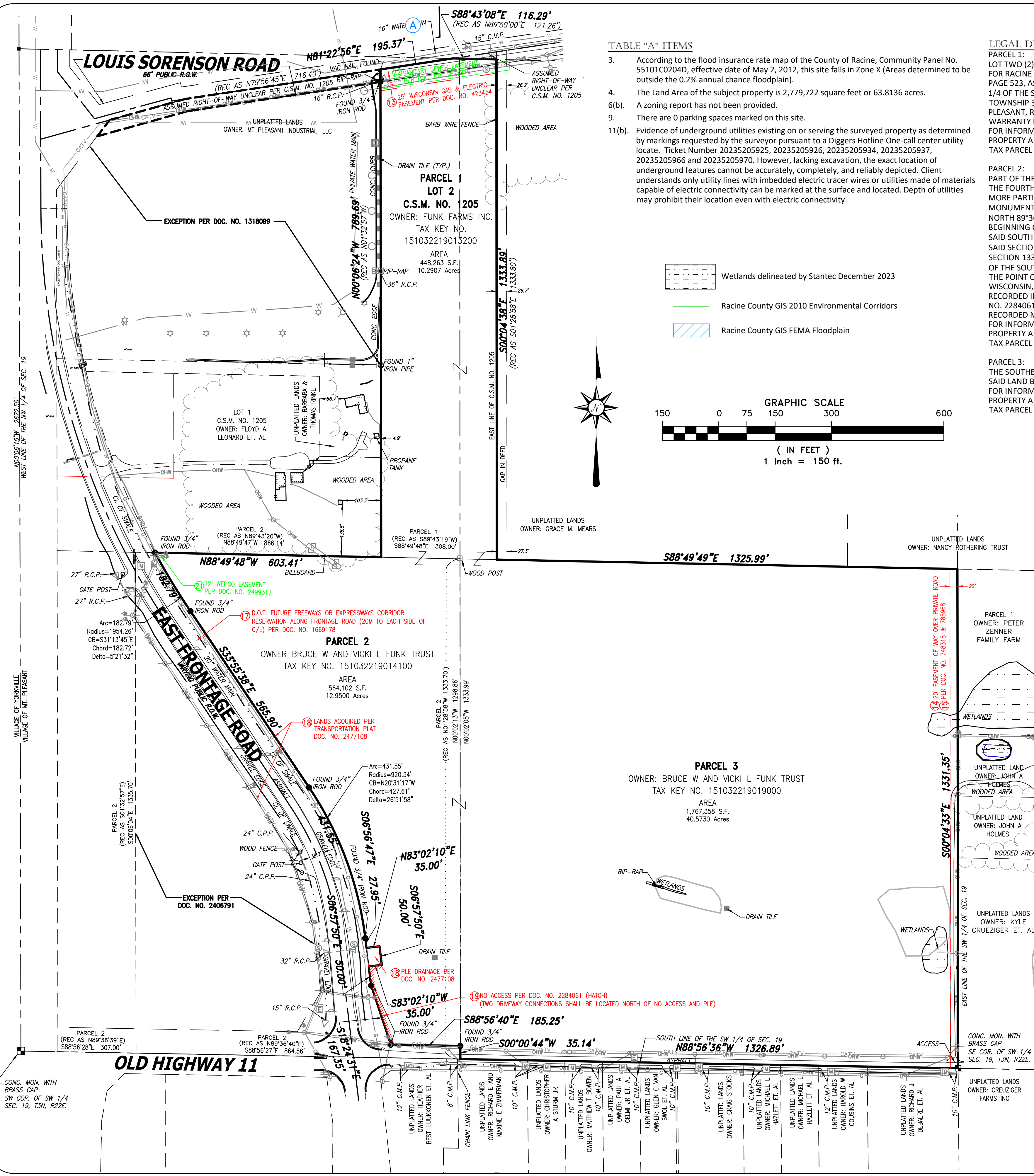
PARCEL 2:
 PART OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 19, TOWNSHIP 3 NORTH, RANGE 22 EAST, OF THE FOURTH PRINCIPAL MERIDIAN, VILLAGE OF MOUNT PLEASANT, RACINE COUNTY, WISCONSIN, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT A STANDARD RACINE COUNTY MONUMENT MARKING THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF SECTION 19, RUN THENCE NORTH 89°36'39" EAST ALONG THE SOUTH LINE OF SAID 1/4 SECTION 307.00 FEET TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL: THENCE CONTINUE NORTH 89°36'40" EAST ALONG SAID SOUTH LINE 864.56 FEET TO THE SOUTHEAST CORNER OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SAID SECTION; THENCE NORTH 1°28'58" WEST ALONG THE EAST LINE OF THE WEST 1/2 OF SAID 1/4 SECTION 1333.99 FEET; THENCE SOUTH 89°43'20" WEST ALONG THE NORTH LINE OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION, 866.14 FEET; THENCE SOUTH 1°32'57" EAST 1,335.70 FEET TO THE POINT OF BEGINNING. EXCEPTING THE PROPERTY TRANSFERRED BY THE GRANTOR TO THE STATE OF WISCONSIN, DEPARTMENT OF TRANSPORTATION IN THE WARRANTY DEED DATED MAY 06, 2011 AND RECORDED IN THE OFFICE OF THE RACINE COUNTY REGISTER OF DEEDS ON MAY 11, 2011 AS DOCUMENT NO. 2284061. ALSO EXCEPTING THEREFROM THAT PORTION OF LAND CONVEYED IN TRUSTEE'S DEED RECORDED MAY 07, 2015 AS DOCUMENT NO. 2406791. FOR INFORMATIONAL PURPOSES ONLY: PROPERTY ADDRESS: LANDS ALONG OLD HIGHWAY 11, STURTEVANT, WI 53177 TAX PARCEL NO. 151-03-22-19-014-100

PARCEL 3:
 THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 19, TOWNSHIP 3 NORTH, RANGE 22 EAST. SAID LAND BEING IN THE VILLAGE OF MOUNT PLEASANT, RACINE COUNTY, WISCONSIN. FOR INFORMATIONAL PURPOSES ONLY: PROPERTY ADDRESS: LANDS ALONG OLD HIGHWAY 11, STURTEVANT, WI 53177 TAX PARCEL NO. 151-03-22-19-019-000



LEGEND

	Sanitary Manhole		Fiber Optic Marker		Sign
	Storm Manhole		Fiber Optic Manhole/Vault		Mail Box
	Septic Cover		Telephone Pedestal		Flag Pole
	Sanitary Cleanout or Vent		Telephone Manhole/Vault		Basketball Hoop
	Curb Inlet		Telephone Marker		Bollard
	Storm Inlet		Transformer		Cross Cut
	Catch Basin		Electric Meter/Pedestal		Iron Pipe
	Lateral		Electric Manhole/Vault		Iron Rebar/Rod
	Unknown Manhole		Cable TV Riser/Box Cable		Mac Nail
	Drain Tile		TV Manhole/Vault		Section Monument
	Well		Gas Valve		Bench Mark
	Hydrant		Gas Meter		Conifer Tree
	Water Valve		Gas Marker		Deciduous Tree
	Down Spout		Air Conditioning Unit		Bush
	Sprinkler Valve		Vent		Wetland Symbol
	Water Shut Off		Utility Pole		Directional Arrow
	Standpipe		Guy Wire		Centerline
	Water Manhole		Dumpster		Concrete
	Light Pole		Handicap Stall		Elevation
			Spot Elevation		Existing
			Sanitary Sewer		Invert
			Storm Sewer		Monument
			Water Main		Point of Beginning
			Fiber Optic Line		Point of Commencement
			Telephone Line		Right of Way
			Electric Line		Section
			Overhead Wires		Square Feet
			Cable Television		With
			Gas Main		Recorded As
			Wetlands		Deeded As
			Tree Line		
			No Access		



CHAPUT LAND SURVEYS

ALTA/NSPS LAND TITLE SURVEY

CHAPUT LAND SURVEYS

CLIENT: Dewberry
SITE ADDRESS: 1821 East Frontage Road, Village of Sturtevant, Racine County, Wisconsin

LEGAL DESCRIPTION: Lot 4 of Certified Survey Map No. 3422 recorded in the Office of the Register of Deeds for Racine County, Wisconsin on November 13, 2020, as document no. 2571627, said Certified Survey Map being a part of the Northwest 1/4, Northeast 1/4, Southeast 1/4 and Southwest 1/4 of the Northwest 1/4 and the Northwest 1/4 of the Southwest 1/4 all in Section 19, Township 3 North, Range 22 East, in the Village of Mt. Pleasant, Racine County, Wisconsin.

BASIS OF BEARINGS: Bearings are referenced to the Racine County Coordinate System(2011), in which the South line of the Southwest 1/4 of Section 29 bears N89°33'36"W.

TITLE COMMITMENT: This survey was prepared based on First American Title Insurance Company Commitment No. NCS-1185930-WA1, (PROFORMA), effective date of _____, 20__ which lists the following easements and/or restrictions from schedule B-II:

- 10, 19 & 23 visible evidence shown.
- 7, 17, 18 & 22 not survey related.
- 1-6, 8, 9, 20 & 21 intentionally deleted.
- 11. Easements, dedications, reservations, provisions, relinquishments, recitals, certificates, and any other matters as provided for or delineated on Certified Survey Map No. 3422 recorded November 13, 2020 as Document No. 2571627 referenced in the legal description contained herein. Reference is hereby made to said plat for particulars. **Affects property by location, shown.** as approximately shown on ALTA/NSPS survey by Chaput Land Surveys dated January 16, 2024 and designated as Job No. 4404.10.
- 12. Order Adding Lands to Mt. Pleasant Storm Water Drainage District No. 1 recorded May 28, 1996 in Volume 2539, Page 429 as Document No. 1540010; assessments, fees and/or charges, if any, levied by said district. **Affects property by location, blanket in nature.**
- 13. Storm Water Management Maintenance Agreement upon the terms, conditions and provisions contained therein: Dated: August 31, 2015 Parties: Biscayne Holding, LLC and Village of Mount Pleasant Recorded: June 3, 2016 Instrument No: 2436103 Affidavit of Correction, recorded February 20, 2024 as Document No. 2671474. **Does not affect property by location, not shown.**
- 14. Utility Easement to Wisconsin Electric Power Company, a Wisconsin corporation doing business as We Energies, dated October 1, 2018, recorded/ filed December 20, 2018 as Document No. 2510497. **Does not affect property by location, shown.**
- 15. Storm Water Management Maintenance Agreement upon the terms, conditions and provisions contained therein: Dated: February 2, 2021 Parties: Thomas Hribar and Village of Mount Pleasant Recorded: February 12, 2021 Instrument No: 2581226 **Affects property by location, shown.** as approximately shown on ALTA/NSPS survey by Chaput Land Surveys dated January 16, 2024 and designated as Job No. 4404.10.
- 16. Easement Agreement upon the terms, conditions and provisions contained therein: Dated: January 25, 2021 Parties: Thomas A. Hribar Sr. Revocable Trust dated January 9, 2017 and The Village of Mount Pleasant, Racine County, Wisconsin, a municipal corporation Recorded: February 24, 2021 Instrument No: 2582262 **Affects property by location, shown.** as approximately shown on ALTA/NSPS survey by Chaput Land Surveys dated January 16, 2024 and designated as Job No. 4404.10.

- TABLE "A" ITEMS
- 3. According to the flood insurance rate map of the County of Racine, Community Panel No. 55101C0204D, effective date of May 2, 2012, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).
 - 4. The Land Area of the subject property is 3,138,279 square feet or 72.0450 acres.
 - 6(b). A zoning report has not been provided.
 - 9. There are 0 regular parking spaces and 0 handicap space marked on this site.
 - 11(b). Evidence of underground utilities existing on or serving the surveyed property as determined by markings requested by the surveyor pursuant to a Diggers Hotline One-call center utility locate. Ticket Number 20235206055 & 20235206056. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. Client understands only utility lines with imbedded electric tracer wires or utilities made of materials capable of electric connectivity can be marked at the surface and located. Depth of utilities may prohibit their location even with electric connectivity.
- TO: Microsoft Corporation, a Washington corporation
First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 19, 20(a) and 20(b) of Table A thereof. The field work was completed on December 18, 2023.

Date of Map: January 19, 2024



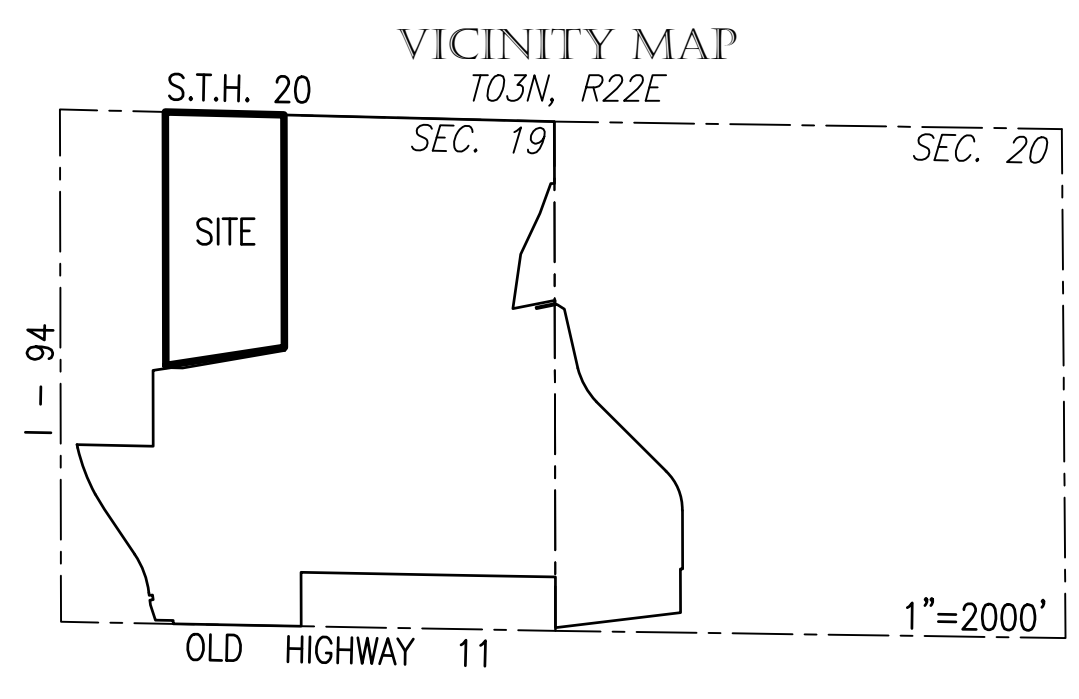
John P. Konopacki
Professional Land Surveyor
Registration Number S-2461

Date	Revision description	
Apr. 8, 2024	Proforma and comments	lpm

CHAPUT LAND SURVEYS

234 W. Florida Street
Milwaukee, WI 53204
414-224-8068
www.chaputlandsurveys.com

This document is an instrument of professional service, and may be protected by the surveyors work product doctrine or surveyor/ client privilege. The information shown hereon is intended solely for the use of the client and client directed third parties. Chaput Land Surveys is a division of Pinade Engineering Group.
DRAFTED BY: lps Drawing No. 4404.10

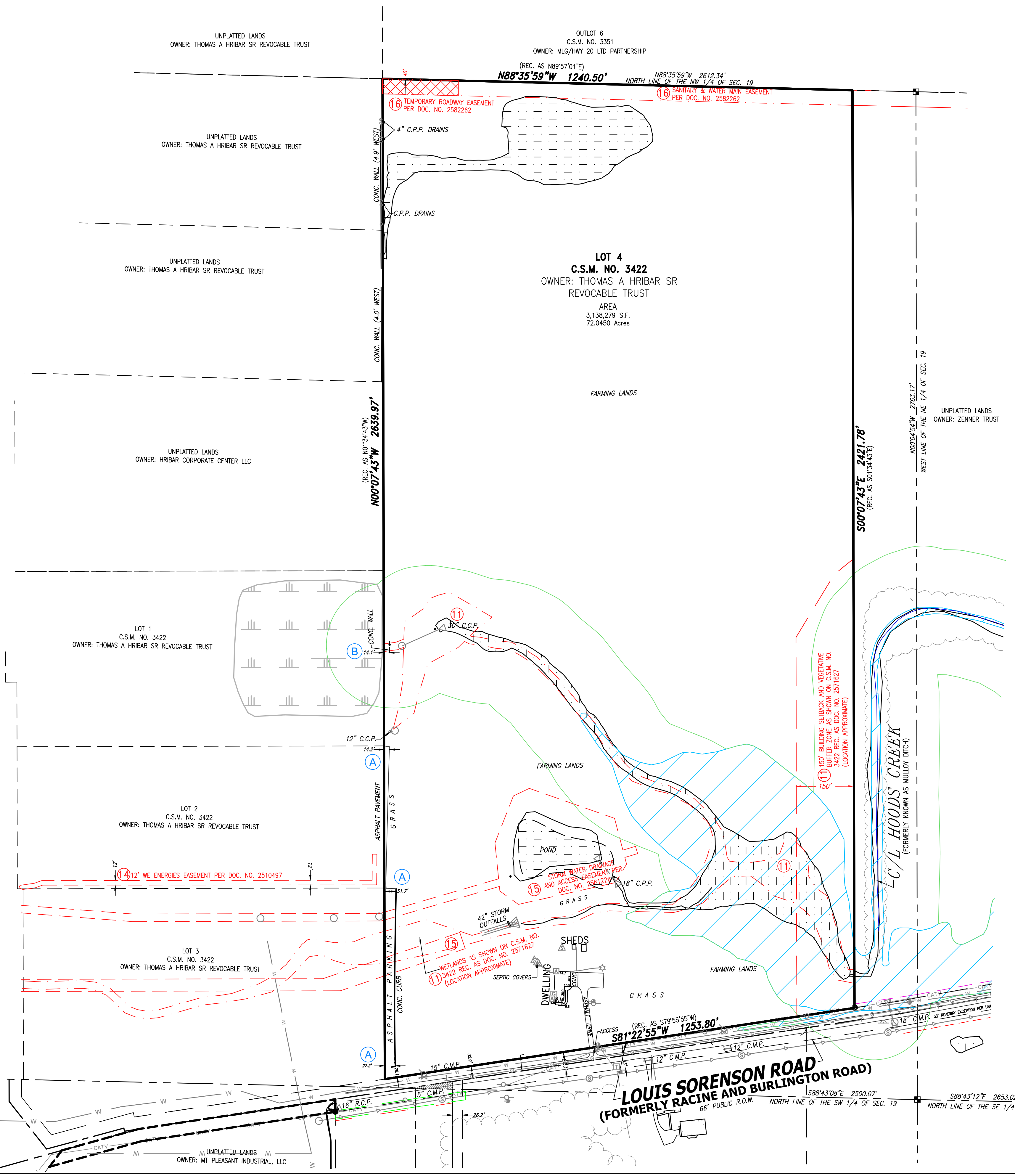
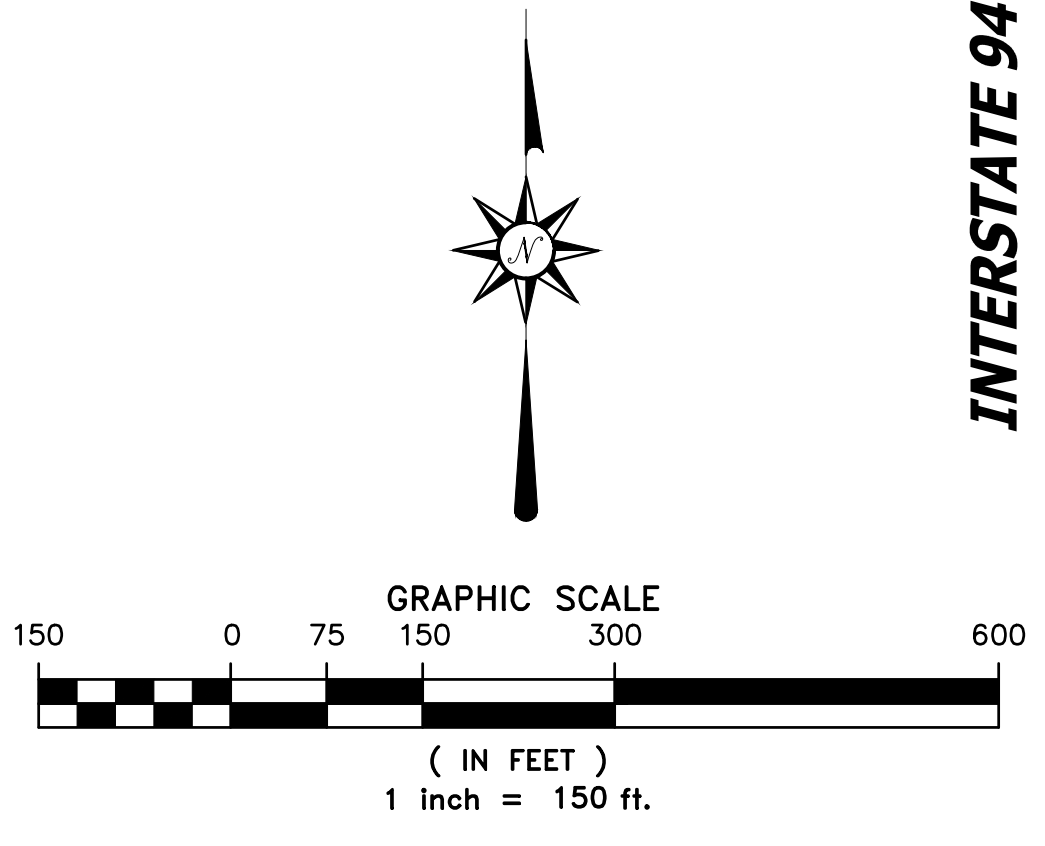
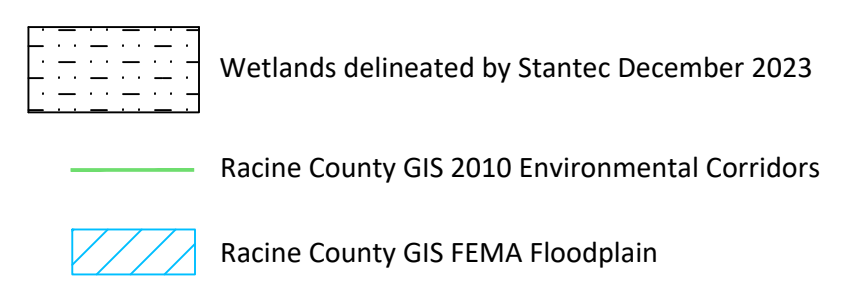


LEGEND

Sanitary Manhole	Fiber Optic Marker	Sign
Storm Manhole	Fiber Optic Manhole/Vault	Mail Box
Septic Mound Vent	Telephone Pedestal	Flag Pole
Septic Cover	Telephone Manhole/Vault	Basketball Hoop
Sanitary Cleanout or Vent	Telephone Marker	Bollard
Curb Inlet	Transformer	Cross Cut
Storm Inlet	Electric Meter/Pedestal	Iron Pipe
Catch Basin	Electric Manhole/Vault	Iron Rebar/Rod
Lateral	Cable TV Riser/Box Cable	Mag Nail
Unknown Manhole	TV Manhole/Vault	Section Monument
Drain Tile	Gas Valve	Bench Mark
Well	Gas Meter	Conifer Tree
Hydrant	Gas Marker	Deciduous Tree
Water Valve	Air Conditioning Unit	Bush
Down Spout	Vent	Wetland Symbol
Sprinkler Valve	Utility Pole	Directional Arrow
Water Shut Off	Guy Wire	CL = CENTERLINE
Standpipe	Dumpster	CONC. = CONCRETE
Water Manhole	Handicap Stall	EL = ELEVATION
Light Pole	Spot Elevation	EXT. = EXISTING
	Sanitary Sewer	INV. = INVERT
	Storm Sewer	MON = MONUMENT
	Water Main	P.O.B. = POINT OF BEGINNING
	Fiber Optic Line	P.O.C. = POINT OF COMMENCEMENT
	Telephone Line	R.O.W. = RIGHT OF WAY
	Electric Line	SEC. = SECTION
	Overhead Wires	SQ. FT. = SQUARE FEET
	Cable Television	W/ = WITH
	Gas Main	(R) = RECORDED AS
	Wetlands	(D) = DEEDED AS
	Tree Line	
	No Access	

ENCROACHMENT TABLE

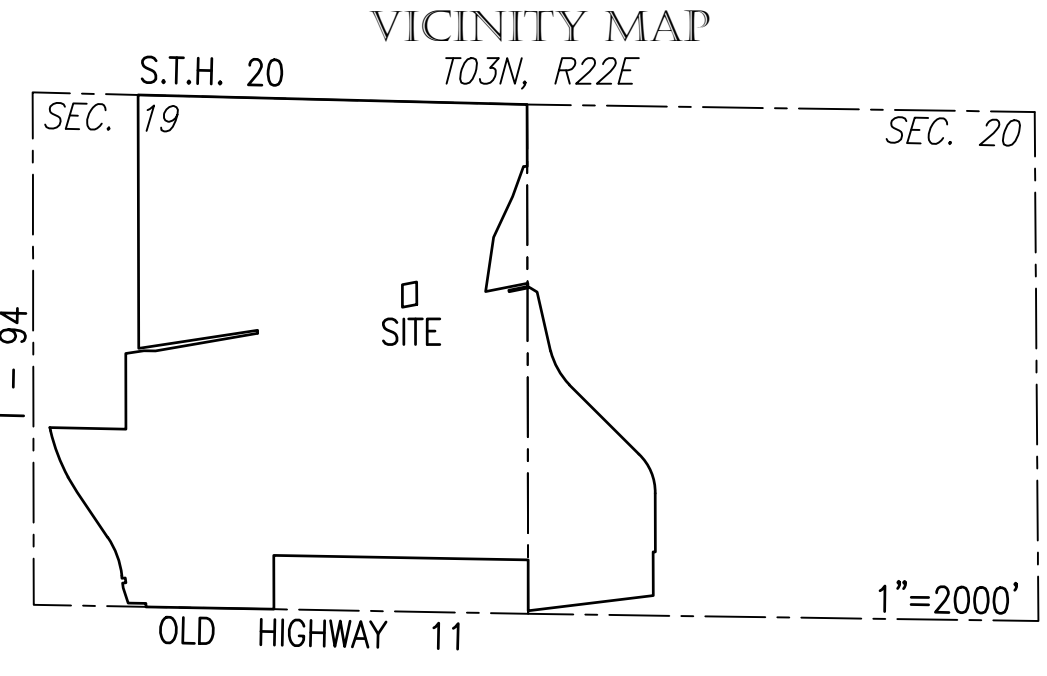
A	ASPHALT PARKING AND CONC. EXTENDS WEST OF PROPERTY LINE
B	CONC. WALL EXTENDS WEST OF PROPERTY LINE



INTERSTATE 94 (S.T.H. 41)

ALTA/NSPS LAND TITLE SURVEY

CHAPUT LAND SURVEYS



LOT 1
C.S.M. NO. 2784
OWNER: RANDALL L. BORGART ET. AL

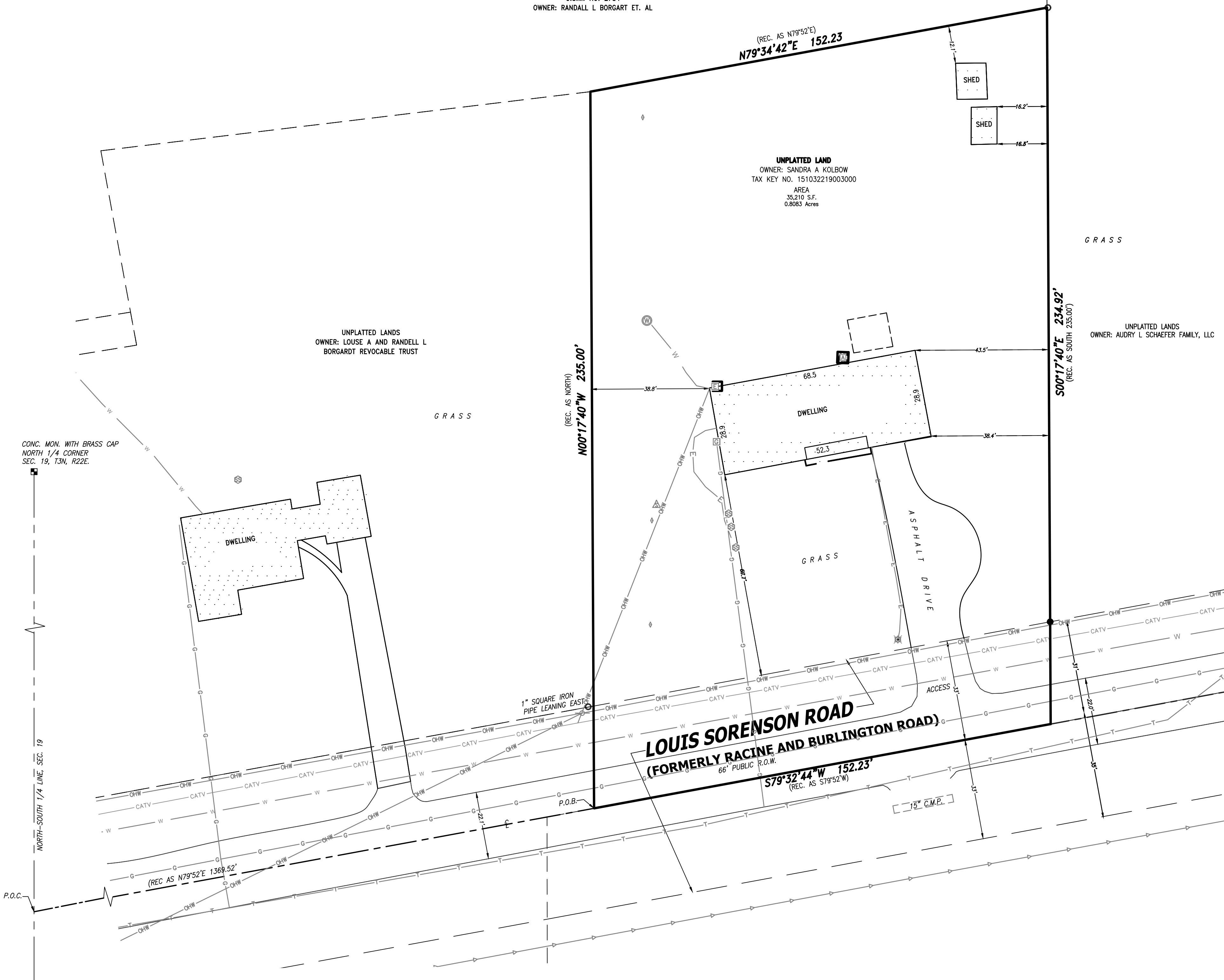
(REC. AS N79°52'E)
N79°34'42"E 152.23

UNPLATTED LAND
OWNER: SANDRA A. KOLBOW
TAX KEY NO. 151032219003000
AREA
35,210 S.F.
0.8083 Acres

UNPLATTED LANDS
OWNER: LOUISE A AND RANDELL L. BORGART REVOCABLE TRUST

UNPLATTED LANDS
OWNER: AUDRY L. SCHAEFER FAMILY, LLC

CONC. MON. WITH BRASS CAP
NORTH 1/4 CORNER
SEC. 19, T3N, R22E.



LEGEND

- | | | | |
|---|---------------------------|---|-------------------------------|
| ⊙ | SANITARY MANHOLE | △ | FIBER OPTIC MARKER |
| ⊙ | STORM MANHOLE | ⊙ | FIBER OPTIC MANHOLE/VAULT |
| ⊙ | SEPTIC MOUND VENT | ⊞ | TELEPHONE PEDESTAL |
| ⊙ | SEPTIC COVER | ⊙ | TELEPHONE MANHOLE/VAULT |
| ⊙ | SANITARY CLEANOUT OR VENT | ⊙ | TELEPHONE MARKER |
| ⊞ | CURB INLET | ⊞ | TRANSFORMER |
| ⊞ | STORM INLET | ⊞ | ELECTRIC METER/PEDESTAL |
| ⊞ | CATCH BASIN | ⊞ | ELECTRIC MANHOLE/VAULT |
| ⊞ | LATERAL | ⊞ | CABLE TV RISER/BOX CABLE |
| ⊞ | UNKNOWN MANHOLE | ⊞ | TV MANHOLE/VAULT |
| ⊞ | DRAIN TILE | ⊞ | GAS VALVE |
| ⊞ | WELL | ⊞ | GAS METER |
| ⊞ | HYDRANT | ⊞ | GAS MARKER |
| ⊞ | WATER VALVE | ⊞ | AIR CONDITIONING UNIT |
| ⊞ | DOWN SPOUT | ⊞ | VENT |
| ⊞ | SPRINKLER VALVE | ⊞ | UTILITY POLE |
| ⊞ | WATER SHUT OFF | ⊞ | GUY WIRE |
| ⊞ | STANDPIPE | ⊞ | DUMPSTER |
| ⊞ | WATER MANHOLE | ⊞ | HANDICAP STALL |
| ⊞ | LIGHT POLE | ⊞ | SPOT ELEVATION |
| ⊞ | SIGN | ⊞ | =CENTERLINE |
| ⊞ | MAIL BOX | ⊞ | CONC. =CONCRETE |
| ⊞ | FLAG POLE | ⊞ | EL. =ELEVATION |
| ⊞ | BASKETBALL HOOP | ⊞ | EXT. =EXISTING |
| ⊞ | BOLLARD | ⊞ | INV. =INVERT |
| ⊞ | CROSS CUT | ⊞ | MON.=MONUMENT |
| ⊞ | IRON PIPE | ⊞ | P.O.B. =POINT OF BEGINNING |
| ⊞ | IRON REBAR/ROD | ⊞ | P.O.C. =POINT OF COMMENCEMENT |
| ⊞ | MAG NAIL | ⊞ | R.O.W. =RIGHT OF WAY |
| ⊞ | SECTION MONUMENT | ⊞ | SEC.=SECTION |
| ⊞ | BENCH MARK | ⊞ | SQ. FT. =SQUARE FEET |
| ⊞ | CONIFER TREE | ⊞ | W/ =WITH |
| ⊞ | DECIDUOUS TREE | ⊞ | (R) =RECORDED AS |
| ⊞ | BUSH | ⊞ | (D) =DEEDED AS |
| ⊞ | WETLAND SYMBOL | | |
| ⊞ | DIRECTIONAL ARROW | | |
-
- | | |
|---|------------------|
| — | SANITARY SEWER |
| — | STORM SEWER |
| — | WATER MAIN |
| — | FIBER OPTIC LINE |
| — | TELEPHONE LINE |
| — | ELECTRIC LINE |
| — | OVERHEAD WIRES |
| — | CABLE TELEVISION |
| — | GAS MAIN |
| — | WETLANDS |
| — | TREE LINE |
| — | NO ACCESS |

CLIENT
Dewberry

SITE ADDRESS
12600 Louis Sorenson Road, Village of Mt. Pleasant, Racine County, Wisconsin

LEGAL DESCRIPTION
That part of the South 1/2 of the Northeast 1/4 of Section 19, Township 3 North, Range 22 East, Village of Mt. Pleasant, County of Racine, State of Wisconsin, described as follows: commence at the intersection of the North and South 1/4 line of said Section 19 and the center line of the Louis Sorenson Road as now laid out; run thence North 79°52' East 1369.52 feet along the center line of said Louis Sorenson Road to the point of beginning of this description; run thence North 235.00 feet; thence North 79°52' East 152.23 feet; thence South 235.00 feet to the center of said Louis Sorenson Road; thence South 79°52' West 152.23 feet along the center of said Louis Sorenson Road to the point of beginning of this description.

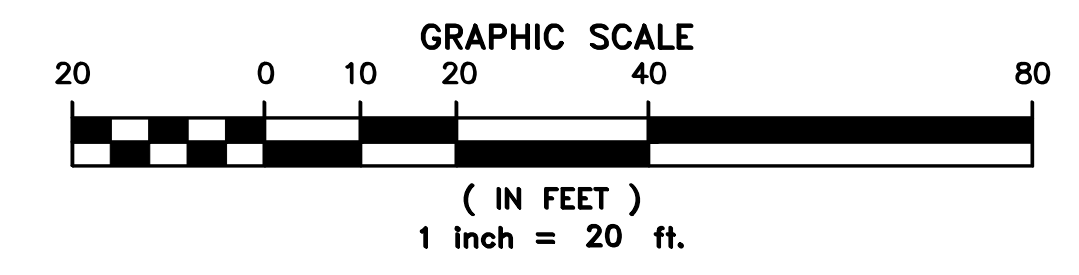
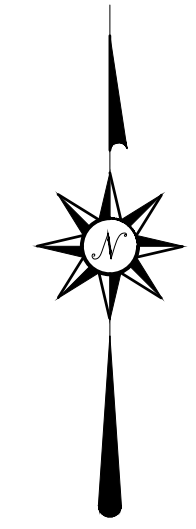
BASIS OF BEARINGS
Bearings are referenced to the Racine County Coordinate System(2011), in which the South line of the Southwest 1/4 of Section 29 bears N89°33'36"W.

TITLE COMMITMENT
This survey was prepared based on First American Title Insurance Company Commitment No. NCS-1195282-MKE effective date of May 14, 2024 (Revision 2 May 21, 2024) which lists the following easements and/or restrictions from schedule B-II:

- 1, 2, 3, 5, 10, 15 & 18 visible evidence shown.
4, 6, 7, 8, 9, 12, 13, 14, 16 & 17 not survey related.
11. Order Adding Lands to Mt. Pleasant Storm Water Drainage District No. 1 recorded on May 28, 1996 in Volume 2539, Page 429 as Document No. 1540010; and assessments, fees and/or charges, if any levied by said district. None due and delinquent as of Date of Policy. **Affects property by location, blanket statement.**

TABLE "A" ITEMS

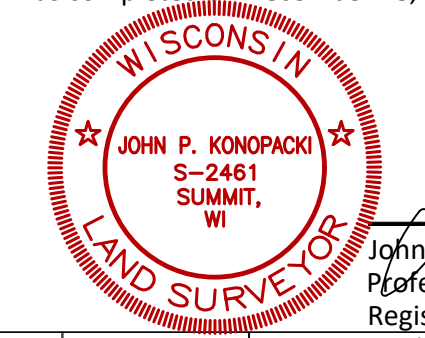
3. According to the flood insurance rate map of the County of Racine, Community Panel No. 55101C0204D, effective date of May 2, 2012, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).
4. The Land Area of the subject property is 35,210 square feet or 0.8083 acres.
- 6(b). A zoning report has not been provided.
9. There are 0 regular parking spaces and 0 handicap space marked on this site.
- 11(b). Evidence of underground utilities existing on or serving the surveyed property as determined by markings requested by the surveyor pursuant to a Diggers Hotline One-call center utility locate. Ticket Number 20235205998 & 20235205996 However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. Client understands only utility lines with imbedded electric tracer wires or utilities made of materials capable of electric connectivity can be marked at the surface and located. Depth of utilities may prohibit their location even with electric connectivity.



TO: Microsoft Corporation, a Washington corporation
First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 19, 20(a) and 20(b) of Table A thereof. The field work was completed on December 18, 2023.

Date of Map: January 19, 2024



John P. Konopacki
Professional Land Surveyor
Registration Number S-2481

CHAPUT
LAND SURVEYS

Date	Revision description	
Apr. 23, 2024	Proforma and comments	lpm
May 28, 2024	Updated title commitment	lpm

This document is an instrument of professional service, and may be protected by the surveyor's work product doctrine or surveyor's client privilege. The information shown hereon is intended solely for the use of the client and client directed third parties. Chaput Land Surveys is a division of Peninsula Engineering Group. DRAFTED BY: lpm
234 W. Florida Street Milwaukee, WI 53204 414-224-8068 www.chaputlandsurveys.com Drawing No. 4404.10

ALTA/NSPS LAND TITLE SURVEY

CLIENT: Dewberry
 SITE ADDRESS: 2635 East Frontage Road, Village of Mt. Pleasant, Racine County, Wisconsin

LEGAL DESCRIPTION
 LOT 1 OF CERTIFIED SURVEY MAP NO. 1205, RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR RACINE COUNTY, WISCONSIN ON FEBRUARY 12, 1987 IN VOLUME 3 OF CERTIFIED SURVEY MAPS, PAGE 523, AS DOCUMENT NO. 1219679, SAID CERTIFIED SURVEY MAP BEING A PART OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 AND PART OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 19, TOWNSHIP 3 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN. SAID LAND BEING IN THE VILLAGE OF MT. PLEASANT, COUNTY OF RACINE, STATE OF WISCONSIN. EXCEPTING ALL THAT CERTAIN TRACT, PIECE OR PARCEL OF LAND CONVEYED IN WARRANTY DEED RECORDED NOVEMBER 04, 2010 AS DOCUMENT NO. 2267192.

BASIS OF BEARINGS
 Bearings are referenced to the Racine County Coordinate System(2011), in which the South line of the Southwest 1/4 of Section 29 bears N89°33'36"W.

TITLE COMMITMENT
 This survey was prepared based on First American Title Insurance Company Commitment No. NCS-1192270-MKE effective date of September 19, 2023 which lists the following easements and/or restrictions from schedule B-II:

- 1, 2, 3 & 9 visible evidence shown.
- 4, 5, 6, 7, 8, 22 & 23 not survey related.
10. Easements, dedications, reservations, provisions, relinquishments, recitals, certificates, and any other matters as provided for or delineated on Certified Survey Map No. 1205 recorded February 12, 1987 in Volume 3, Page 523 as Document No. 1219679 referenced in the legal description contained herein. Reference is hereby made to said plat for particulars. **No Easements shown.**
11. Utility Easement to Wisconsin Electric Power Company, dated July 18, 1985, recorded/filed September 11, 1985 in Volume 1766, Page 752 as Document No. 1176978. **Affects property by location, shown.**
12. Conveyance of Rights in Land recorded on March 11, 2013 as Document No. 2346301. **General in nature.** Quit Claim Deed by Utility recorded on January 25, 2018 as Document No. 2485199. **General in nature.**
13. Utility Easement to Wisconsin Electric Power Company and Wisconsin Bell, Inc., dated March 06, 1993, recorded/filed March 30, 1993 in Volume 2236, Page 804 as Document No. 1411769. Conveyance of Rights in Land recorded on March 11, 2013 as Document Nos. 2346301 and 2346302. Quit Claim Deed by Utility recorded on January 23, 2018 as Document No. 2484979. **Does not affect property by location, not shown.**
14. Order adding Lands to Mt. Pleasant Storm Water Drainage District No. 1 recorded May 28, 1996 in Volume 2539, Page 429 as Document No. 1540010. **Affects property by location, general in nature.**
15. Project No. 1032-07-06 recorded February 05, 1999 in Volume 2876, Page 615 as Document No. 1669177. **Affects property by location, general in nature.**
16. Notice and Order Establishing Locations and Right-of-Way Widths for Future Freeways or Expressways recorded on February 05, 1999 in Volume 2876, Page 621 as Document No. 1669178. **Affects property by location, general in nature.**
17. Holding Tank Agreement upon the terms, conditions and provisions contained therein: Dated: April 06, 1999 Parties: Richard and Janice Fonk Recorded: April 16, 1999 in Volume 2904, Page 378 Instrument No.: 1679816 **Affects property by location, shown.**
18. Terms, conditions, restrictions and provisions relating to the use and maintenance of the Grant of Permanent Driveway Easement recorded on May 06, 1999 in Volume 2911, Page 805, as Document No. 1682657. **Affects property by location, shown.**
19. Matters as set forth in Transportation Project Plat No. 1030-24-20-4.04 recorded January 27, 2010 as Document No. 2240909. **Affects property by location, shown.**
20. Access restrictions as set forth in Warranty Deed recorded November 4, 2010 as Document No. 2267192 **Affects property by location, shown.**
21. Utility Easement to Wisconsin Electric Power Company, a Wisconsin corporation doing business as We Energies, Charter Communications Operating, LLC and Wisconsin Bell, Inc. doing business as AT&T Wisconsin, a Wisconsin corporation, dated December 13, 2017, recorded/filed July 24, 2018 as Document No. 2499320. **Affects property by location, shown.**
22. An option in favor of Dickman Land Acquisition I, LLC as contained in or disclosed by a document recorded September 08, 2023 as Document No. 2661995 of Official Records. **Affects property by location, general in nature.**

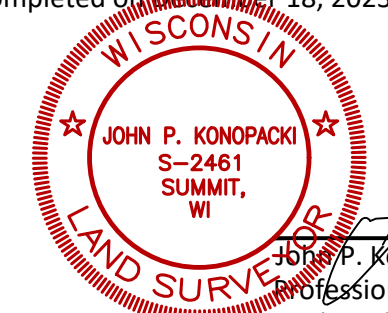
TABLE "A" ITEMS

3. According to the flood insurance rate map of the County of Racine, Community Panel No. 55101C0204D, effective date of May 2, 2012, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).
4. The Land Area of the subject property is 379,444 square feet or 8.7108 acres.
- 6(b). A zoning report has not been provided.
9. There are 0 regular parking spaces and 0 handicap space marked on this site.
- 11(b). Evidence of underground utilities existing on or serving the surveyed property as determined by markings requested by the surveyor pursuant to a Diggers Hotline One-call center utility locate. Ticket Number 20235205947 and 20235205945. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. Client understands only utility lines with imbedded electric tracer wires or utilities made of materials capable of electric connectivity can be marked at the surface and located. Depth of utilities may prohibit their location even with electric connectivity.

TO: Microsoft Corporation, a Washington corporation
 Dickman Land Acquisition I, LLC
 First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 19, 20(a) and 20(b) of Table A thereof. The field work was completed on ~~December 18, 2023~~.

Date of Map: January 19, 2024



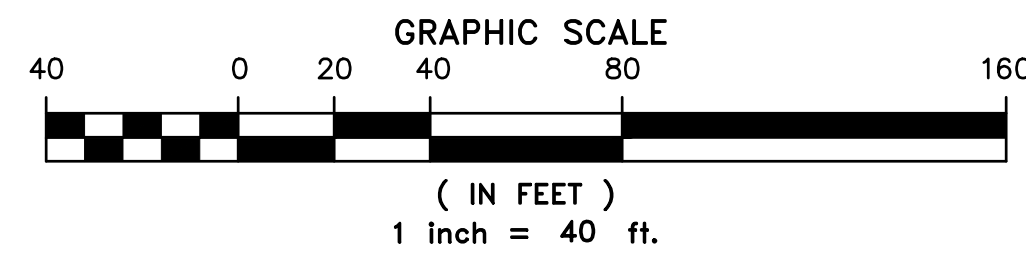
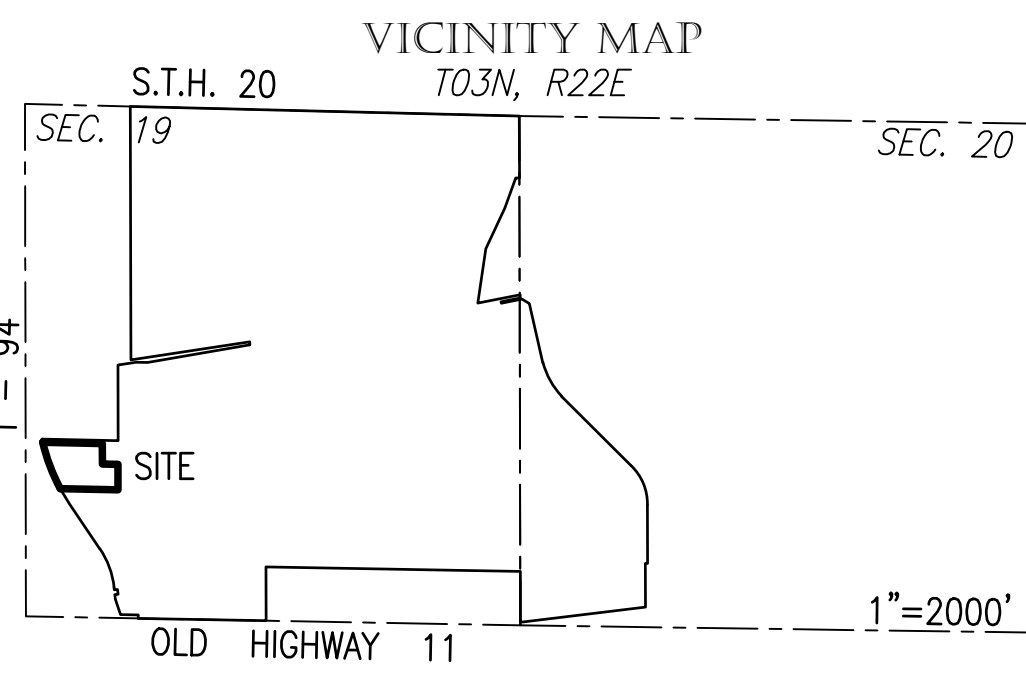
John P. Konopacki
 Professional Land Surveyor
 Registration Number S-2461

Date	Revision description	lpm
Apr 4, 2024	Comments	

CHAPUT LAND SURVEYS

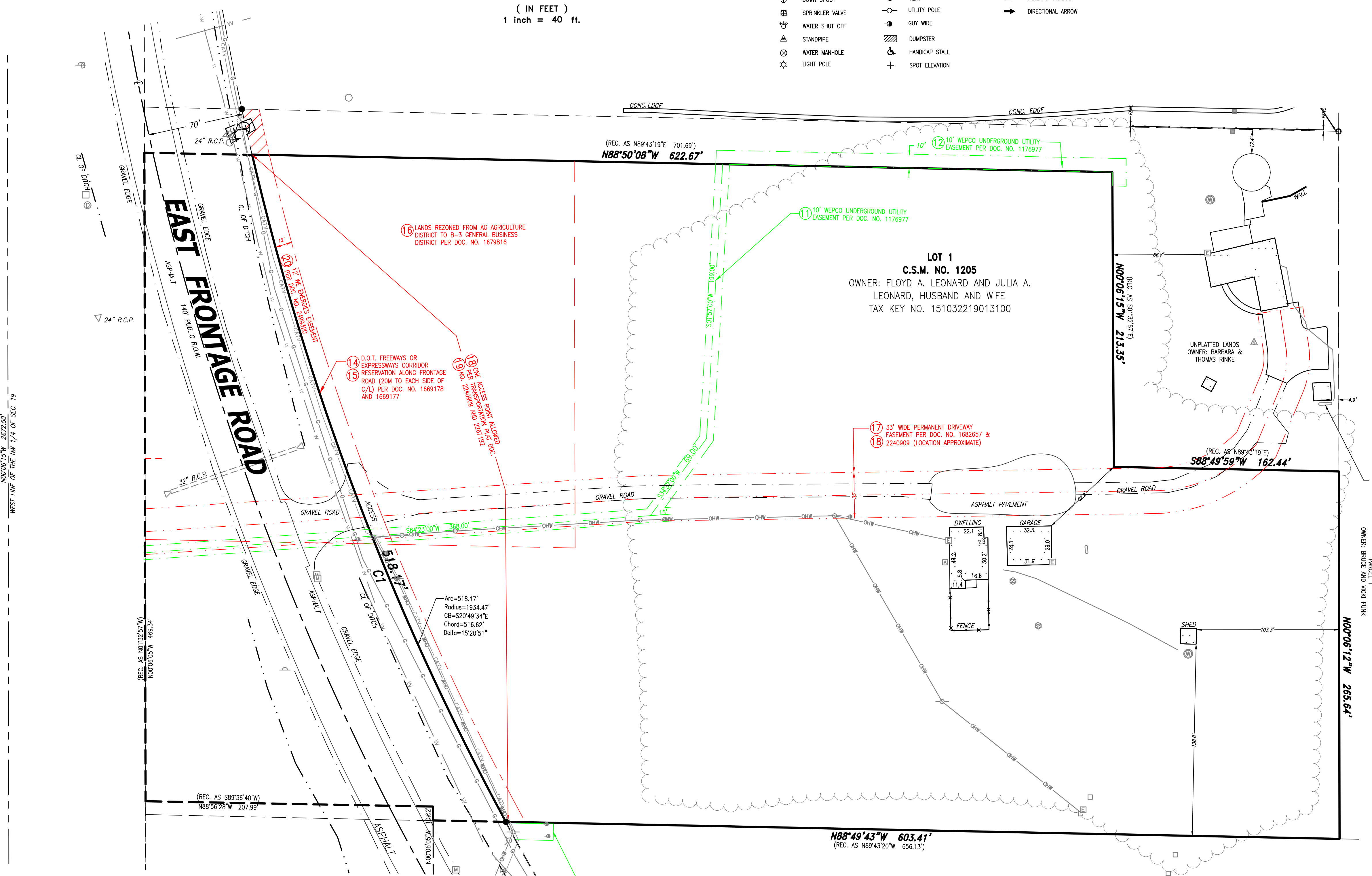
234 W. Florida Street Milwaukee, WI 53204 414-224-8068 www.chaputlandsurveys.com

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LEGEND

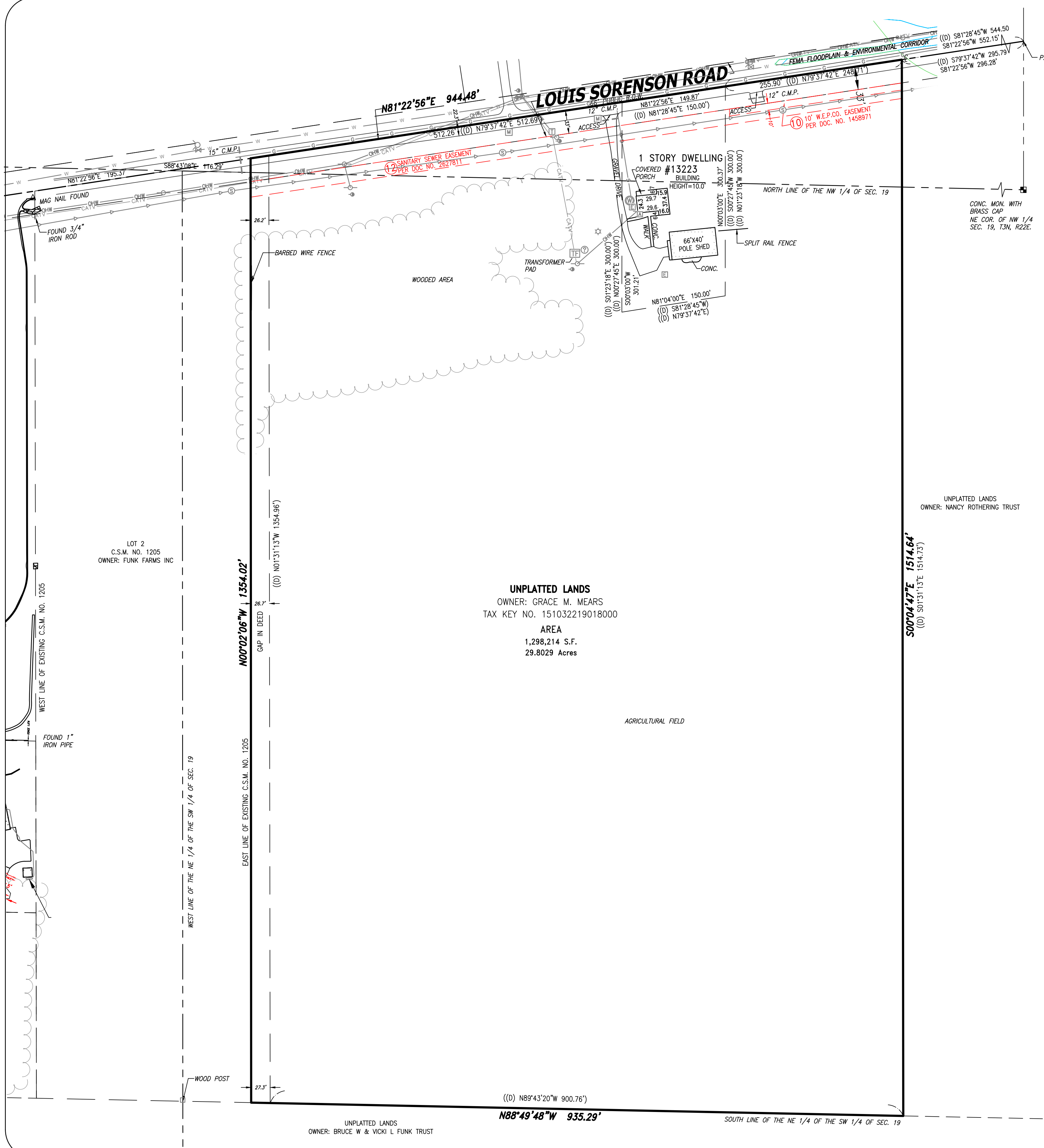
- | | | | | |
|--|---|---|--|--|
| <ul style="list-style-type: none"> ⊙ SANITARY MANHOLE ⊙ STORM MANHOLE ⊙ SEPTIC MOUND VENT ⊙ SEPTIC COVER ⊙ SANITARY CLEANOUT OR VENT ⊙ CURB INLET ⊙ STORM INLET ⊙ CATCH BASIN ⊙ LATERAL ⊙ UNKNOWN MANHOLE ⊙ DRAIN TILE ⊙ WELL ⊙ HYDRANT ⊙ WATER VALVE ⊙ DOWN SPOUT ⊙ SPRINKLER VALVE ⊙ WATER SHUT OFF ⊙ STANDPIPE ⊙ WATER MANHOLE ⊙ LIGHT POLE | <ul style="list-style-type: none"> ⊙ FIBER OPTIC MANHOLE/Vault ⊙ TELEPHONE PEDESTAL ⊙ TELEPHONE MANHOLE/Vault ⊙ TELEPHONE MARKER ⊙ TRANSFORMER ⊙ ELECTRIC METER/PEDESTAL ⊙ ELECTRIC MANHOLE/Vault ⊙ CABLE TV RISER/BOX CABLE ⊙ TV MANHOLE/Vault ⊙ GAS VALVE ⊙ GAS METER ⊙ GAS MARKER ⊙ AIR CONDITIONING UNIT ⊙ VENT ⊙ UTILITY POLE ⊙ GUY WIRE ⊙ DUMPSTER ⊙ HANDICAP STALL ⊙ SPOT ELEVATION | <ul style="list-style-type: none"> ⊙ FIBER OPTIC MARKER ⊙ MAIL BOX ⊙ FLAG POLE ⊙ BASKETBALL HOOP ⊙ CROSS CUT ⊙ IRON PIPE ⊙ IRON REBAR/ROD ⊙ MAG NAIL ⊙ SECTION MONUMENT ⊙ BENCH MARK ⊙ CONIFER TREE ⊙ DECIDUOUS TREE ⊙ BUSH ⊙ WETLAND SYMBOL ⊙ DIRECTIONAL ARROW | <ul style="list-style-type: none"> — SANITARY SEWER — STORM SEWER — WATER MAIN — FIBER OPTIC LINE — TELEPHONE LINE — ELECTRIC LINE — OVERHEAD WIRES — CATV — GAS MAIN — WETLANDS — TREE LINE — NO ACCESS | <ul style="list-style-type: none"> CL. = CENTERLINE CONC. = CONCRETE EL. = ELEVATION EXT. = EXISTING INV. = INVERT MON. = MONUMENT P.O.B. = POINT OF BEGINNING P.O.C. = POINT OF COMMENCEMENT R.O.W. = RIGHT OF WAY SEC. = SECTION SQ. FT. = SQUARE FEET W/ = WITH (R) = RECORDED AS (D) = DEEDED AS |
|--|---|---|--|--|



CHAPUT LAND SURVEYS

ALTA/NSPS LAND TITLE SURVEY

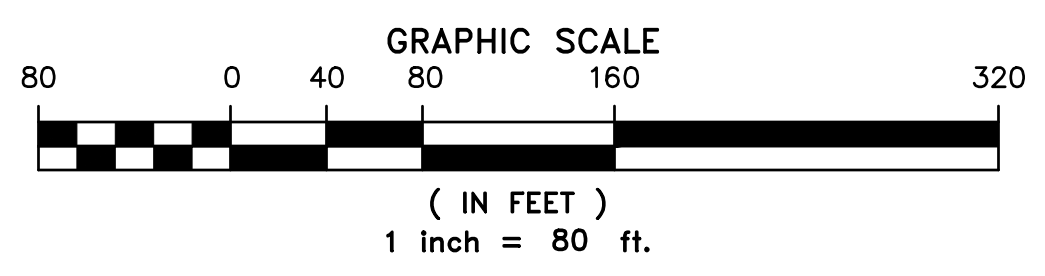
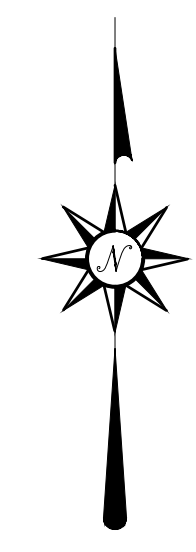
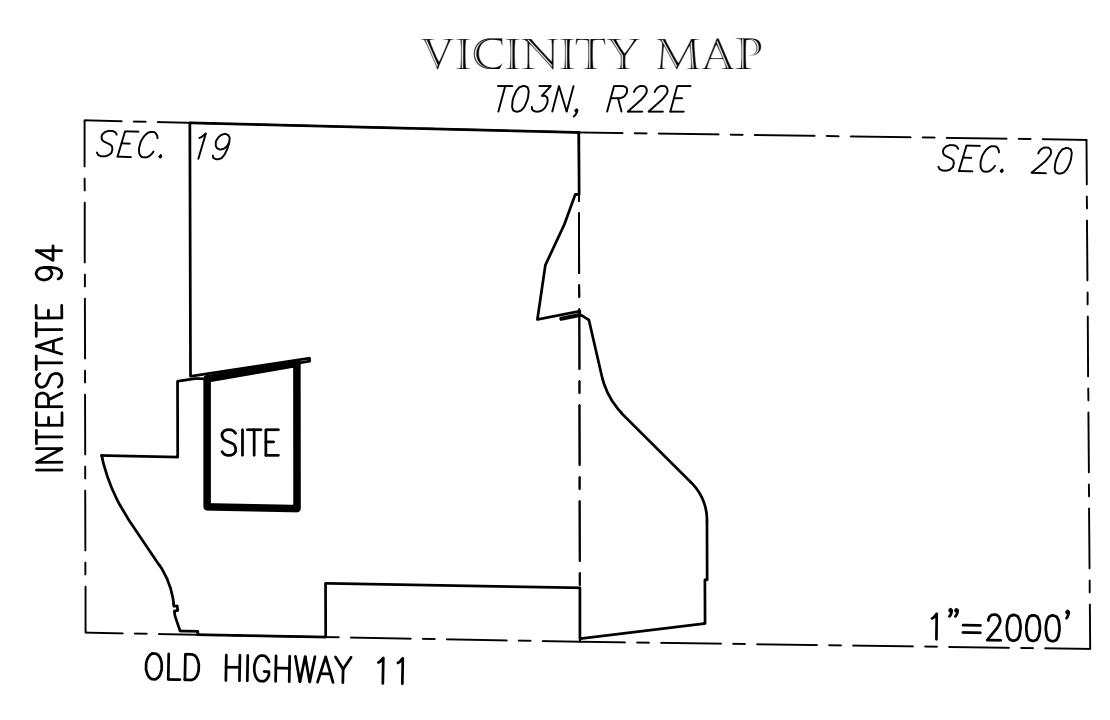
CHAPUT LAND SURVEYS



LEGEND

⊙	SANITARY MANHOLE	⊙	FIBER OPTIC MARKER	⊖	SIGN
⊕	STORM MANHOLE	⊙	FIBER OPTIC MANHOLE/VAULT	⊠	MAIL BOX
⊕	SEPTIC MOUND VENT	⊠	TELEPHONE PEDESTAL	⊠	FLAG POLE
⊕	SEPTIC COVER	⊕	TELEPHONE MANHOLE/VAULT	⊕	BASKETBALL HOOP
⊕	SANITARY CLEANOUT OR VENT	⊕	TELEPHONE MARKER	⊕	BOLLARD
⊕	CURB INLET	⊠	TRANSFORMER	⊕	CROSS CUT
⊕	STORM INLET	⊕	ELECTRIC METER/PEDESTAL	⊕	IRON PIPE
⊕	CATCH BASIN	⊕	ELECTRIC MANHOLE/VAULT	⊕	IRON REBAR/ROD
⊕	LATERAL	⊕	CABLE TV RISER/BOX CABLE	⊕	MAG NAIL
⊕	UNKNOWN MANHOLE	⊕	TV MANHOLE/VAULT	⊕	SECTION MONUMENT
⊕	DRAIN TILE	⊕	GAS VALVE	⊕	BENCH MARK
⊕	WELL	⊕	GAS METER	⊕	CONIFER TREE
⊕	HYDRANT	⊕	GAS MARKER	⊕	DECIDUOUS TREE
⊕	WATER VALVE	⊕	AIR CONDITIONING UNIT	⊕	BUSH
⊕	DOWN SPOUT	⊕	VENT	⊕	WETLAND SYMBOL
⊕	SPRINKLER VALVE	⊕	UTILITY POLE	⊕	DIRECTIONAL ARROW
⊕	WATER SHUT OFF	⊕	GUY WIRE	CL	=CENTERLINE
⊕	STANDPIPE	⊕	DUMPSTER	CONC.	=CONCRETE
⊕	WATER MANHOLE	⊕	HANDICAP STALL	EL	=ELEVATION
⊕	LIGHT POLE	⊕	SPOT ELEVATION	EXT.	=EXISTING
—	SANITARY SEWER	—	MON.=MONUMENT	INV.	=INVERT
—	STORM SEWER	P.O.B.	=POINT OF BEGINNING	MON.	=MONUMENT
—	WATER MAIN	P.O.C.	=POINT OF COMMENCEMENT	P.O.B.	=POINT OF BEGINNING
—	FIBER OPTIC LINE	R.O.W.	=RIGHT OF WAY	P.O.C.	=POINT OF COMMENCEMENT
—	TELEPHONE LINE	SEC.	=SECTION	R.O.W.	=RIGHT OF WAY
—	ELECTRIC LINE	SQ. FT.	=SQUARE FEET	SEC.	=SECTION
—	OVERHEAD WIRES	W/	=WITH	SQ. FT.	=SQUARE FEET
—	CABLE TELEVISION	(R)	=RECORDED AS	W/	=WITH
—	GAS MAIN	(D)	=DEDDED AS	(R)	=RECORDED AS
—	WETLANDS			(D)	=DEDDED AS
—	TREE LINE				
—	NO ACCESS				

— Racine County GIS 2010 Environmental Corridors
 — Racine County GIS FEMA Floodplain



CLIENT
Dewberry

SITE ADDRESS
13223 Louis Sorenson Road, Village of Sturtevant, Racine County, Wisconsin

LEGAL DESCRIPTION
That part of the West 1/2 of Section 19, Township 3 North, Range 22 East, described as follows: Commence at the point of intersection of the North and South 1/4 Section line of said Section 19 and the center line of the Sorenson Road, as now laid out; run thence South 81° 28' 45" West 544.50 along the center line of said Sorenson Road to the point of beginning of this description; run thence South 00° 27' 45" West 300.00 feet; thence South 81° 28' 45" West 150.00 feet parallel to the center line of said Sorenson Road; thence North 00° 27' 45" East 300.00 feet to the center line of said Sorenson Road; thence North 81° 28' 45" East 150.00 feet along the center line of said Sorenson Road to the point of beginning of this description. Said land being in the Village of Mt. Pleasant, County of Racine, State of Wisconsin.

ALSO
That part of the Southwest 1/4, and the Northwest 1/4 of Section 19, Township 3 North, Range 22 East in the Village of Mt. Pleasant, Racine County, Wisconsin, described as follows: Begin at a point on the North-South 1/4 line of said Section 19 located South 01°31'12" East 2424.35 feet from the North 1/4 corner of said Section and a point on the centerline of Louis Sorenson Road as laid out; thence South 79°37'42" West 295.79 feet along said centerline to the point of beginning of this description; run thence South 01°31'31" East 1514.73 feet to the South line of the Northeast 1/4 of the Southwest 1/4; thence South 89°43'20" West 900.76 feet along said South line; thence North 01°31'13" West 1354.96 feet to the centerline of Louis Sorenson Road as laid out; thence North 79°37'42" East 512.69 feet along said centerline; thence South 01°23'18" East 300.00 feet; thence North 79°37'42" East 150.00 feet, thence North 01°23'18" West 300.00 feet to the centerline of Louis Sorenson Road; thence North 79°37'42" East 248.71 feet along said centerline to the point of beginning.

BASIS OF BEARINGS
Bearings are referenced to the Racine County Coordinate System(2011), in which the South line of the Southwest 1/4 of Section 29 bears N89°33'36"W.

TITLE COMMITMENT
This survey was prepared based on First American Title Insurance Company Commitment No. NCS-1185344-WA1, effective date of March 7, 2024 (Revision 2 March 14, 2024) which lists the following easements and/or restrictions from schedule B-II:

- 1, 2, 3, 5, 9, 15, 19 & 20 visible evidence shown.
- 4, 6, 7, 8, 13, 14, 16 & 18 not survey related.
10. Utility Easement to Wisconsin Electric Power Company, dated March 11, 1994, recorded/filed March 18, 1994 in Volume 2355, Page 43 as Document No. 1458971. **Affects property by location, shown.**
11. Order Adding Lands to Mt. Pleasant Storm Water Drainage District No. 1 recorded May 28, 1996 in Volume 2539, Page 429 as Document No. 1540010. **Affects property by location, blanket statement.**
12. Easement Agreement Sanitary Sewer Install by and between Robert E. & Grace M. Mears and Village of Mount Pleasant, Racine County, Wisconsin, a municipal corporation recorded May 02, 2022 as Document No. 2627811. **Affects property by location, shown.**

TABLE "A" ITEMS

3. According to the flood insurance rate map of the County of Racine, Community Panel No. 55101C0204D, effective date of May 2, 2012, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).
4. The Land Area of the subject property is 1,298,214 square feet or 29.8029 acres.
- 6(b). A zoning report has not been provided.
9. There are 0 parking spaces marked on this site.
- 11(b). Evidence of underground utilities existing on or serving the surveyed property as determined by markings requested by the surveyor pursuant to a Diggers Hotline One-call center utility locate. Ticket Number 20235205973 and 20235205976. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. Client understands only utility lines with imbedded electric tracer wires or utilities made of materials capable of electric connectivity can be marked at the surface and located. Depth of utilities may prohibit their location even with electric connectivity.

TO: Microsoft Corporation, a Washington corporation
First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 19, 20(a) and 20(b) of Table A thereof. The field work was completed on December 18, 2023.

Date of Map: January 16, 2024

John P. Konopacki
Professional Land Surveyor
Registration Number S-2461

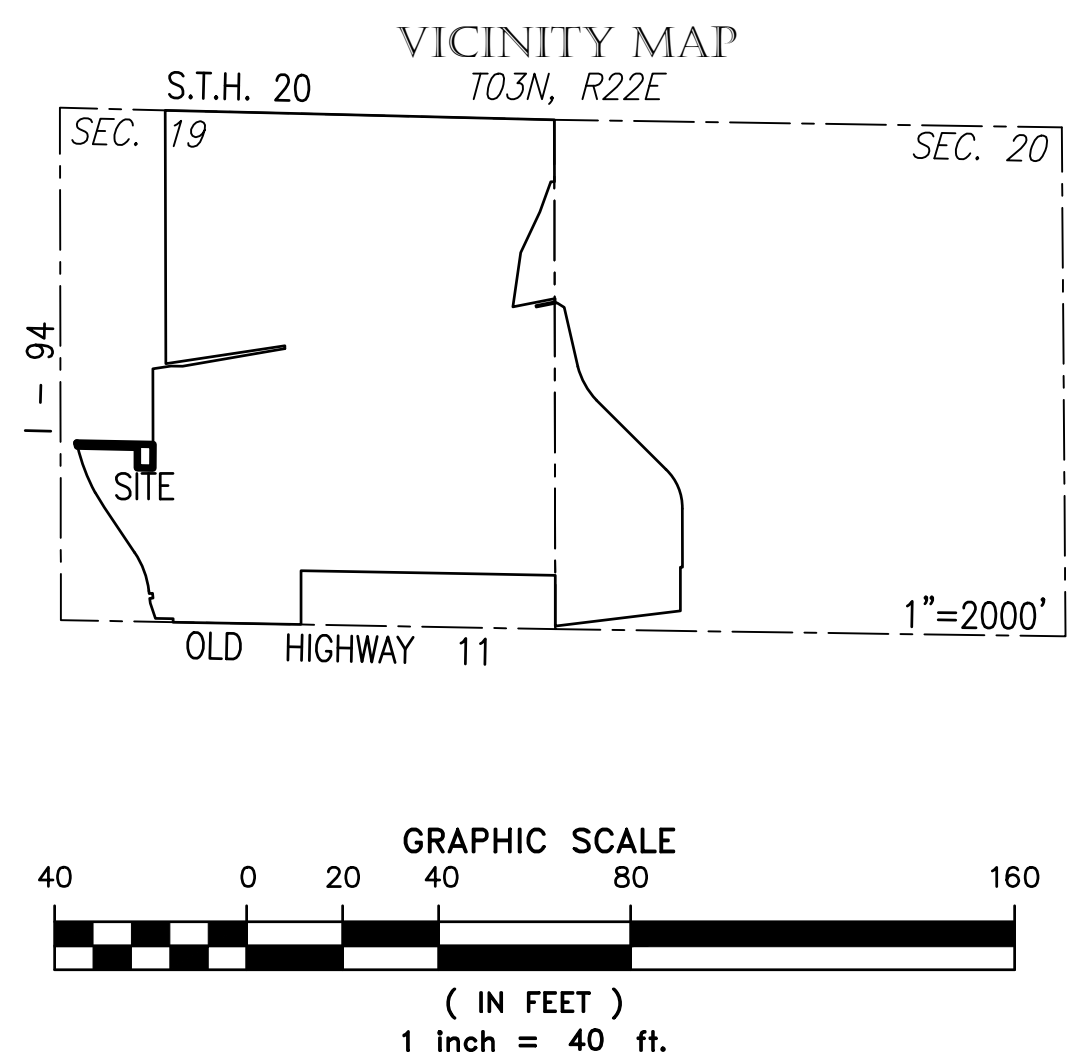
Date	Revision description	lpm
Apr 1, 2024	Proforma and comments	lpm
May 28, 2024	Updated title commitment	lpm

CHAPUT LAND SURVEYS
234 W. Florida Street Milwaukee, WI 53204 414-224-8068 www.chaputlandsurveys.com

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ALTA/NSPS LAND TITLE SURVEY

CHAPUT LAND SURVEYS



LEGEND

⊙ SANITARY MANHOLE	△ FIBER OPTIC MARKER	— SIGN	— SANITARY SEWER
⊙ STORM MANHOLE	⊙ FIBER OPTIC MANHOLE/VAULT	— MAIL BOX	— STORM SEWER
△ SEPTIC MOUND VENT	□ TELEPHONE PEDESTAL	— FLAG POLE	— WATER MAIN
⊙ SEPTIC COVER	⊙ TELEPHONE MANHOLE/VAULT	⊙ BASKETBALL HOOP	— FIBER OPTIC LINE
⊙ SANITARY CLEANOUT OR VENT	△ TELEPHONE MARKER	● BOLLARD	— ELECTRIC LINE
⊙ CURB INLET	⊙ TRANSFORMER	× CROSS CUT	— OVERHEAD WIRES
⊙ STORM INLET	⊙ ELECTRIC METER/PEDESTAL	○ IRON PIPE	— TELEPHONE LINE
○ CATCH BASIN	⊙ ELECTRIC MANHOLE/VAULT	● IRON REBAR/ROD	— ELECTRIC LINE
⊙ LATERAL	⊙ CABLE TV RISER/BOX CABLE	● MAG NAIL	— CABLE TELEVISION
⊙ UNKNOWN MANHOLE	⊙ TV MANHOLE/VAULT	● SECTION MONUMENT	— GAS MAIN
⊙ DRAIN TILE	⊙ GAS VALVE	⊙ BENCH MARK	— WETLANDS
⊙ WELL	⊙ GAS METER	⊙ CONIFER TREE	— TREE LINE
⊙ HYDRANT	⊙ GAS MARKER	⊙ DECIDUOUS TREE	— NO ACCESS
⊙ WATER VALVE	⊙ AIR CONDITIONING UNIT	⊙ BUSH	CL. = CENTERLINE
⊙ DOWN SPOUT	⊙ VENT	⊙ WETLAND SYMBOL	P.O.C. = POINT OF COMMENCEMENT
⊙ SPRINKLER VALVE	⊙ UTILITY POLE	⊙ DIRECTIONAL ARROW	R.O.W. = RIGHT OF WAY
⊙ WATER SHUT OFF	⊙ GUY WIRE		SEC. = SECTION
⊙ STANDPIPE	⊙ DUMPSTER		SQ. FT. = SQUARE FEET
⊙ WATER MANHOLE	⊙ HANDICAP STALL		(R) = RECORDED AS
⊙ LIGHT POLE	⊙ SPOT ELEVATION		(D) = DEEDED AS
			P.O.B. = POINT OF BEGINNING

- TABLE "A" ITEMS**
- According to the flood insurance rate map of the County of Racine, Community Panel No. 55101C0204D, effective date of May 2, 2012, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).
 - The Land Area of the subject property is 63,157 square feet or 1.4499 acres.
 - A zoning report has not been provided.
 - There are 0 regular parking spaces and 0 handicap space marked on this site.
 - Evidence of underground utilities existing on or serving the surveyed property as determined by markings requested by the surveyor pursuant to a Diggers Hotline One-call center utility locate. Ticket Number 20235205958 & 20235205954 However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. Client understands only utility lines with imbedded electric tracer wires or utilities made of materials capable of electric connectivity can be marked at the surface and located. Depth of utilities may prohibit their location even with electric connectivity.

CLIENT
Dewberry

SITE ADDRESS
2615 SE Frontage Road, Village of Mt. Pleasant, Racine County, Wisconsin

LEGAL DESCRIPTION
Part of the West 1/2 of the Southwest 1/4 of Section 19, Township 3 North, Range 22 East of the Fourth Principal Meridian, Village of Mount Pleasant, Racine County, Wisconsin, and more particularly described as follows: Commencing at a standard Racine County monument marking the Southwest corner of the Southwest 1/4 of Section 19, run thence North 89° 36' 39" East along the South line of said 1/4 Section, 99.02 feet to the East right-of-way line of the frontage road of I-94 and U.S.H. 41; thence North 1° 32' 57" West along the East line of said right-of-way 1815.05 feet to the point of beginning of the following described parcel of land: thence continue North 1° 32' 57" West along said right of way line 33.01 feet; thence North 89° 43' 19" East 864.13 feet; thence South 1° 32' 57" East 246.36 feet; thence South 89° 43' 19" West 162.44 feet; thence North 1° 32' 57" West 213.35 feet; thence South 89° 43' 19" West 701.69 feet to the point of beginning. Excepting therefrom that portion of land conveyed in Warranty Deed recorded on April 12, 2010 as document no. 2247146.

BASIS OF BEARINGS
Bearings are referenced to the Racine County Coordinate System(2011), in which the South line of the Southwest 1/4 of Section 29 bears N89°33'36"W.

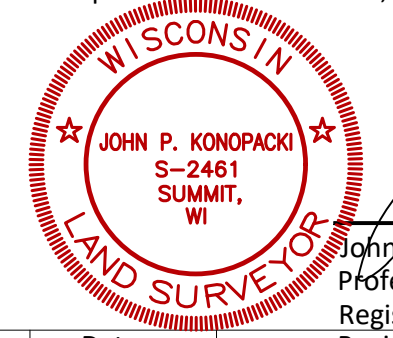
TITLE COMMITMENT
This survey was prepared based on First American Title Insurance Company Commitment No. NCS-1192268-WA1, effective date of _____, 2024 which lists the following easements and/or restrictions from schedule B-II:

- 24 visible evidence shown.
7, 9, & 22 not survey related.
1-6, 8, 10, 20-21 intentionally deleted.
- Matters as set forth in Transportation Project Plat No. 1030-24-20-4.04 recorded January 27, 2010 as Document No. 2240909. as affected by Transportation Project Plat No. 1030-24-20-4.04 Amendment No. 1 recorded October 13, 2017 as Document No. 2477108. **Affects property by location, shown.**
- Utility Easement to Wisconsin Electric Power Company, dated July 23, 1985, recorded/filed September 11, 1985 in Volume 1766, Page 749 as Document No. 1176977. **Affects property by location, shown.** as approximately shown on the ALTA/NSPS survey by Chaput Land Surveys dated January 16, 2024 and designated as Job. No. 4404.10.
- Utility Easement to Wisconsin Electric Power Company and Wisconsin Bell, Inc., dated March 05, 1993, recorded/filed March 30, 1993 in Volume 2236, Page 807 as Document No. 1411770. Reservation of Interest on Quit Claim Deed by Utility (Non-Fee Land Interests) recorded January 23, 2018 as Document No. 2484979. Reservation of Interest on Quit Claim Deed by Utility (Non-Fee Land Interests) recorded January 25, 2018 as Document No. 2485199. **Affects property by location, shown.** as approximately shown on the ALTA/NSPS survey by Chaput Land Surveys dated January 16, 2024 and designated as Job. No. 4404.10.
- Order Adding Lands to Mt. Pleasant Storm Water Drainage District No. 1 recorded May 28, 1996 in Volume 2539, Page 429 as Document No. 1540010; and assessments, fees and/or charges, if any, levied by said district. None due and delinquent as of Date of Policy. **Affects property by location, blanket type.**
- Project No. 1032-07-06 recorded February 05, 1999 as Document No. 1669177. **Does not affect property by location, design changed.**
- Notice and Order Establishing Locations and Right-of-Way Widths for Future Freeways or Expressways recorded February 05, 1999 in Volume 2876, Page 621 as Document No. 1669178. **Does not affect property by location, design changed.**
- Terms, conditions, restrictions and provisions relating to the use and maintenance of the Grant of Permanent Driveway Easement recorded on May 06, 1999 in Volume 2911, Page 805, as Document No. 1682657. **Affects property by location, shown.** as approximately shown on the ALTA/NSPS survey by Chaput Land Surveys dated January 16, 2024 and designated as Job. No. 4404.10.
- Terms, conditions, restrictions and provisions relating to the use and maintenance of the Access Rights disclosed on Warranty Deed recorded on April 12, 2010, as Document No. 2247146. **Affects property by location, shown.**
- Utility Easement to Wisconsin Electric Power Company, a Wisconsin corporation doing business as We Energies, Charter Communications Operating, LLC and Wisconsin Bell, Inc. doing business as AT&T Wisconsin, a Wisconsin corporation, dated November 28, 2017, recorded/filed July 24, 2018 as Document No. 2499316. **Affects property by location, shown.** as approximately shown on the ALTA/NSPS survey by Chaput Land Surveys dated January 16, 2024 and designated as Job. No. 4404.10.

TO: Microsoft Corporation, a Washington corporation
First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 19, 20(a) and 20(b) of Table A thereof. The field work was completed on December 18, 2023.

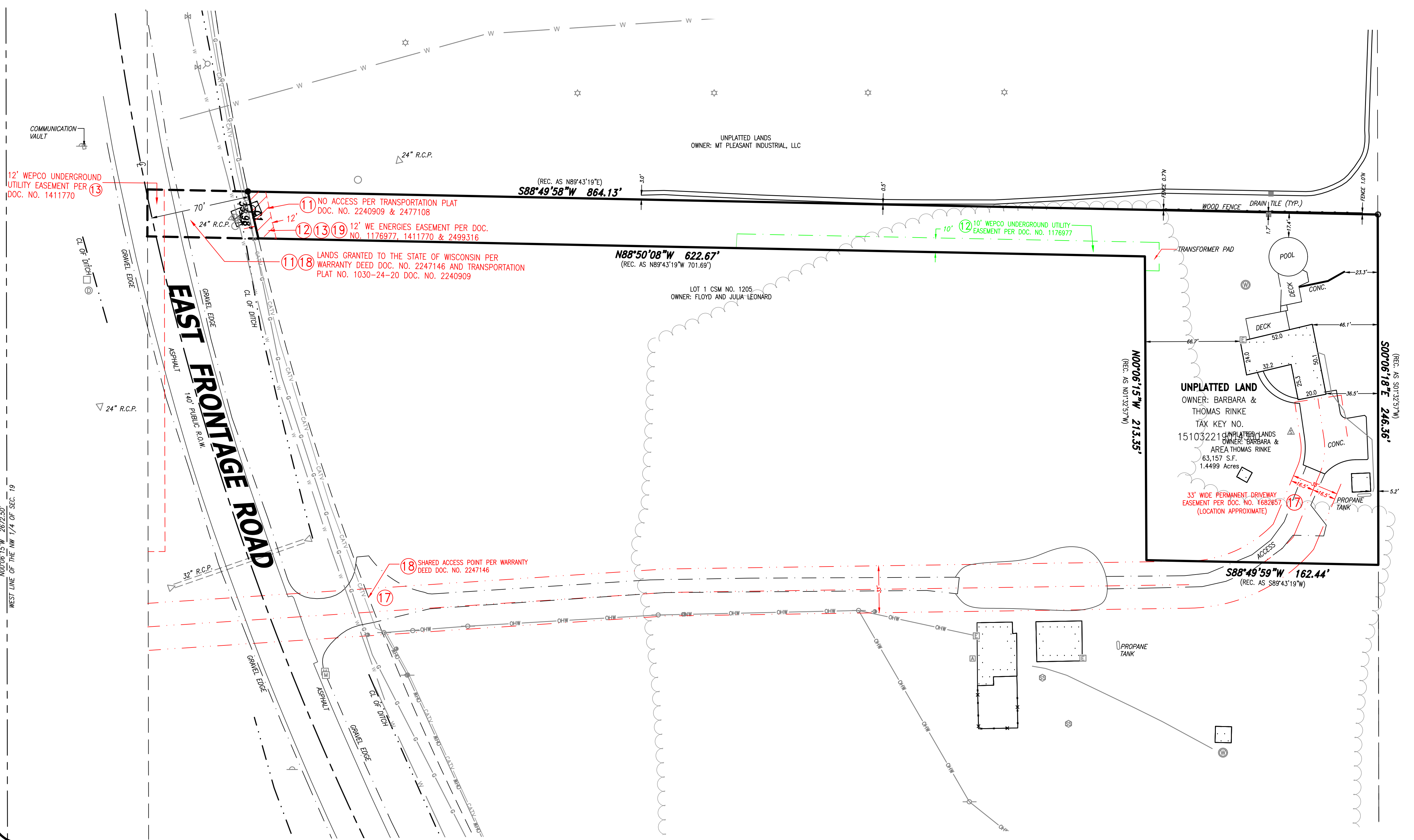
Date of Map: January 16, 2024



John P. Konopacki
Professional Land Surveyor
Registration Number S-2461

CHAPUT LAND SURVEYS

Date	Revision description	
Apr. 23, 2024	Proforma and comments	lpm



ALTA/NSPS LAND TITLE SURVEY

CLIENT

Dewberry

SITE ADDRESS

13231 Louis Sorenson Road, Village of Mount Pleasant, Racine County, Wisconsin

LEGAL DESCRIPTION

That part of the Southwest 1/4, the Southeast 1/4, the Northeast 1/4 and the Northwest 1/4 of Section 19, Township 3 North, Range 22 East in the Village of Mt. Pleasant, Racine County, Wisconsin, described as follows: begin at a point on the North-South 1/4 line of said Section 19 located South 01°31'12" East 2424.35 feet from the North 1/4 corner of said Section and a point on the centerline of Louis Sorenson Road as laid out; run thence North 78°07'57" East 296.19 feet along said centerline; thence South 01°31'12" East 300.00 feet; thence North 78°07'57" East 250.00 feet; thence South 01°31'13" East 1376.24 feet to the South line of the Northwest 1/4 of the Southeast 1/4; thence South 89°42'42" West 537.44 feet along said South line to the North-South 1/4 line of said Section; thence South 89°43'20" West 292.32 feet along the South line of the Northeast 1/4 of the Southwest 1/4; thence North 01°31'13" West 1514.73 feet to the centerline of Louis Sorenson Road as laid out; thence North 79°37'42" East 295.79 feet along said centerline to the point of beginning.

BASIS OF BEARINGS

Bearings are referenced to the Racine County Coordinate System(2011), in which the South line of the Southwest 1/4 of Section 29 bears N89°33'36"W.

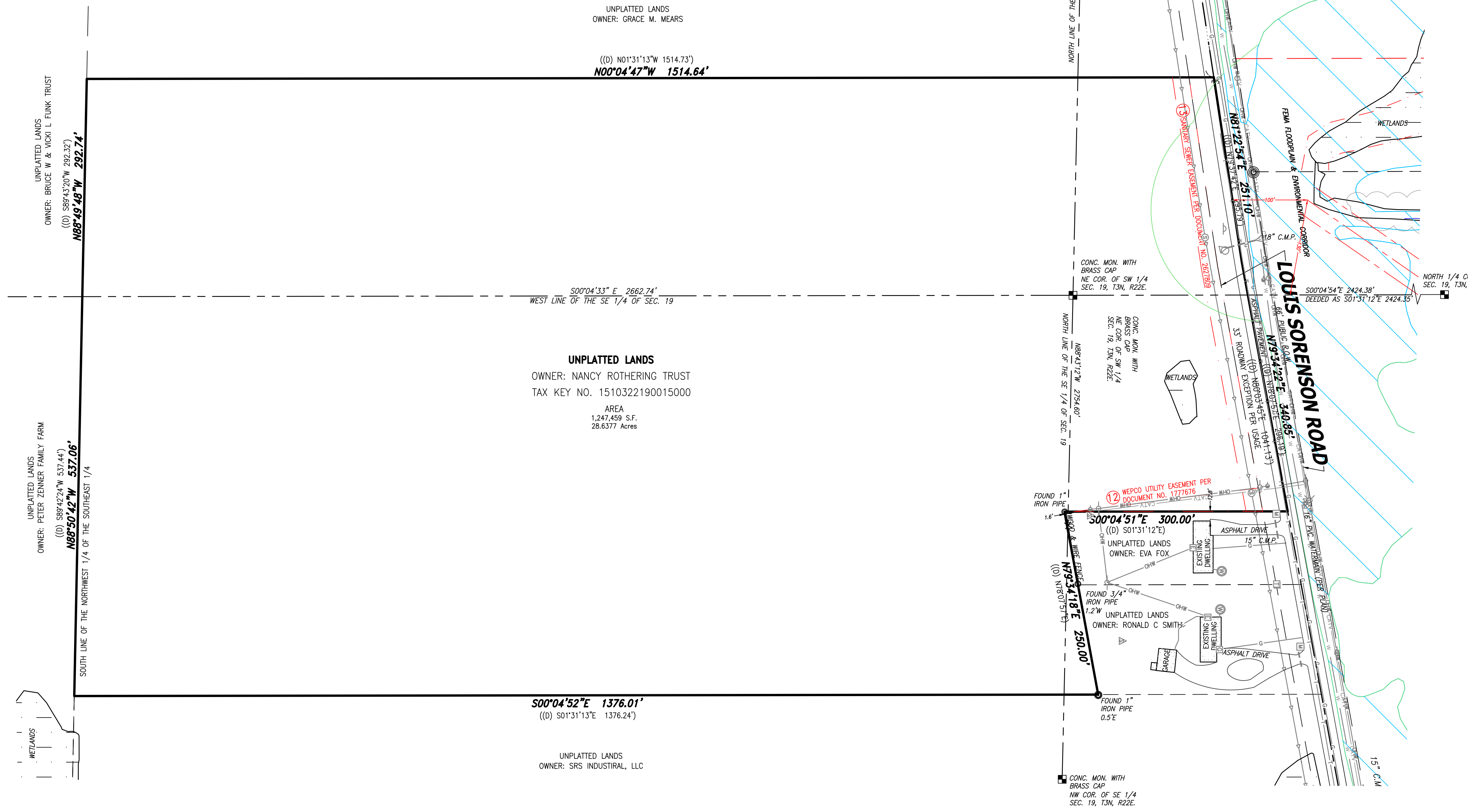
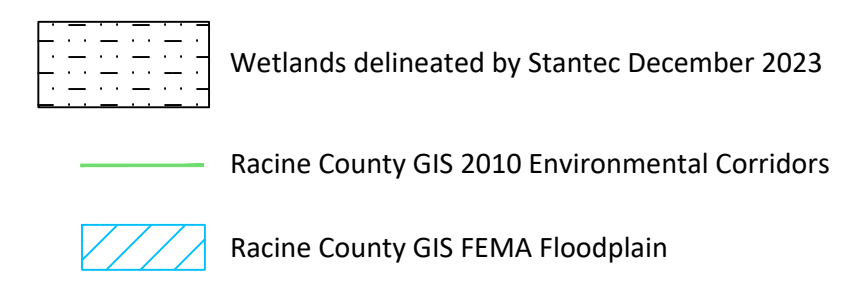
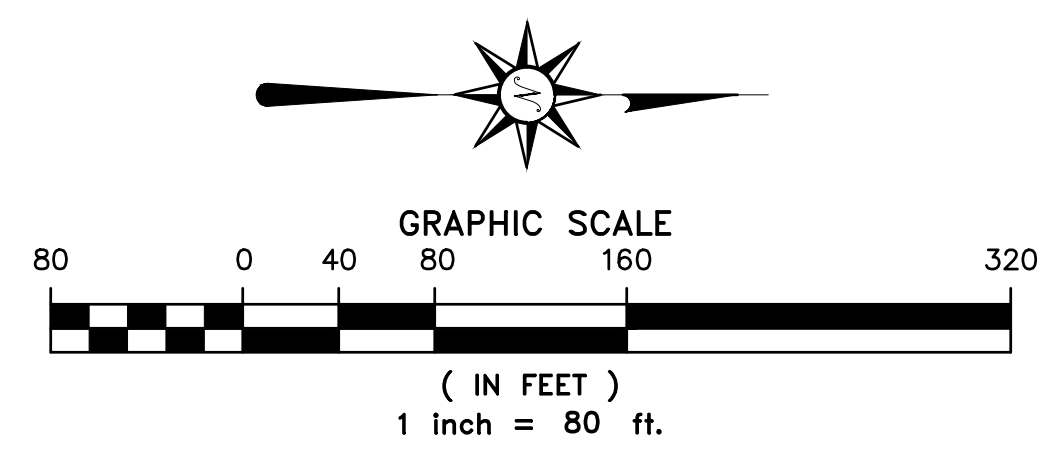
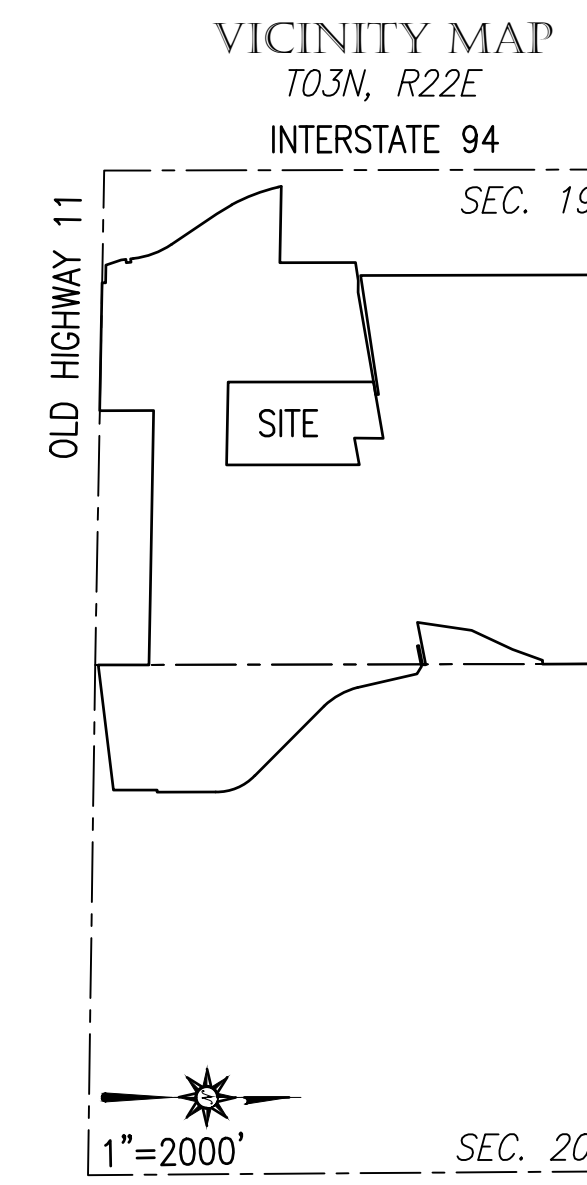
TABLE "A" ITEMS

- According to the flood insurance rate map of the County of Racine, Community Panel No. 55101C0204D, effective date of May 2, 2012, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).
- The Land Area of the subject property is 1,247,459 square feet or 28.6377 acres.
- A zoning report has not been provided.
- There are 0 parking spaces marked on this site.
- Evidence of underground utilities existing on or serving the surveyed property as determined by markings requested by the surveyor pursuant to a Diggers Hotline One-call center utility locate. Ticket Number 20235205978 and 20235205979. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. Client understands only utility lines with imbedded electric tracer wires or utilities made of materials capable of electric connectivity can be marked at the surface and located. Depth of utilities may prohibit their location even with electric connectivity.

TITLE COMMITMENT

This survey was prepared based on First American Title Insurance Company Commitment No. NCS-1191748-MKE Revision No. 2, effective date of September 14, 2023, revised March 6, 2024, which lists the following easements and/or restrictions from schedule B-II:

- 1, 2, 3, 10 & 16 visible evidence shown.
- 4, 5, 6, 7, 8, 9, 14, 15, 17, 18 & 19 not survey related.
- Order adding lands to Mt. Pleasant Storm Water Drainage District No. 1 recorded May 28, 1996, in Volume 2539, Page 429, as Document No. 1540010. **Affects property by location, blanketed in nature.**
- Utility Easement to Wisconsin Electric Power Company, dated May 31, 2001, recorded/filed June 19, 2001, in Volume 3201, Page 348-350, as Document No. 1777676. **Affects property by location, shown.**
- Easement for the Sanitary Sewer Main and Pipelines granted to Village of Mount Pleasant, Racine County, Wisconsin, a municipal corporation by Easement Agreement Sanitary Sewer Install recorded in May 2, 2022 as Document No. 2627809. **Affects property by location, shown.**



LEGEND

⊙	SANITARY MANHOLE	⚠	FIBER OPTIC MARKER	—	SIGN
⊕	STORM MANHOLE	⊙	FIBER OPTIC MANHOLE/VAULT	☐	MAIL BOX
⊗	SEPTIC MOUND VENT	⊞	TELEPHONE PEDESTAL	⚓	FLAG POLE
⊙	SEPTIC COVER	⊞	TELEPHONE MANHOLE/VAULT	⚓	BASKETBALL HOOP
⊙	SANITARY CLEANOUT OR VENT	⚠	TELEPHONE MARKER	●	BOLLARD
⊞	CURB INLET	⊞	TRANSFORMER	⊗	CROSS CUT
⊞	STORM INLET	⊞	ELECTRIC METER/PEDESTAL	⊗	IRON PIPE
⊞	CATCH BASIN	⊞	ELECTRIC MANHOLE/VAULT	⊗	IRON REBAR/ROD
⊞	LATERAL	⊞	CABLE TV RISER/BOX CABLE	⊞	MAG NAIL
⊞	UNKNOWN MANHOLE	⊞	TV MANHOLE/VAULT	⊞	SECTION MONUMENT
⊞	DRAIN TILE	⊞	GAS VALVE	⊞	BENCH MARK
⊞	WELL	⊞	GAS METER	⊞	CONIFER TREE
⊞	HYDRANT	⊞	GAS MARKER	⊞	DECIDUOUS TREE
⊞	WATER VALVE	⊞	AIR CONDITIONING UNIT	⊞	BUSH
⊞	DOWN SPOUT	⊞	VENT	⊞	WETLAND SYMBOL
⊞	SPRINKLER VALVE	⊞	UTILITY POLE	⊞	DIRECTIONAL ARROW
⊞	WATER SHUT OFF	⊞	GUY WIRE	⊞	CL. =CENTERLINE
⊞	STANDPIPE	⊞	DUMPSTER	⊞	CONC. =CONCRETE
⊞	WATER MANHOLE	⊞	HANDICAP STALL	⊞	EXT. =ELEVATION
⊞	LIGHT POLE	⊞	SPOT ELEVATION	⊞	EXL. =EXISTING
		—	SANITARY SEWER	⊞	INV. =INVERT
		—	STORM SEWER	⊞	MON.=MONUMENT
		—	WATER MAIN	⊞	P.O.B. =POINT OF BEGINNING
		—	FIBER OPTIC LINE	⊞	P.O.C. =POINT OF COMMENCEMENT
		—	TELEPHONE LINE	⊞	R.O.W =RIGHT OF WAY
		—	ELECTRIC LINE	⊞	SEC. =SECTION
		—	OVERHEAD WIRES	⊞	SQ. FT. =SQUARE FEET
		—	CABLE TELEVISION	⊞	W/ =WITH
		—	GAS MAIN	⊞	(R) =RECORDED AS
		—	WETLANDS	⊞	(D) =DEEDED AS
		—	TREE LINE		
		—	NO ACCESS		

TO: Dickman Land Acquisition I, LLC
Microsoft Corporation, a Washington corporation
First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 19, 20(a) and 20(b) of Table A thereof. The field work was completed on December 18, 2023.



Date of Map: January 19, 2024

Date	Revision description	lpm
Mar 11, 2024	Updated Title and Comments	lpm

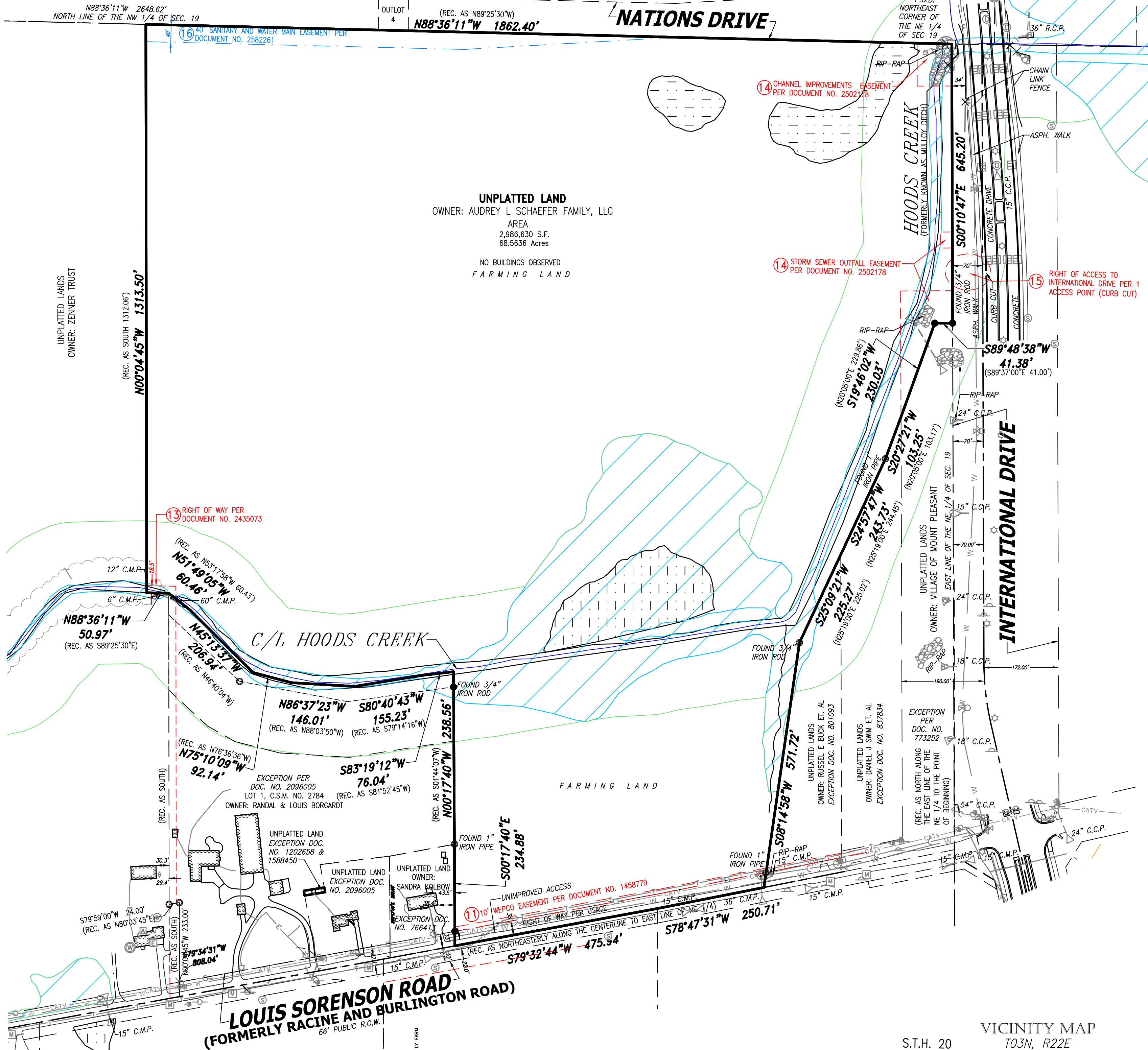
CHAPUT LAND SURVEYS
234 W. Florida Street
Milwaukee, WI 53204

414-224-8068
www.chaputlandsurveys.com

This document is an instrument of professional service, and may be protected by the surveyor's work product doctrine or surveyor's client privilege. The information shown hereon is intended solely for the use of the client and client directed third parties. Chaput Land Surveys is a division of Pinnacle Engineering Group.
DRAFTED BY: lpm Drawing No. 4404.10

ALTA/NSPS LAND TITLE SURVEY

UNPLATTED LANDS
OWNER: FAMILY TRUST UNDER LEWIS LIV REV TRUST



UNPLATTED LAND
OWNER: AUDREY L. SCHAEFER FAMILY, LLC
AREA
2,986.630 S.F.
68.5636 Acres
NO BUILDINGS OBSERVED
FARMING LAND

LEGEND

⊙	SANITARY MANHOLE	⚡	FIBER OPTIC MARKER	⚡	SIGN
⊕	STORM MANHOLE	⊕	FIBER OPTIC MANHOLE/VAULT	⊕	MAIL BOX
⊗	SEPTIC MOUND VENT	⊕	TELEPHONE PEDESTAL	⊕	FLAG POLE
⊗	SEPTIC COVER	⊕	TELEPHONE MANHOLE/VAULT	⊕	BASKETBALL HOOP
⊕	SANITARY CLEANOUT OR VENT	⊕	TELEPHONE MARKER	⊕	BOLLARD
⊕	CURB INLET	⊕	TRANSFORMER	⊕	CROSS CUT
⊕	STORM INLET	⊕	ELECTRIC METER/PEDESTAL	⊕	IRON PIPE
⊕	CATCH BASIN	⊕	ELECTRIC MANHOLE/VAULT	⊕	IRON REBAR/ROD
⊕	LATERAL	⊕	CABLE TV RISER/BOX CABLE	⊕	MAG NAIL
⊕	UNKNOWN MANHOLE	⊕	TV MANHOLE/VAULT	⊕	SECTION MONUMENT
⊕	DRAIN TILE	⊕	GAS VALVE	⊕	BENCH MARK
⊕	WELL	⊕	GAS METER	⊕	CONIFER TREE
⊕	HYDRANT	⊕	GAS MARKER	⊕	DECIDUOUS TREE
⊕	WATER VALVE	⊕	AIR CONDITIONING UNIT	⊕	BUSH
⊕	DOWN SPOUT	⊕	VENT	⊕	WETLAND SYMBOL
⊕	SPRINKLER VALVE	⊕	UTILITY POLE	⊕	DIRECTIONAL ARROW
⊕	WATER SHUT OFF	⊕	GUY WIRE	CL.	=CENTERLINE
⊕	STANDPIPE	⊕	DUMPSTER	CONC.	=CONCRETE
⊕	WATER MANHOLE	⊕	HANDICAP STALL	EL.	=ELEVATION
⊕	LIGHT POLE	⊕	SPOT ELEVATION	EXT.	=EXISTING
⊕	STORM SEWER	⊕	SANITARY SEWER	INV.	=INVERT
⊕	WATER MAIN	⊕	WATER MAIN	MON.	=MONUMENT
⊕	FIBER OPTIC LINE	⊕	FIBER OPTIC LINE	P.O.B.	=POINT OF BEGINNING
⊕	TELEPHONE LINE	⊕	TELEPHONE LINE	P.O.C.	=POINT OF COMMENCEMENT
⊕	ELECTRIC LINE	⊕	ELECTRIC LINE	R.O.W.	=RIGHT OF WAY
⊕	OVERHEAD WIRES	⊕	OVERHEAD WIRES	SEC.	=SECTION
⊕	CABLE TELEVISION	⊕	CABLE TELEVISION	SQ. FT.	=SQUARE FEET
⊕	GAS MAIN	⊕	GAS MAIN	W/	=WITH
⊕	WETLANDS	⊕	WETLANDS	(R)	=RECORDED AS
⊕	TREE LINE	⊕	TREE LINE	(D)	=DEEDED AS
⊕	NO ACCESS				

TABLE "A" ITEMS

- According to the flood insurance rate map of the County of Racine, Community Panel No. 55101C0204D, effective date of May 2, 2012, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).
- The Land Area of the subject property is 2,986,630 square feet or 68.5636 acres.
- A zoning report has not been provided.
- There are 0 regular parking spaces and 0 handicap space marked on this site.
- Evidence of underground utilities existing on or serving the surveyed property as determined by markings requested by the surveyor pursuant to a Diggers Hotline One-call center utility locate. Ticket Number 20235206031, 20235206028, 20235206046 and 20235206045. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. Client understands only utility lines with imbedded electric tracer wires or utilities made of materials capable of electric connectivity can be marked at the surface and located. Depth of utilities may prohibit their location even with electric connectivity.

CLIENT **SITE ADDRESS**
Dewberry Lands along Louis Sorenson Road, Village of Sturtevant, Racine County, Wisconsin

LEGAL DESCRIPTION
THAT PART OF THE NORTHEAST 1/4 OF SECTION 19, TOWNSHIP 3 NORTH, RANGE 22 EAST, VILLAGE OF MOUNT PLEASANT, RACINE COUNTY, WISCONSIN, BOUNDED AS FOLLOWS: BEGIN AT THE NORTHEAST CORNER OF SAID NORTHEAST 1/4; RUN THENCE NORTH 88° 25' 30" WEST ALONG THE NORTH LINE OF SAID NORTHEAST 1/4 TO POINT 786.22 FEET EAST FROM THE NORTH 1/4 CORNER OF SAID SECTION; THENCE SOUTH PARALLEL TO THE NORTH AND SOUTH 1/4 LINE OF SAID SECTION, 1312.06 FEET; THENCE SOUTH 88° 25' 30" EAST 50.97 FEET; THENCE SOUTH PARALLEL TO THE NORTH AND SOUTH 1/4 LINE OF SAID SECTION, 719 FEET; THENCE NORTH 80° 3' 45" EAST 24 FEET; THENCE SOUTH PARALLEL TO THE EAST AND WEST 1/4 LINE OF SAID SECTION, 233 FEET TO THE CENTER LINE OF HIGHWAY; THENCE NORTHEASTERLY ALONG THE CENTER LINE OF HIGHWAY TO THE EAST LINE OF SAID NORTHEAST 1/4; THENCE NORTH ALONG THE EAST LINE OF SAID NORTHEAST 1/4 TO THE PLACE OF BEGINNING.

EXCEPTING THEREFROM THAT PORTION OF LAND CONVEYED IN WARRANTY DEED RECORDED MARCH 09, 1964 IN VOLUME 812, PAGE 650 AS DOCUMENT NO. 766413. ALSO EXCEPTING THEREFROM THAT PORTION OF LAND CONVEYED IN WARRANTY DEED RECORDED JULY 22, 1964 IN VOLUME 828, PAGE 508 AS DOCUMENT NO. 773252.

ALSO EXCEPTING THEREFROM THAT PORTION OF LAND CONVEYED IN WARRANTY DEED RECORDED JANUARY 18, 1966 IN VOLUME 893, PAGE 502 AS DOCUMENT NO. 801093. ALSO EXCEPTING THEREFROM THAT PORTION OF LAND CONVEYED IN WARRANTY DEED RECORDED APRIL 25, 1968 IN VOLUME 981, PAGE 143 AS DOCUMENT NO. 837834. ALSO EXCEPTING THEREFROM THAT PORTION OF LAND CONVEYED IN WARRANTY DEED RECORDED AUGUST 12, 1986 IN VOLUME 1815, PAGE 182 AS DOCUMENT NO. 1202658. ALSO EXCEPTING THEREFROM THAT PORTION OF LAND CONVEYED IN QUIT CLAIM DEED RECORDED JULY 29, 1997 IN VOLUME 2659, PAGE 795 AS DOCUMENT NO. 1588450.

ALSO EXCEPTING THEREFROM CERTIFIED SURVEY MAP NO. 2784 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR RACINE COUNTY, WISCONSIN ON MAY 16, 2006 IN VOLUME 8, PAGE 896 AS DOCUMENT NO. 2085293. SAID CERTIFIED SURVEY MAP CORRECTED BY AFFIDAVIT OF CORRECTION RECORDED AUGUST 02, 2006 AS DOCUMENT NO. 2096005.

BEARINGS OF BEARINGS
Bearings are referenced to the Racine County Coordinate System(2011), in which the South line of the Southwest 1/4 of Section 29 bears N89°33'36"W.

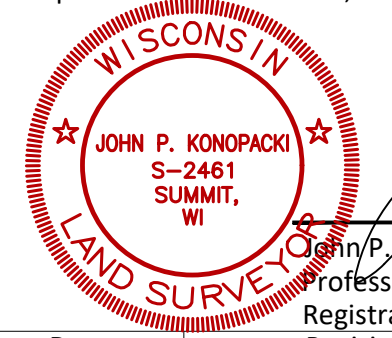
TITLE COMMITMENT
This survey was prepared based on First American Title Insurance Company Commitment No. NCS-1185346-WA1, (PROFORMA), effective date of _____, 20____ which lists the following easements and/or restrictions from schedule B-II:

- 20 & 23 visible evidence shown.
- 7, 18 & 19 not surveyed.
- 1-6, 8, 9, 17, 21 & 22
- Utility Easement to Wisconsin Electric Power Company and Wisconsin Bell, Inc. d/b/a Ameritech, dated March 16, 1994, recorded/filed March 17, 1994 in Volume 2354, Page 550 as Document No. 1458779. as approximately shown on ALTA/NSPS survey by Chaput Land Surveys dated January 19, 2024 and designated as Job No. 4404.10. **Affects property by location, shown.**
- Order Adding Lands to Mt. Pleasant Storm Water Drainage District No. 1 recorded May 28, 1996 in Volume 2539, Page 429 as Document No. 1540010; and assessments, fees and/or charges, if any, levied by said district. **Affects property by location, shown.**
- Covenants, Conditions and Restrictions as set forth in Quit Claim Deed recorded on May 20, 2016 as Document No. 2435073, of Official Records, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c). as approximately shown on ALTA/NSPS survey by Chaput Land Surveys dated January 19, 2024 and designated as Job No. 4404.10. **Affects property by location, shown.**
- Easement for construct and maintain channel improvements and storm sewer outfall granted to Village of Mount Pleasant by Permanent Limited Easement recorded in August 29, 2018 as Document No. 2502178. as approximately shown on ALTA/NSPS survey by Chaput Land Surveys dated January 19, 2024 and designated as Job No. 4404.10. **Affects property by location, shown.**
- Access Restrictions as set forth in Warranty Deed recorded August 29, 2018 as Document No. 2502231. **Affects property by location, shown.**
- Easement Agreement upon the terms, conditions and provisions contained therein:
Dated: January 18, 2021
Parties: Audrey L Schaefer Family LLC and Village of Mount Pleasant, Racine County, Wisconsin, a municipal corporation
Recorded: February 24, 2021
Instrument No.: 2582261
as approximately shown on ALTA/NSPS survey by Chaput Land Surveys dated January 19, 2024 and designated as Job No. 4404.10. **Affects property by location, shown.**

TO: Microsoft Corporation, a Washington corporation
First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 19, 20(a) and 20(b) of Table A thereof. The field work was completed on December 18, 2023.

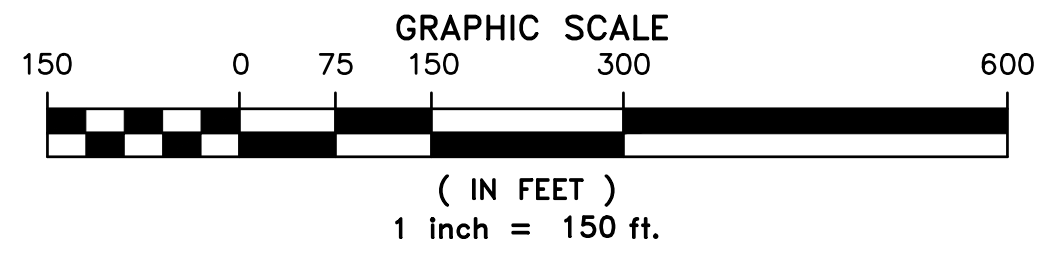
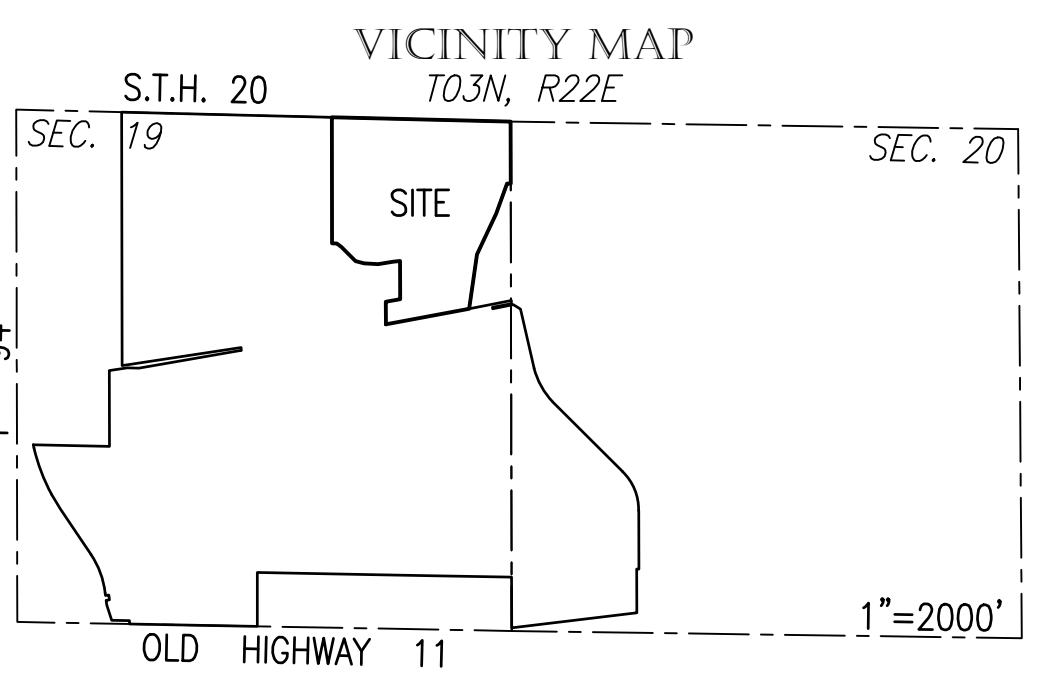
Date of Map: January 19, 2024



CHAPUT LAND SURVEYS
234 W. Florida Street Milwaukee, WI 53204 414-224-8068 www.chaputlandsurveys.com

Date	Revision description	By
Apr. 10, 2024	Proforma and comments	lpm

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DRAFTED BY: T.J.S/LPM Drawing No. 4404.10



- Wetlands delineated by Stantec December 2023
- Racine County GIS 2010 Environmental Corridors
- Racine County GIS FEMA Floodplain

CHAPUT LAND SURVEYS

ALTA/NSPS LAND TITLE SURVEY

CLIENT
Dewberry

SITE ADDRESS
12827 Louis Sorenson Road, Village of Mount Pleasant, Racine County, Wisconsin

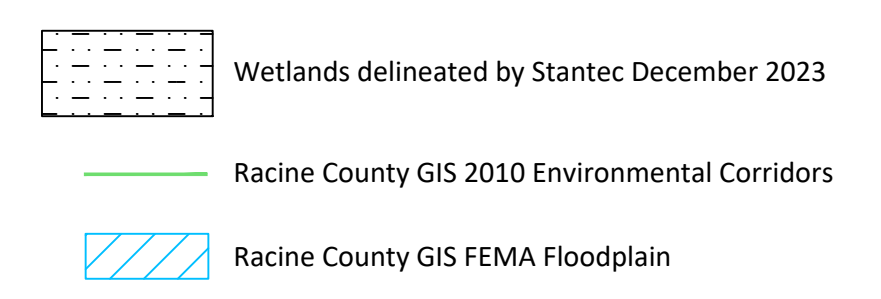
LEGAL DESCRIPTION
That part of the East 1/2 of Section 19, Township 3 North, Range 22 East, Village of Mt. Pleasant, Racine County, Wisconsin, described as follows: commence at the point of intersection of the North and South quarter-line of said Section 19 and the centerline of the Louis Sorenson Road as now laid out; run thence North 80°03'45" East, 396.55 feet along said centerline to the point of beginning of this description; run thence North 80°03'45" East 150.00 feet along said centerline; thence South 00°27'45" West 300.00 feet along the existing fence line; thence South 80°03'45" West 150.00 feet; thence North 00°27'45" East 300.00 feet to the point of beginning of the description.

BASIS OF BEARINGS
Bearings are referenced to the Racine County Coordinate System(2011), in which the South line of the Southwest 1/4 of Section 29 bears N89°33'36"W.

TITLE COMMITMENT
This survey was prepared based on First American Title Insurance Company Commitment No. NCS-1195862-WA1 (PROFORMA), effective date of _____, 20____ which lists the following easements and/or restrictions on schedule B-II:

- 21 visible evidence shown.
9 not survey related.
1-6, 8, 10, 13-18 intentionally deleted.
- Order Adding Lands to Mt. Pleasant Storm Water Drainage District No. 1 recorded May 28, 1996 in Volume 2539, Page 429 as Document No. 1540010. **Affects property by location, blanket statement.**
 - Easement Agreement upon the terms, conditions and provisions contained therein:
Dated: March 28, 2022
Parties: Ronald C. Smith and the Village of Mount Pleasant, Racine County, Wisconsin, a municipal corporation
Recorded: May 2, 2022
Instrument No. 2627798
As amended by Affidavit of Correction recorded May 25, 2022 as Document No. 2629904.
Affects property by location, shown.

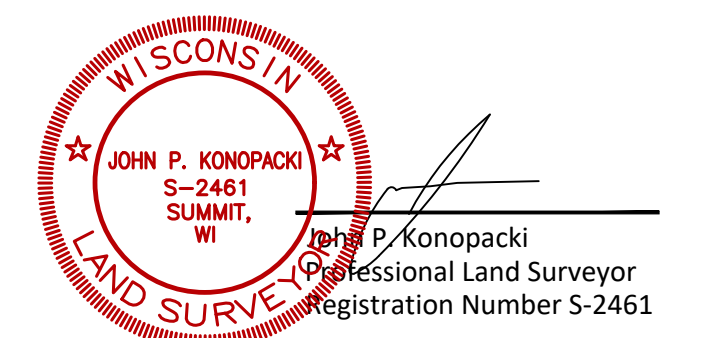
- TABLE "A" ITEMS**
- According to the flood insurance rate map of the County of Racine, Community Panel No. 55101C0204D, effective date of May 2, 2012, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).
 - The Land Area of the subject property is 44,268 square feet or 1.0163 acres.
 - A zoning report has not been provided.
 - There are 0 parking spaces marked on this site.
 - Evidence of underground utilities existing on or serving the surveyed property as determined by markings requested by the surveyor pursuant to a Diggers Hotline One-call center utility locate. Ticket Number 20235205986 and 20235205988. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. Client understands only utility lines with imbedded electric tracer wires or utilities made of materials capable of electric connectivity can be marked at the surface and located. Depth of utilities may prohibit their location even with electric connectivity.



TO: Microsoft Corporation, a Washington corporation
First American Title Insurance Company

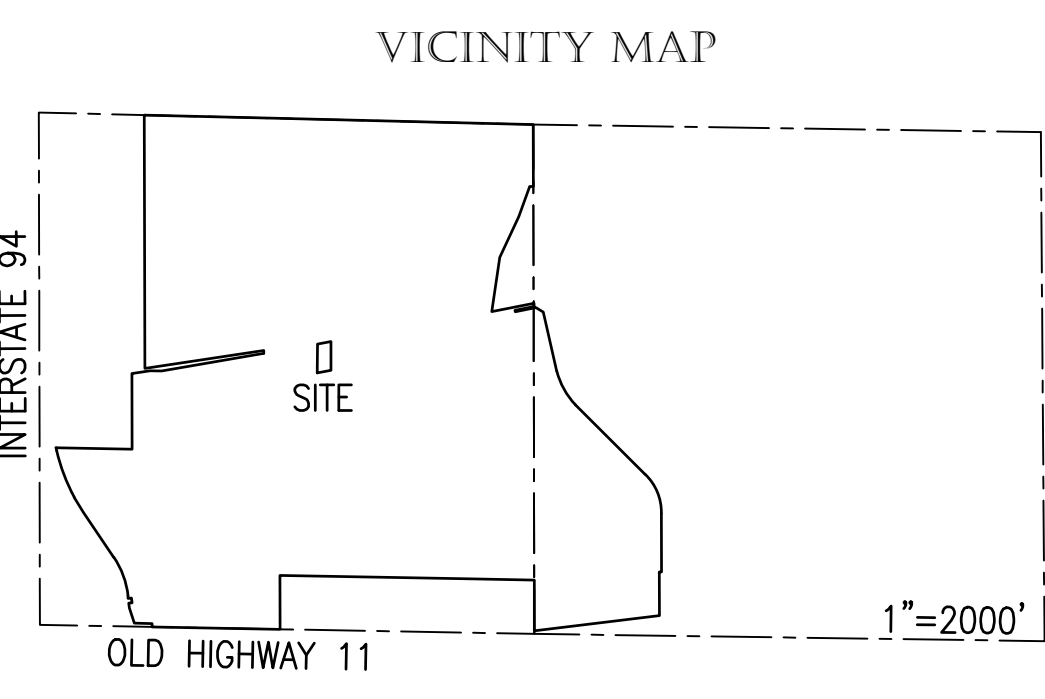
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 19, 20(a) and 20(b) of Table A thereof. The field work was completed on December 18, 2023.

Date of Map: January 19, 2024



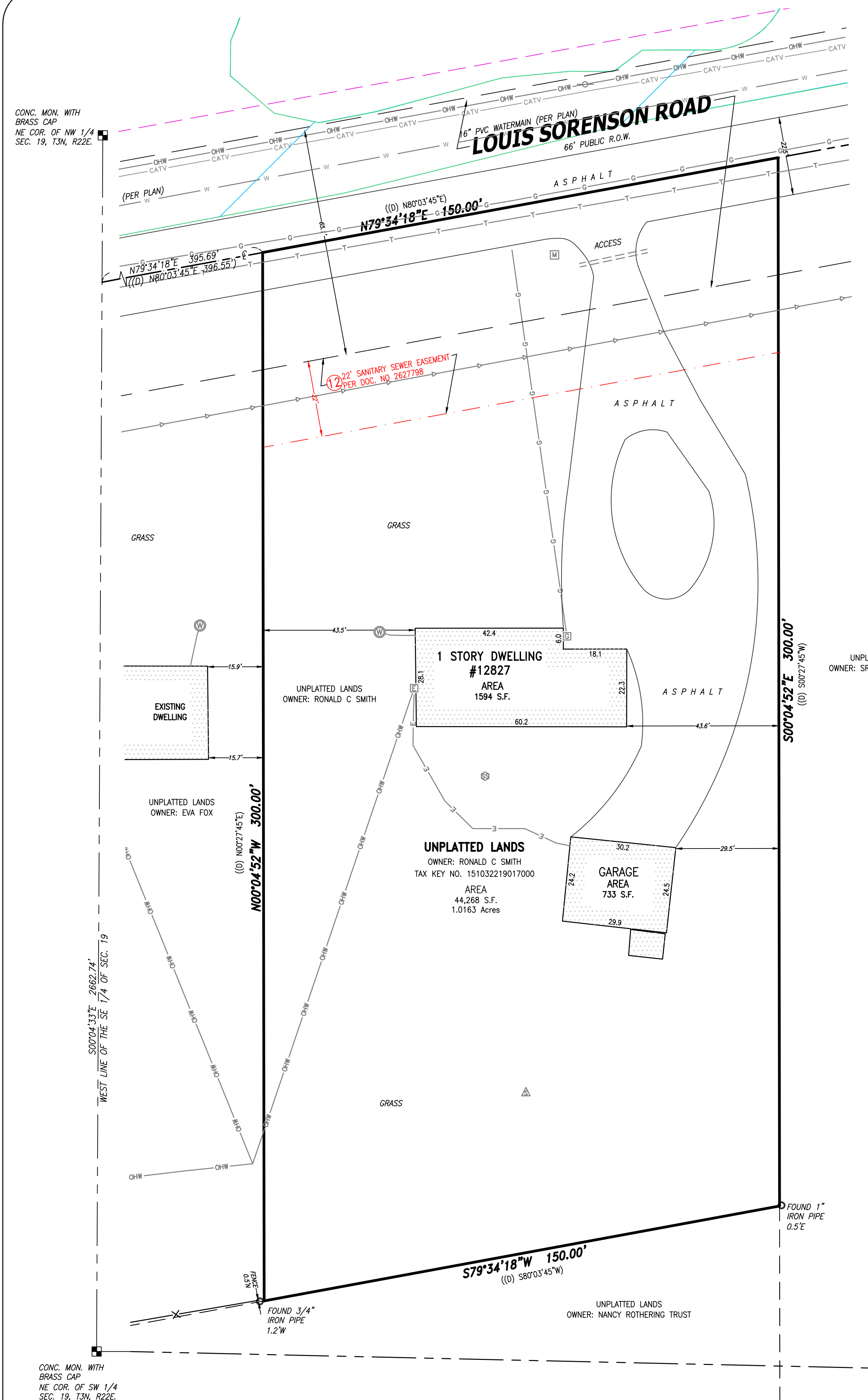
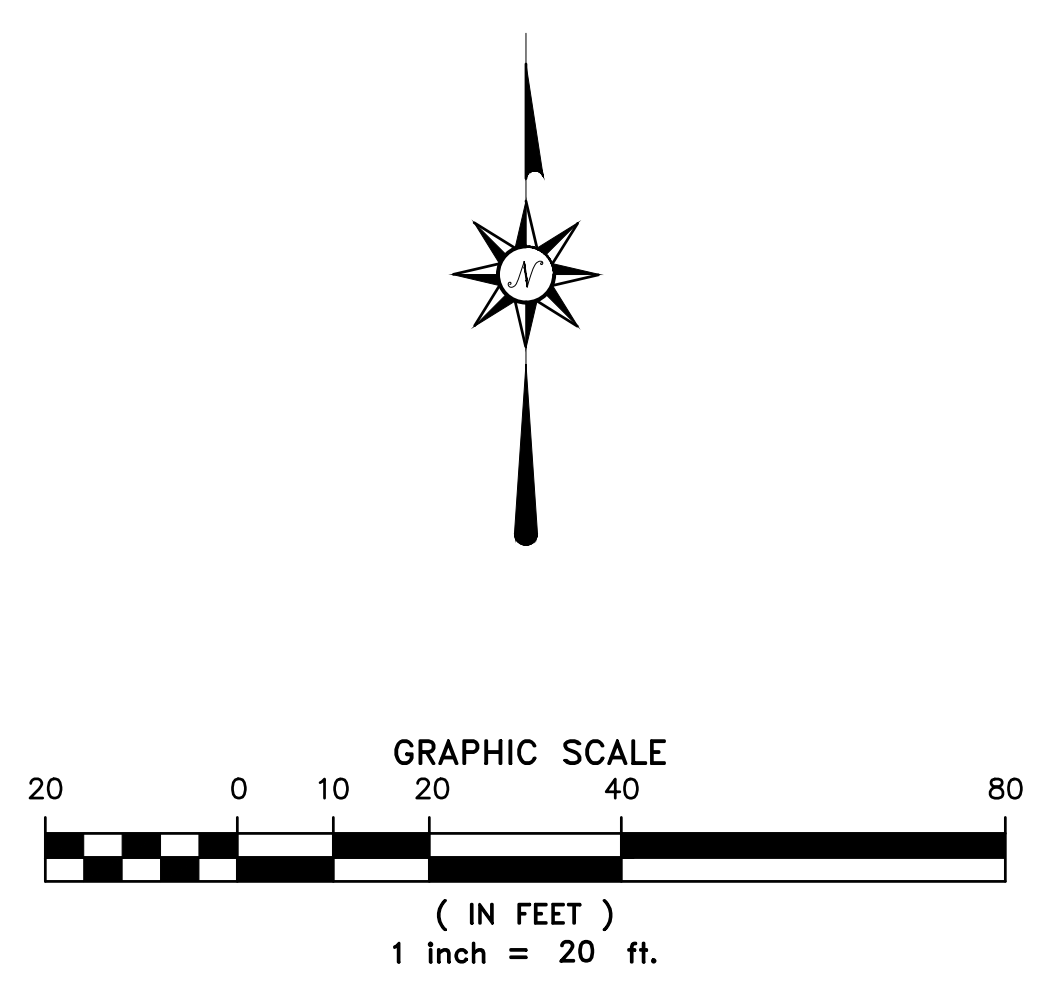
Date	Revision description	Initials
Apr. 10, 2024	Proforma and comments	lpm

CHAPUT LAND SURVEYS
234 W. Florida Street Milwaukee, WI 53204 414-224-8068 www.chaputlandsurveys.com
DRAFTED BY: lpm Drawing No. 4404.10



LEGEND

⊙	SANITARY MANHOLE	△	FIBER OPTIC MARKER	▽	SIGN
⊕	STORM MANHOLE	⊙	FIBER OPTIC MANHOLE/VAULT	▣	MAIL BOX
△	SEPTIC MOUND VENT	□	TELEPHONE PEDESTAL	⊕	FLAG POLE
⊙	SEPTIC COVER	⊕	TELEPHONE MANHOLE/VAULT	⊙	BASKETBALL HOOP
⊕	SANITARY CLEANOUT OR VENT	⊕	TELEPHONE MARKER	●	BOLLARD
⊕	CURB INLET	⊕	TRANSFORMER	×	CROSS CUT
□	STORM INLET	⊕	ELECTRIC METER/PEDESTAL	○	IRON PIPE
○	CATCH BASIN	⊕	ELECTRIC MANHOLE/VAULT	●	IRON REBAR/ROD
○	LATERAL	⊕	CABLE TV RISER/BOX CABLE	●	MAG NAIL
⊕	UNKNOWN MANHOLE	⊕	TV MANHOLE/VAULT	■	SECTION MONUMENT
⊕	DRAIN TILE	⊕	GAS VALVE	■	BENCH MARK
⊕	WELL	⊕	GAS METER	☀	CONIFER TREE
⊕	HYDRANT	⊕	GAS MARKER	⊕	DECIDUOUS TREE
⊕	WATER VALVE	⊕	AIR CONDITIONING UNIT	⊕	BUSH
⊕	DOWN SPOUT	⊕	VENT	⊕	WETLAND SYMBOL
⊕	SPRINKLER VALVE	⊕	UTILITY POLE	→	DIRECTIONAL ARROW
⊕	WATER SHUT OFF	⊕	GUY WIRE	CL	=CENTERLINE
⊕	STANDPIPE	⊕	DUMPSTER	CONC.	=CONCRETE
⊕	WATER MANHOLE	⊕	HANDICAP STALL	EL	=ELEVATION
⊕	LIGHT POLE	⊕	SPOT ELEVATION	EXT.	=EXISTING
—	SANITARY SEWER	⊕	SANITARY SEWER	INV.	=INVERT
—	STORM SEWER	—	STORM SEWER	MON	=MONUMENT
—	WATER MAIN	—	WATER MAIN	P.O.B.	=POINT OF BEGINNING
—	FIBER OPTIC LINE	—	FIBER OPTIC LINE	P.O.C.	=POINT OF COMMENCEMENT
—	TELEPHONE LINE	—	TELEPHONE LINE	R.O.W	=RIGHT OF WAY
—	ELECTRIC LINE	—	ELECTRIC LINE	SEC.	=SECTION
—	OVERHEAD WIRES	—	OVERHEAD WIRES	SQ. FT.	=SQUARE FEET
—	CABLE TELEVISION	—	CABLE TELEVISION	W/	=WITH
—	GAS MAIN	—	GAS MAIN	(R)	=RECORDED AS
—	WETLANDS	—	WETLANDS	(D)	=DEEDED AS
—	TREE LINE	—	TREE LINE		
—	NO ACCESS	—	NO ACCESS		



CONC. MON. WITH BRASS CAP NE COR. OF NW 1/4 SEC. 19, T3N, R22E.

CONC. MON. WITH BRASS CAP NE COR. OF SW 1/4 SEC. 19, T3N, R22E.

CHAPUT LAND SURVEYS

ALTA/NSPS LAND TITLE SURVEY

CLIENT
Dewberry

SITE ADDRESS
12721 Louis Sorenson Road, Village of Mount Pleasant, Racine County, Wisconsin

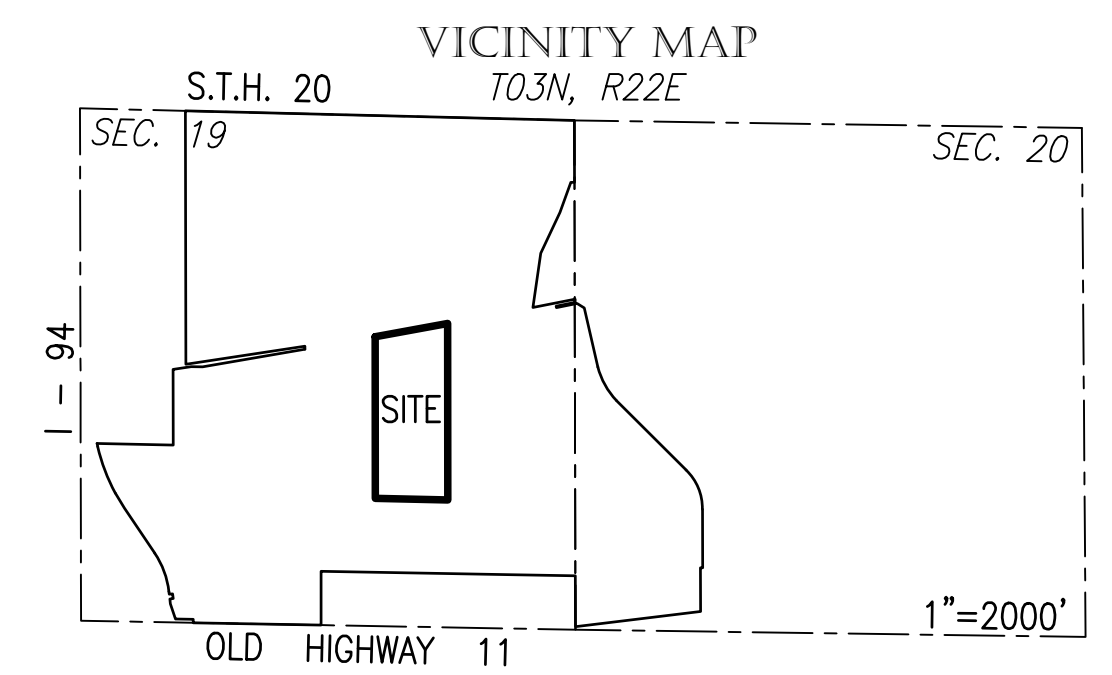
LEGAL DESCRIPTION
That part of the East 1/2 of Section 19, Township 3 North, Range 22 East, bounded as follows: Begin at the Northeast corner of the Southwest 1/4 of the Southeast 1/4 of said Section 19; run thence West 11.44 chains (755.04'), more or less, to the Southeast corner of premises conveyed by George Haidle and wife to Manis Coombs by deed recorded in the Office of the Register of Deeds for Racine County, Wisconsin, in Volume 67 of Deeds, Page 110; thence North 25.33 chains (1671.78 feet), more or less, to the center line of the highway called Burlington Road; thence Northeastly along said center line of said highway to the East line of the West 1/2 of the Northeast 1/4 of said Section 19; thence South 27.68 chains (1826.88 feet), more or less to the place of beginning. Said land being in the Village of Mt. Pleasant, County of Racine, State of Wisconsin.

BASIS OF BEARINGS
Bearings are referenced to the Racine County Coordinate System(2011), in which the South line of the Southwest 1/4 of Section 29 bears N89°33'36"W.

TITLE COMMITMENT
This survey was prepared based on First American Title Insurance Company Commitment No. NCS-1195865-WA1 (PROFORMA), effective date of _____, 20____ which lists the following easements and/or restrictions from schedule B-II:

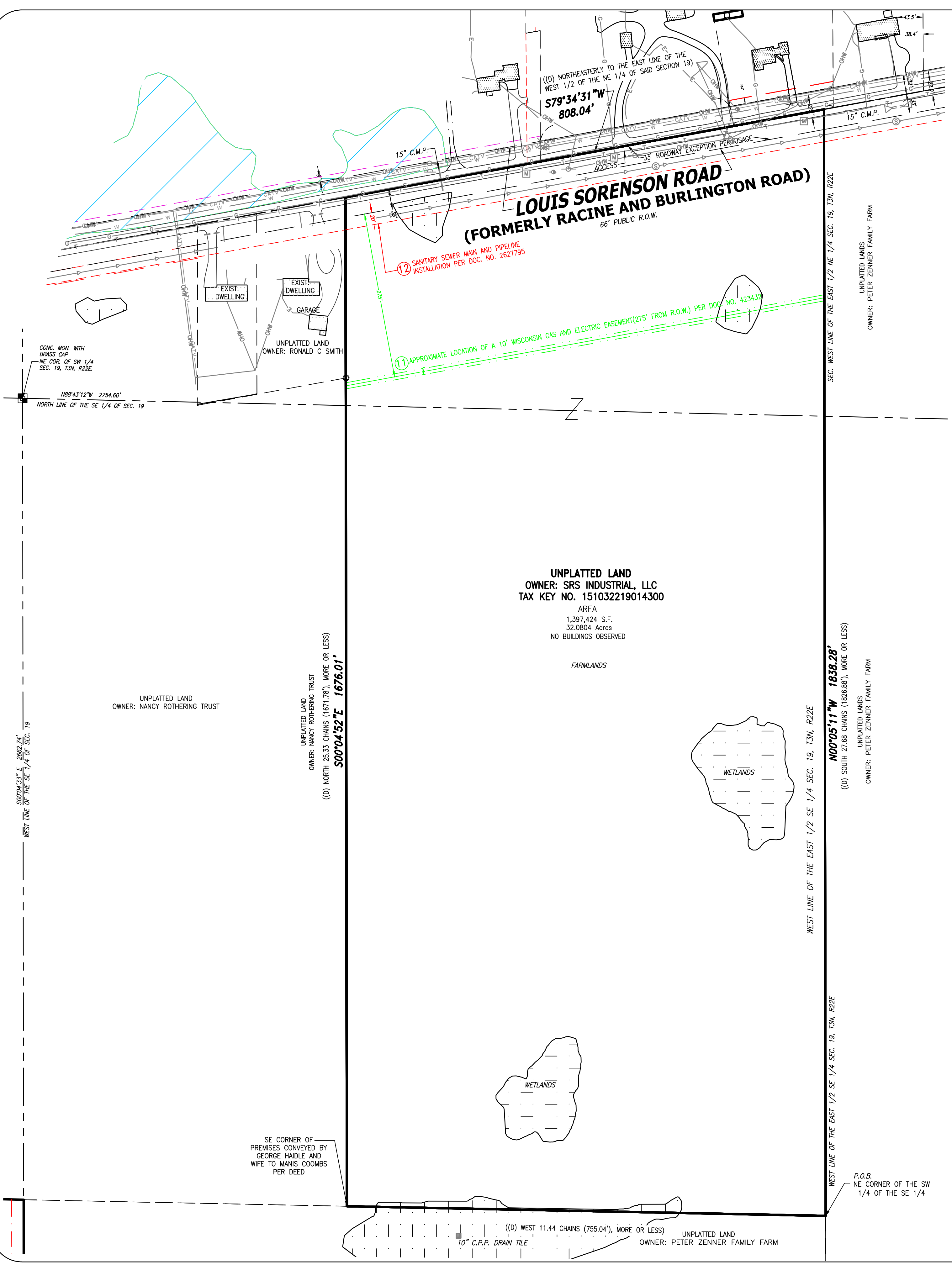
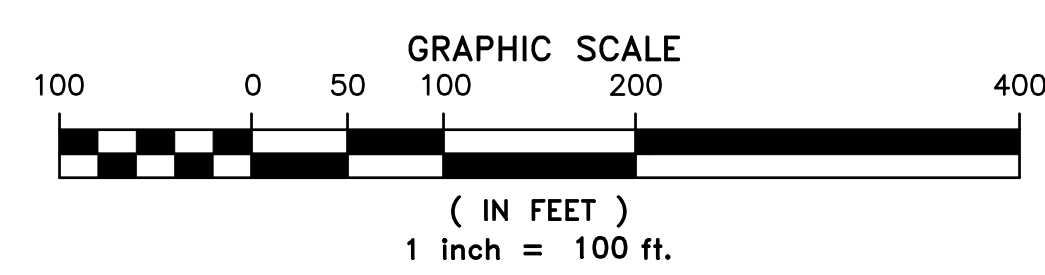
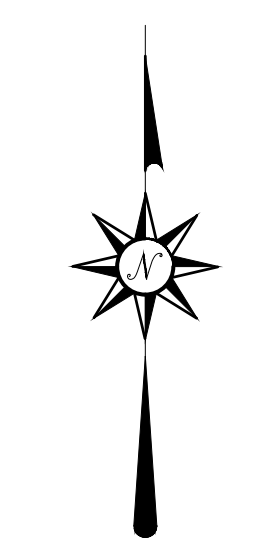
- 16 & 19 visible evidence shown.
7, 9, 13, 14, 15 not survey related.
1-6, 8, 10, 17 & 18 intentionally deleted.
- Utility Easement to Wisconsin Gas & Electric Company, dated March 09, 1937, recorded/filed recorded April 19, 1937, in Volume 331, Page as Document No. 423432. *Affects property by location, shown.*
 - Easement Agreement upon the terms, conditions and provisions contained therein:
Dated: March 28, 2022
Parties: SRS Industrial, LLC and the Village of Mount Pleasant, Racine County, Wisconsin, a municipal corporation
Recorded: May 02, 2022
Instrument No.: 2627795
Affects property by location, shown.

- TABLE "A" ITEMS**
- According to the flood insurance rate map of the County of Racine, Community Panel No. 55101C0204D, effective date of May 2, 2012, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).
 - The Land Area of the subject property is 1,397,424 square feet or 32.0804 acres.
 - A zoning report has not been provided.
 - There are 0 regular parking spaces and 0 handicap space marked on this site.
 - Evidence of underground utilities existing on or serving the surveyed property as determined by markings requested by the surveyor pursuant to a Diggers Hotline One-call center utility locate. Ticket Number 20235205995 & 20235205991. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. Client understands only utility lines with imbedded electric tracer wires or utilities made of materials capable of electric connectivity can be marked at the surface and located. Depth of utilities may prohibit their location even with electric connectivity.



LEGEND

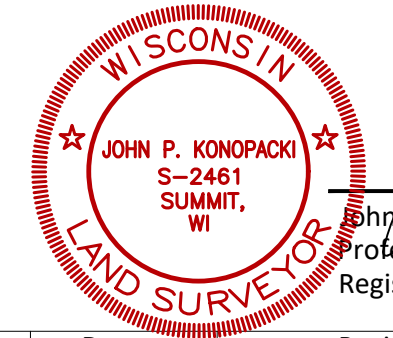
⊙	SANITARY MANHOLE	▲	FIBER OPTIC MARKER	⊠	SIGN
⊕	STORM MANHOLE	⊙	FIBER OPTIC MANHOLE/VAULT	⊠	MAIL BOX
⊕	SEPTIC MOUND VENT	⊠	TELEPHONE PEDESTAL	⊠	FLAG POLE
⊕	SEPTIC COVER	⊕	TELEPHONE MANHOLE/VAULT	⊕	BASKETBALL HOOP
⊕	SANITARY CLEANOUT OR VENT	⊕	TELEPHONE MARKER	⊕	BOLLARD
⊕	CURB INLET	⊕	TRANSFORMER	⊕	CROSS CUT
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⊕	LATERAL	⊕	CABLE TV RISER/BOX CABLE	⊕	MAG NAIL
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⊕	DRAIN TILE	⊕	GAS VALVE	⊕	BENCH MARK
⊕	WELL	⊕	GAS METER	⊕	CONIFER TREE
⊕	HYDRANT	⊕	GAS MARKER	⊕	DECIDUOUS TREE
⊕	WATER VALVE	⊕	AIR CONDITIONING UNIT	⊕	BUSH
⊕	DOWN SPOUT	⊕	VENT	⊕	WETLAND SYMBOL
⊕	SPRINKLER VALVE	⊕	UTILITY POLE	⊕	DIRECTIONAL ARROW
⊕	WATER SHUT OFF	⊕	GUY WIRE	CL	=CENTERLINE
⊕	STANDPIPE	⊕	DUMPSTER	CONC.	=CONCRETE
⊕	WATER MANHOLE	⊕	HANDICAP STALL	EL	=ELEVATION
⊕	LIGHT POLE	⊕	SPOT ELEVATION	EXT.	=EXISTING
—	SANITARY SEWER	⊕	WETLANDS	INV.	=INVERT
—	STORM SEWER	⊕	WETLANDS	MON.	=MONUMENT
—	WATER MAIN	⊕	WETLANDS	P.O.B.	=POINT OF BEGINNING
—	FIBER OPTIC LINE	⊕	WETLANDS	P.O.C.	=POINT OF COMMENCEMENT
—	TELEPHONE LINE	⊕	WETLANDS	R.O.W.	=RIGHT OF WAY
—	ELECTRIC LINE	⊕	WETLANDS	SEC.	=SECTION
—	OVERHEAD WIRES	⊕	WETLANDS	SQ. FT.	=SQUARE FEET
—	CABLE TELEVISION	⊕	WETLANDS	W/	=WITH
—	GAS MAIN	⊕	WETLANDS	(R)	=RECORDED AS
—	WETLANDS	⊕	WETLANDS	(D)	=DEEDED AS
—	TREE LINE	⊕	WETLANDS		
—	NO ACCESS	⊕	WETLANDS		



TO: Microsoft Corporation, a Washington corporation
First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 19, 20(a) and 20(b) of Table A thereof. The field work was completed on December 18, 2023.

Date of Map: January 19, 2024



John P. Konopacki
Professional Land Surveyor
Registration Number S-2461

Date	Revision description	lpm
Mar 27, 2024	Proforma and comments	

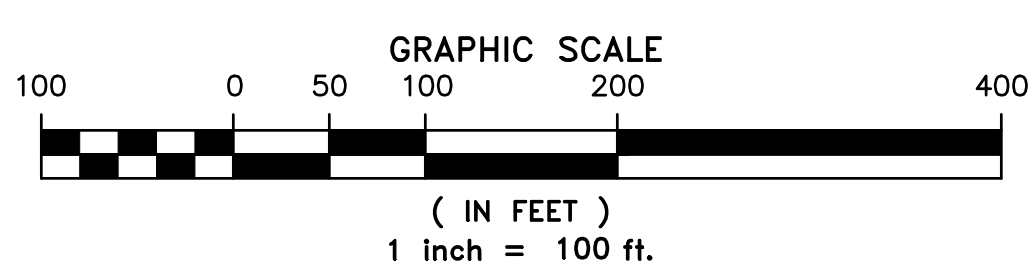
CHAPUT LAND SURVEYS
234 W. Florida Street
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414-224-8068
www.chaputlandsurveys.com

This document is an instrument of professional service, and may be protected by the surveyors work product doctrine or surveyor / client privilege. The information shown hereon is intended solely for the use of the client and client directed third parties. Chaput Land Surveys is a division of Piradea Engineering Group.
DRAFTED BY: lpm
Drawing No. 4404.10

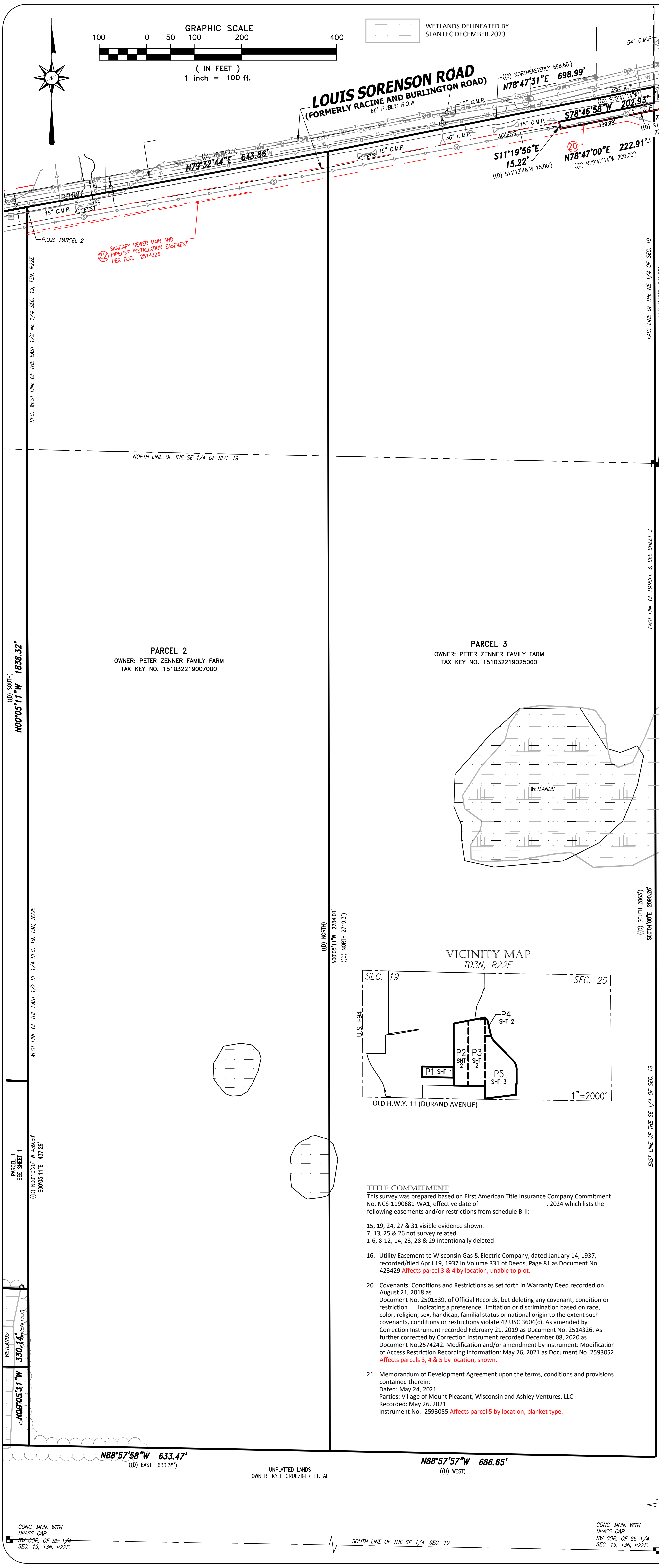
ALTA/NSPS LAND TITLE SURVEY

CHAPUT LAND SURVEYS

CLIENT
Dewberry
SITE ADDRESS
12123 Louis Sorenson Road, Village of Mount Pleasant, Racine County, Wisconsin



WETLANDS DELINEATED BY STANTEC DECEMBER 2023



PARCEL 4
OWNER: PETER ZENNER
FAMILY FARM
TAX KEY NO. 151032219023000
Arc=89.49'
Radius=722.00'
CB=S16°26'50"E
Chord=88.43'
Delta=7°04'55"
((D) CB=S16°26'35"E)

PARCEL 5 ((D) S89°38'24"E 262.49')
SEE SHEET 3
Arc=316.56'
Radius=722.00'
CB=S32°33'20"E
Chord=314.03'
Delta=25°07'18"
((D) ARC=316.47')
((D) CB=S32°33'21"E)
((D) CHORD=313.94')

PARCEL 2
OWNER: PETER ZENNER FAMILY FARM
TAX KEY NO. 151032219007000

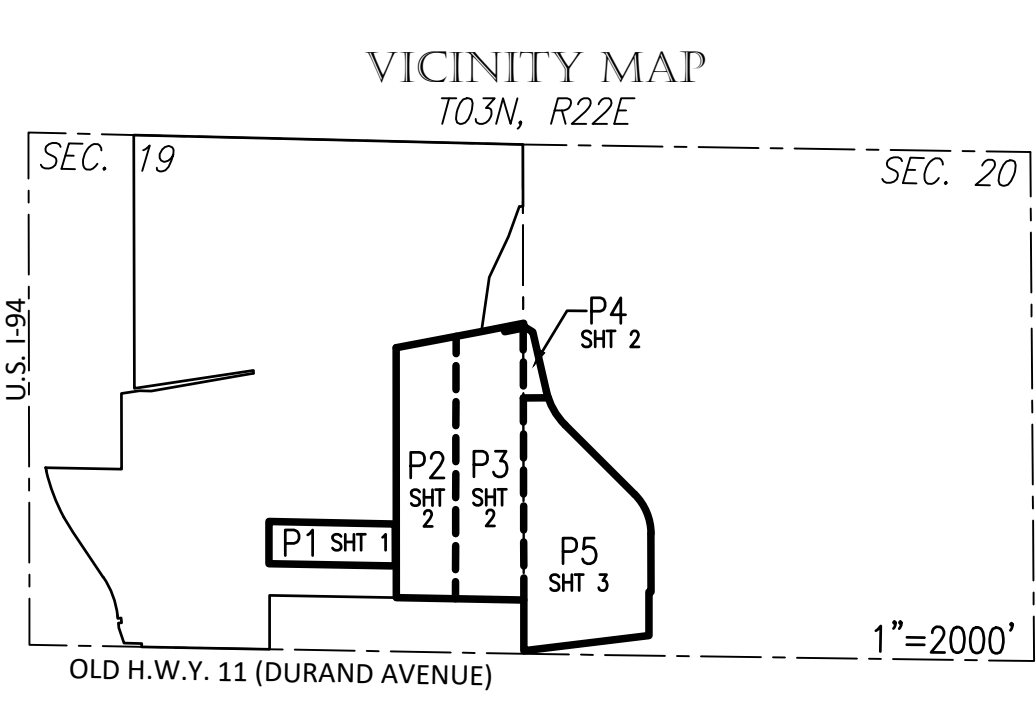
PARCEL 3
OWNER: PETER ZENNER FAMILY FARM
TAX KEY NO. 151032219025000

LEGAL DESCRIPTION

PARCEL 2:
That part of the East 1/2 of Section 19, Township 3 North, Range 22 East, bounded as follows: begin at the intersection of the center line of the Racine and Burlington Road and the West line of the East 1/2 of the Northeast 1/4 of said Section 19; run thence South along the West line of the East 1/2 of the Northeast 1/4 and the West line of the East 1/2 of the Southeast 1/4 of said Section to a point 561 feet due North from the South line of said Section 19; thence East 633.35 feet; more or less, to a point that is 686.65 feet West of the East line of said Section; thence North parallel to the East line of said Section to the center of highway; thence westerly along the center line of said highway to the place of beginning. Said land being in the Village of Mt. Pleasant, Racine County, Wisconsin.
FOR INFORMATIONAL PURPOSES ONLY:
Property Address: 12123 Louis Sorenson Road Sturtevant, WI 53177
Tax Parcel No. 151-03-22-19-007-000

PARCEL 3:
That certain piece or parcel of land situated, lying and being, known and described as all that part of the East 1/2 of Section 19, Township 3 North, Range 22 East, bounded as follows: to-wit: begin at a point on the East line of said Section, 34 rods (561 feet) North of the South line of said Section; run thence West 686.65 feet; thence North 2719.3 feet, to the center of the highway; thence northeasterly along the center line of said highway 698.6 feet; thence South 2,863 feet to the point of beginning said land. Said land being in the Village of Mt. Pleasant, County of Racine, State of Wisconsin. Excepting therefrom that portion of land conveyed in instrument recorded August 21, 2018 as Document No. 2501539, as corrected by correction instrument recorded February 21, 2019 as Document No. 2514326, as further corrected by correction instrument recorded December 08, 2020 as Document No. 2574242.
FOR INFORMATIONAL PURPOSES ONLY:
Property Address: Lands along Louis Sorenson Road Sturtevant, WI 53177
Tax Parcel No. 151-03-22-19-025-000

PARCEL 4:
That certain piece or parcel of land lying and being, known as that part of the west 55 acres of the Northwest 1/4 of Section 20, Township 3 North, Range 22 East, Village of Mt. Pleasant, Racine County, Wisconsin, lying South or Southerly of the center of the public highway. Excepting therefrom: begin at a point in the center line of Louis Sorenson Road North 82°38' East 341.15 feet from the West line of the Northwest 1/4 of Section 20, Township 3 North, Range 22 East; run thence North 82°38' East 169.72 feet; thence South 00°10'30" West 30.61 feet; thence South 04°52' West 215.10 feet; thence West 150.18 feet; thence North 00°10'30" East 223.04 feet to the point of beginning. Said land being in the Village of Mt. Pleasant, Racine County, Wisconsin, as set forth in instrument recorded May 10, 1957, in Volume 608, Page 324, as Document No. 661677. Also excepting therefrom that portion of land conveyed in instrument recorded August 21, 2018 as Document No. 2501539, as corrected by correction instrument recorded February 21, 2019 as Document No. 2514326, as further corrected by correction instrument recorded December 08, 2020 as Document No. 2574242.
FOR INFORMATIONAL PURPOSES:
Property Address: 12123 Louis Sorenson Road Sturtevant, WI 53177
Tax Parcel No. 151-03-22-20-023-000



TITLE COMMITMENT
This survey was prepared based on First American Title Insurance Company Commitment No. NCS-1190681-WA1, effective date of _____, 2024 which lists the following easements and/or restrictions from schedule B-II:

- 15, 19, 24, 27 & 31 visible evidence shown.
- 7, 13, 25 & 26 not survey related.
- 1-6, 8-12, 14, 23, 28 & 29 intentionally deleted
- 16. Utility Easement to Wisconsin Gas & Electric Company, dated January 14, 1937, recorded/ filed April 19, 1937 in Volume 331 of Deeds, Page 81 as Document No. 423429 **Affects parcel 3 & 4 by location, unable to plot.**
- 20. Covenants, Conditions and Restrictions as set forth in Warranty Deed recorded on August 21, 2018 as Document No. 2501539, of Official Records, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c). As amended by Correction Instrument recorded February 21, 2019 as Document No. 2514326. As further corrected by Correction Instrument recorded December 08, 2020 as Document No. 2574242. Modification and/or amendment by instrument: Modification of Access Restriction Recording Information: May 26, 2021 as Document No. 2593052 **Affects parcels 3, 4 & 5 by location, shown.**
- 21. Memorandum of Development Agreement upon the terms, conditions and provisions contained therein:
Dated: May 24, 2021
Parties: Village of Mount Pleasant, Wisconsin and Ashley Ventures, LLC
Recorded: May 26, 2021
Instrument No.: 2593055 **Affects parcel 5 by location, blank type.**

LEGEND

⊙	SANITARY MANHOLE	▲	FIBER OPTIC MARKER	—	SIGN
⊕	STORM MANHOLE	□	FIBER OPTIC MANHOLE/VAULT	▣	MAIL BOX
⊖	SEPTIC MOUND VENT	⊞	TELEPHONE PEDESTAL	⊗	FLAG POLE
⊗	SEPTIC COVER	⊠	TELEPHONE MANHOLE/VAULT	⊙	BASKETBALL HOOP
⊕	SANITARY CLEANOUT OR VENT	⊡	TELEPHONE MARKER	●	BOLLARD
⊞	CURB INLET	⊞	TRANSFORMER	×	CROSS CUT
⊞	STORM INLET	⊞	ELECTRIC METER/PEDESTAL	○	IRON PIPE
⊞	CATCH BASIN	⊞	ELECTRIC MANHOLE/VAULT	●	IRON REBAR/ROD
⊞	LATERAL	⊞	CABLE TV RISER/BOX CABLE	●	MAG NAIL
⊞	UNKNOWN MANHOLE	⊞	TV MANHOLE/VAULT	■	SECTION MONUMENT
⊞	DRAIN TILE	⊞	GAS VALVE	⊙	BENCH MARK
⊞	WELL	⊞	GAS METER	⊙	CONIFER TREE
⊞	HYDRANT	⊞	GAS MARKER	⊙	DECIDUOUS TREE
⊞	WATER VALVE	⊞	AIR CONDITIONING UNIT	⊙	BUSH
⊞	DOWN SPOUT	⊞	VENT	⊙	WETLAND SYMBOL
⊞	SPRINKLER VALVE	⊞	UTILITY POLE	→	DIRECTIONAL ARROW
⊞	WATER SHUT OFF	⊞	GUY WIRE	CL	=CENTERLINE
⊞	STANDPIPE	⊞	DUMPSTER	CONC.	=CONCRETE
⊞	WATER MANHOLE	⊞	HANDICAP STALL	EL.	=ELEVATION
⊞	LIGHT POLE	⊞	SPOT ELEVATION	EXT.	=EXISTING
		—	SANITARY SEWER	INV.	=INVERT
		—	STORM SEWER	MON.	=MONUMENT
		—	WATER MAIN	P.O.B.	=POINT OF BEGINNING
		—	FIBER OPTIC LINE	P.O.C.	=POINT OF COMMENCEMENT
		—	TELEPHONE LINE	R.O.W.	=RIGHT OF WAY
		—	ELECTRIC LINE	SEC.	=SECTION
		—	OVERHEAD WIRES	SQ. FT.	= SQUARE FEET
		—	CABLE TELEVISION	W/	=WITH
		—	GAS MAIN	(R)	=RECORDED AS
		—	WETLANDS	(D)	=DEEDED AS
		—	TREE LINE		
		—	NO ACCESS		

TO: Microsoft Corporation, a Washington corporation
First American Title Insurance Company

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JOHN P. KONOPACKI
S-2461
SUMMIT, WI
LAND SURVEYOR

Date of Map: January 17, 2024

CHAPUT LAND SURVEYS
234 W. Florida Street
Milwaukee, WI 53204

Date	Revision description	ipm
Apr. 8, 2024	Proforma and comments	ipm

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SHEET 2 OF 3 Drawing No. 4404.10-swc

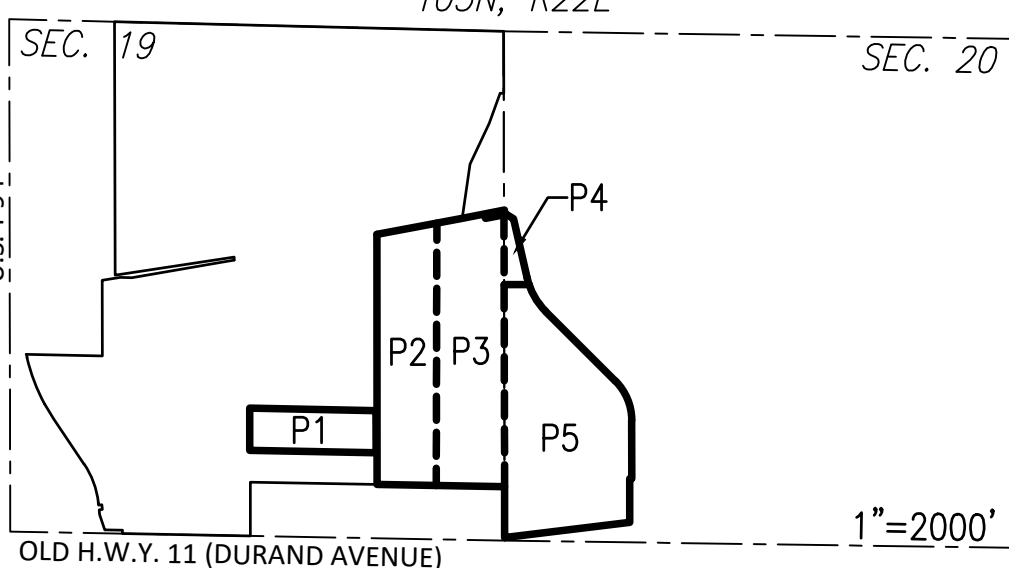
ALTA/NSPS LAND TITLE SURVEY

CLIENT: Dewberry
 SITE ADDRESS: 12123 Louis Sorenson Road, Village of Mount Pleasant, Racine County, Wisconsin

LEGAL DESCRIPTION

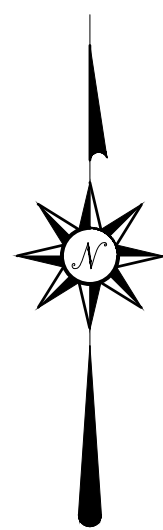
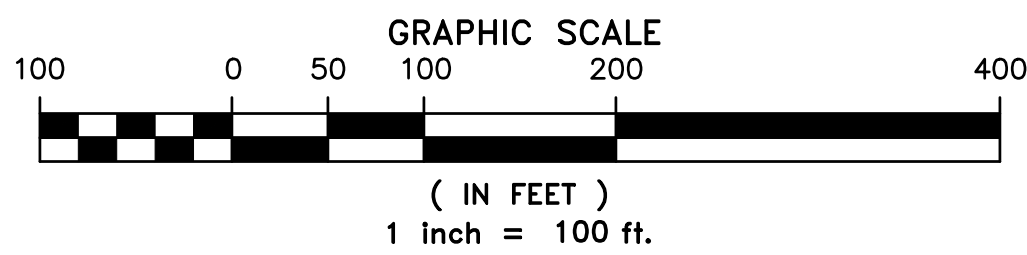
PARCEL 5:
 The Southwest Quarter (SW 1/4) of Section Twenty (20), Township Three (3) North, Range Twenty-Two (22) East, Village of Mt. Pleasant, Racine County, Wisconsin, excepting therefrom a strip of land six (6) rods in width, conveyed by William Gilber and wife to the Racine, Janesville and Mississippi Railroad Company, on the 2nd day of May, 1853, by Warranty Deed, which said deed is recorded in the Office of the Register of Deeds for Racine County, Wisconsin, in Volume 27 of Deeds, on Page 480. Excepting therefrom lands conveyed for highway purposes in instrument recorded December 14, 1983, in Volume 1698, Page 941, as Document No. 1138667 and in instrument recorded December 7, 2001, in Volume 3314, Page 359, as Document No. 1803653. Further excepting therefrom that portion of land conveyed in instrument recorded August 21, 2018 as Document No. 2501539, as corrected by correction instrument recorded February 21, 2019 as Document No. 2514326. As further corrected by correction instrument recorded December 08, 2020 as Document No. 2574242. Further excepting therefrom Certified Survey Map No. 3446 recorded in the Office of the Register of Deeds for Racine County, Wisconsin on May 21, 2021, as Document No. 2592579, wherein Lot 1 is now known as Lots 1 and 2 of CSM 3504.
 FOR INFORMATIONAL PURPOSES ONLY:
 Property Address: 12123 Louis Sorenson Road Sturtevant, WI 53177
 Tax Parcel No. 151-03-22-20-025-000

VICINITY MAP



BASIS OF BEARINGS

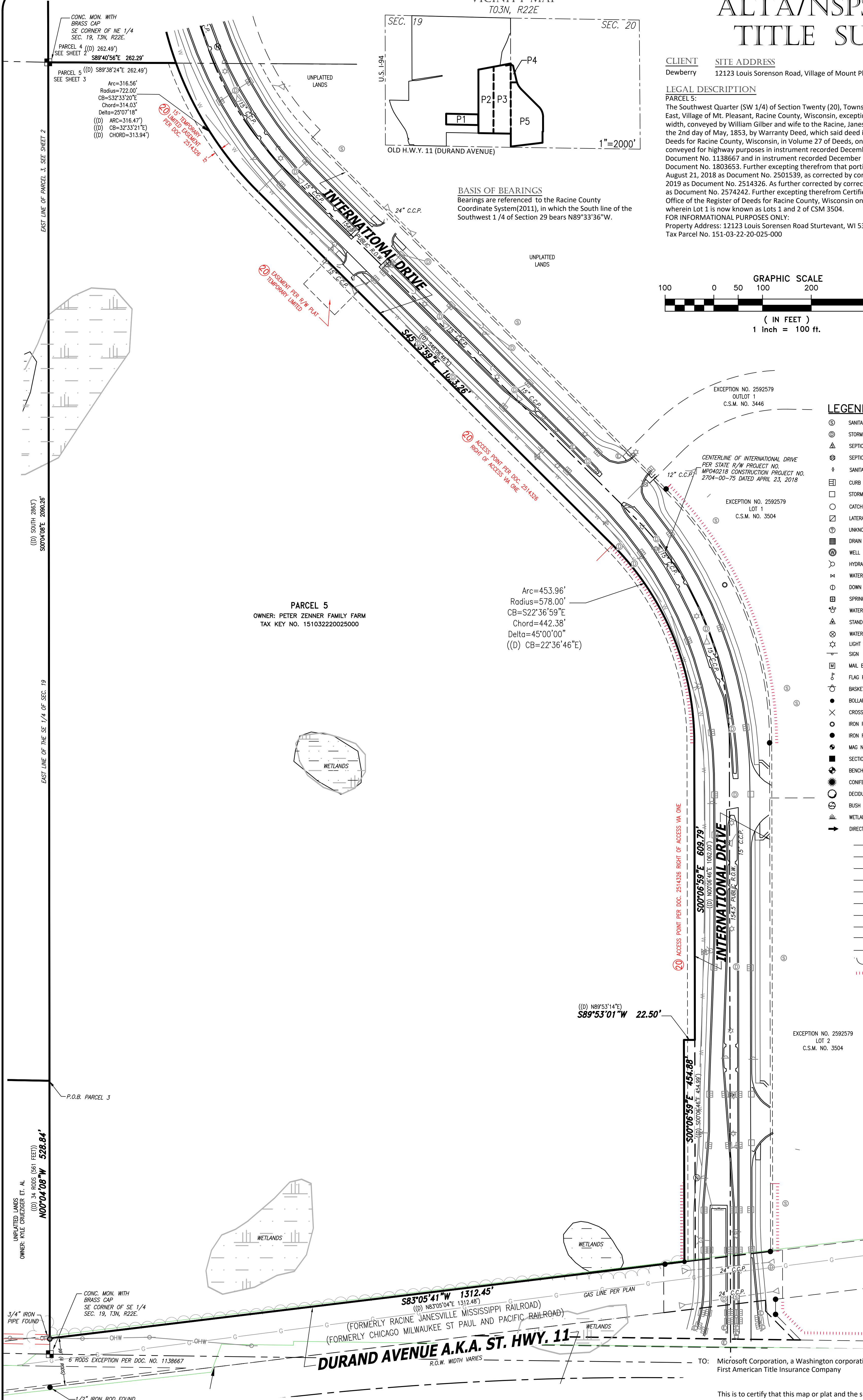
Bearings are referenced to the Racine County Coordinate System(2011), in which the South line of the Southwest 1/4 of Section 29 bears N89°33'36"W.



LEGEND

⊙	SANITARY MANHOLE	△	FIBER OPTIC MARKER
⊕	STORM MANHOLE	⊙	FIBER OPTIC MANHOLE/VAULT
△	SEPTIC MOUND VENT	□	TELEPHONE PEDESTAL
⊕	SEPTIC COVER	⊕	TELEPHONE MANHOLE/VAULT
⊕	SANITARY CLEANOUT OR VENT	△	TELEPHONE MARKER
⊕	CURB INLET	TF	TRANSFORMER
⊕	STORM INLET	⊕	ELECTRIC METER/PEDESTAL
⊕	CATCH BASIN	⊕	ELECTRIC MANHOLE/VAULT
⊕	LATERAL	⊕	CABLE TV RISER/BOX CABLE
⊕	UNKNOWN MANHOLE	⊕	TV MANHOLE/VAULT
⊕	DRAIN TILE	⊕	GAS VALVE
⊕	WELL	⊕	GAS METER
⊕	HYDRANT	△	GAS MARKER
⊕	WATER VALVE	⊕	AIR CONDITIONING UNIT
⊕	DOWN SPOUT	⊕	VENT
⊕	SPRINKLER VALVE	—○—	UTILITY POLE
⊕	WATER SHUT OFF	⊕	GUY WIRE
⊕	STANDPIPE	⊕	DUMPSTER
⊕	WATER MANHOLE	♿	HANDICAP STALL
⊕	LIGHT POLE	+	SPOT ELEVATION
⊕	SIGN	CL	=CENTERLINE
⊕	MAIL BOX	CONC.	=CONCRETE
⊕	FLAG POLE	EL.	=ELEVATION
⊕	BASKETBALL HOOP	EXT.	=EXISTING
⊕	BOLLARD	INV.	=INVERT
⊕	CROSS CUT	MON.	=MONUMENT
⊕	IRON PIPE	P.O.B.	=POINT OF BEGINNING
⊕	IRON REBAR/ROD	P.O.C.	=POINT OF COMMENCEMENT
⊕	MAG NAIL	R.O.W.	=RIGHT OF WAY
⊕	SECTION MONUMENT	SEC.	=SECTION
⊕	BENCH MARK	SQ. FT.	=SQUARE FEET
⊕	CONIFER TREE	W/	=WITH
⊕	DECIDUOUS TREE	(R)	=RECORDED AS
⊕	BUSH	(D)	=DEEDED AS
⊕	WETLAND SYMBOL		
→	DIRECTIONAL ARROW		

—○—	SANITARY SEWER
—○—	STORM SEWER
—○—	WATER MAIN
—○—	FIBER OPTIC LINE
—○—	TELEPHONE LINE
—○—	ELECTRIC LINE
—○—	OVERHEAD WIRES
—○—	CABLE TELEVISION
—○—	GAS MAIN
—○—	WETLANDS
—○—	TREE LINE
—○—	NO ACCESS



TITLE COMMITMENT
 This survey was prepared based on First American Title Insurance Company Commitment No. NCS-1190681-WA1, effective date of _____, 2024 which lists the following easements and/or restrictions from schedule B-II:

- 15, 19, 24, 27 & 31 visible evidence shown.
- 7, 13, 25 & 26 not survey related.
- 1-6, 8-12, 14, 23, 28 & 29 intentionally deleted
- 16, 17 & 22 affect other properties.
- Limitations imposed upon ingress to and egress from the above described premises to Dover/Yorkville Town Line to STH 31, State Trunk Highway (STH) 11 including ramps and connection roads on the right of way thereof, as set forth in a finding, determination and declaration by the State Highway Commission of Wisconsin, Recorded: March 22, 1994 Volume 2355 of records, Page 935, Document No. 1459321 wherein said highway is designated a controlled-access highway under the provisions of Section 84.25 of the Wisconsin Statutes. Authorization for Access to or Across a Controlled-Access Highway recorded July 15, 2004 as Document No. 1983007 Affects parcel 5 by location, blanket statement.

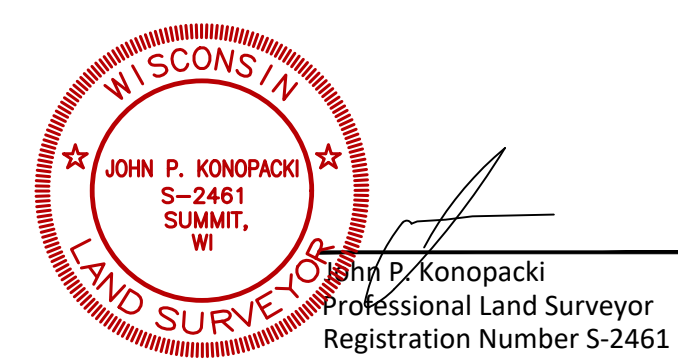
TITLE COMMITMENT (CONTINUED)

- Covenants, Conditions and Restrictions as set forth in Warranty Deed recorded on August 21, 2018 as Document No. 2501539, of Official Records, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c). As amended by Correction Instrument recorded February 21, 2019 as Document No. 2514326. As further corrected by Correction Instrument recorded December 08, 2020 as Document No. 2574242. Modification and/or amendment by instrument: Modification of Access Restriction Recording Information: May 26, 2021 as Document No. 2593052 Affects parcels 3, 4 & 5 by location, shown.
- Memorandum of Development Agreement upon the terms, conditions and provisions contained therein:
 Dated: May 24, 2021
 Parties: Village of Mount Pleasant, Wisconsin and Ashley Ventures, LLC
 Recorded: May 26, 2021
 Instrument No.: 2593055 Affects parcel 5 by location, blanket type.

TO: Microsoft Corporation, a Washington corporation
 First American Title Insurance Company

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Date of Map: January 17, 2024



CHAPUT LAND SURVEYS
 234 W. Florida Street
 Milwaukee, WI 53204
 414-234-8068
 www.chaputlandsurveys.com

Date	Revision description	ipm
Apr. 8, 2024	Proforma and comments	ipm

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SHEET 3 OF 3
 Drawing No. 4404.10-swc

CHAPUT LAND SURVEYS

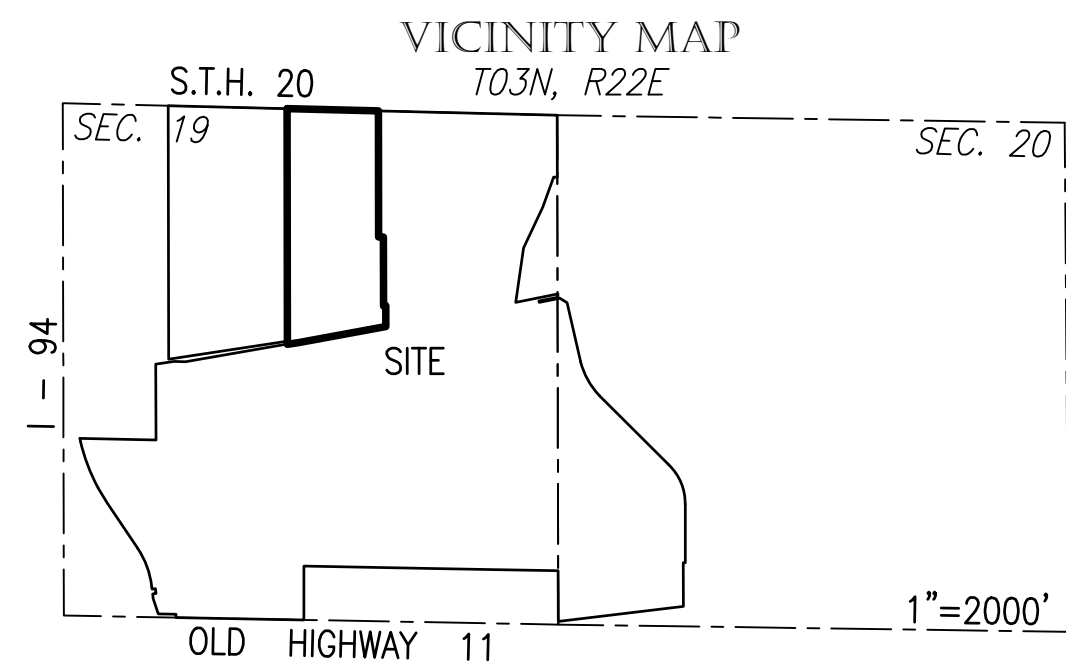
ALTA/NSPS LAND TITLE SURVEY

CHAPUT LAND SURVEYS

TABLE "A" ITEMS

- 3. According to the flood insurance rate map of the County of Racine, Community Panel No. 55101C0204D, effective date of May 2, 2012, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).
- 4. The Land Area of the subject property is 2,310,056 square feet or 53.0316 acres.
- 6(b). A zoning report has not been provided.
- 9. There are 0 regular parking spaces and 0 handicap space marked on this site.
- 11(b). Evidence of underground utilities existing on or serving the surveyed property as determined by markings requested by the surveyor pursuant to a Diggers Hotline One-call center utility locate. Ticket Number 20235206052 & 20235206050. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. Client understands only utility lines with imbedded electric tracer wires or utilities made of materials capable of electric connectivity can be marked at the surface and located. Depth of utilities may prohibit their location even with electric connectivity.

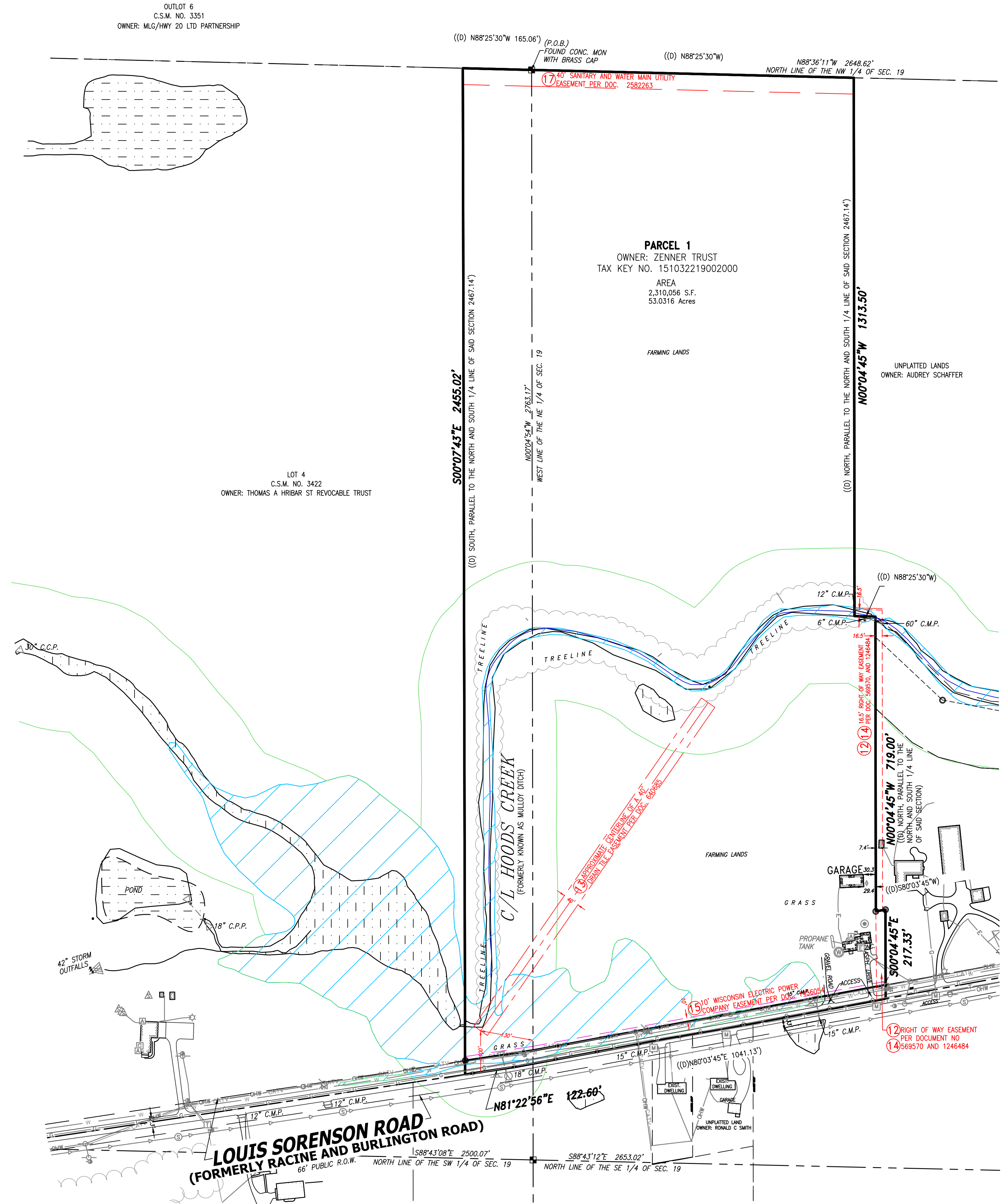
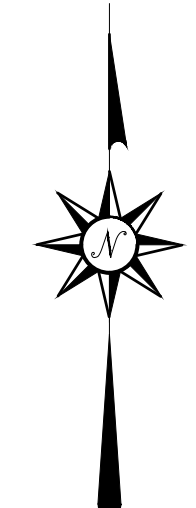
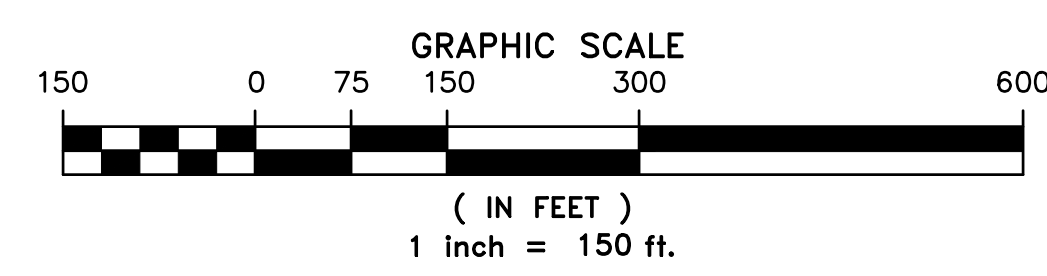
OUTLOT 6
C.S.M. NO. 3351
OWNER: MLG/HWY 20 LTD PARTNERSHIP



- Wetlands delineated by Stantec December 2023
- Racine County GIS 2010 Environmental Corridors
- Racine County GIS FEMA Floodplain

LEGEND

- | | | |
|-----------------------------|-----------------------------|--------------------------------|
| ⊙ SANITARY MANHOLE | △ FIBER OPTIC MARKER | — SIGN |
| ⊙ STORM MANHOLE | ⊙ FIBER OPTIC MANHOLE/VAULT | ☐ MAIL BOX |
| ⊙ SEPTIC MOUND VENT | ☐ TELEPHONE PEDESTAL | ☐ FLAG POLE |
| ⊙ SEPTIC COVER | ⊙ TELEPHONE MANHOLE/VAULT | ⊙ BASKETBALL HOOP |
| ⊙ SANITARY CLEANOUT OR VENT | △ TELEPHONE MARKER | ● BOLLARD |
| ☐ CURB INLET | ☐ TRANSFORMER | × CROSS CUT |
| ☐ STORM INLET | ☐ ELECTRIC METER/PEDESTAL | ○ IRON PIPE |
| ○ CATCH BASIN | ⊙ ELECTRIC MANHOLE/VAULT | ● IRON REBAR/ROD |
| ⊙ LATERAL | ☐ CABLE TV RISER/BOX CABLE | ● MAG NAIL |
| ⊙ UNKNOWN MANHOLE | ⊙ TV MANHOLE/VAULT | ■ SECTION MONUMENT |
| ☐ DRAIN TILE | ⊙ GAS VALVE | ⊙ BENCH MARK |
| ⊙ WELL | ☐ GAS METER | ☐ CONIFER TREE |
| ⊙ HYDRANT | △ GAS MARKER | ☐ DECIDUOUS TREE |
| ⊙ WATER VALVE | ☐ AIR CONDITIONING UNIT | ☐ BUSH |
| ⊙ DOWN SPOUT | ⊙ VENT | ☐ WETLAND SYMBOL |
| ☐ SPRINKLER VALVE | ☐ UTILITY POLE | → DIRECTIONAL ARROW |
| ☐ WATER SHUT OFF | ☐ GUY WIRE | CL. = CENTERLINE |
| ⊙ STANDPIPE | ☐ DUMPSTER | CONC. = CONCRETE |
| ☐ WATER MANHOLE | ☐ HANDICAP STALL | EL. = ELEVATION |
| ☐ LIGHT POLE | ⊙ SPOT ELEVATION | EXT. = EXISTING |
| | → SANITARY SEWER | INV. = INVERT |
| | → STORM SEWER | MON. = MONUMENT |
| | → WATER MAIN | P.O.B. = POINT OF BEGINNING |
| | → F.O. = FIBER OPTIC LINE | P.O.C. = POINT OF COMMENCEMENT |
| | → T. = TELEPHONE LINE | R.O.W. = RIGHT OF WAY |
| | → E. = ELECTRIC LINE | SEC. = SECTION |
| | → OHW = OVERHEAD WIRES | SQ. FT. = SQUARE FEET |
| | → CATV = CABLE TELEVISION | W/ = WITH |
| | → G. = GAS MAIN | (R) = RECORDED AS |
| | → WET = WETLANDS | (D) = DEEDED AS |
| | → TREE LINE | |
| | → NO ACCESS | |



CLIENT
Dewberry

SITE ADDRESS
12804 Louis Sorenson Road, Village of Sturtevant, Racine County, Wisconsin

LEGAL DESCRIPTION
ALL OF THAT PART OF THE NORTH 1/2 OF SECTION 19, TOWNSHIP 3 NORTH, RANGE 22 EAST, DESCRIBED AS FOLLOWS: BEGIN AT THE NORTH 1/4 CORNER OF SECTION 19; RUN THENCE NORTH 88° 25' 30" WEST ALONG THE NORTH LINE OF SAID SECTION 165.06 FEET; THENCE SOUTH PARALLEL TO THE NORTH AND SOUTH 1/4 LINE OF SAID SECTION 2467.14 FEET TO THE CENTER LINE OF A PUBLIC HIGHWAY; THENCE NORTH 80° 3' 45" EAST ALONG THE CENTERLINE OF SAID HIGHWAY 1041.13 FEET; THENCE NORTH PARALLEL TO THE NORTH AND SOUTH 1/4 LINE OF SAID SECTION 233.00 FEET; THENCE SOUTH 80° 3' 45" WEST PARALLEL WITH THE CENTERLINE OF THE AFOREMENTIONED HIGHWAY 24.00 FEET; THENCE NORTH PARALLEL TO THE NORTH AND SOUTH 1/4 LINE OF SAID SECTION 719.00 FEET; THENCE NORTH 88° 25' 30" WEST PARALLEL TO THE NORTH LINE OF SAID SECTION 50.97 FEET; THENCE NORTH PARALLEL TO THE NORTH AND SOUTH 1/4 LINE OF SAID SECTION 1312.06 FEET TO THE NORTH LINE OF SAID SECTION; THENCE NORTH 88° 25' 30" WEST ALONG THE NORTH LINE OF SAID SECTION 786.22 FEET TO ITS NORTH 1/4 CORNER AND TO THE PLACE OF BEGINNING. SAID LAND BEING IN THE VILLAGE OF MT. PLEASANT, RACINE COUNTY, WISCONSIN.

BASIS OF BEARINGS
Bearings are referenced to the Racine County Coordinate System(2011), in which the South line of the Southwest 1/4 of Section 29 bears N89°33'36"W.

TITLE COMMITMENT
This survey was prepared based on First American Title Insurance Company Commitment No. NCS-1190679-WA1, effective date of _____, 2024 which lists the following easements and/or restrictions from schedule B-II:

- 9, 11, 21 & 24 visible evidence shown.
7 19 & 20 not survey related.
1-6, 8, 10, 18, 22 & 23 intentionally deleted.
- 12. Terms, conditions, restrictions and provisions relating to the use and maintenance of the easement or right of way as set forth in Warranty Deed recorded on January 25, 1951 in Volume 513 of Deeds, Pages 72-73, as Document No. 569570. **Affects property by location, shown.** as approximately shown on ALTA/NSPS Survey by Chaput Land Surveys dated January 16, 2024 and designated as Job No. 4404.10.
- 13. Drainage Easement to Hood's Creek Drainage District, organized under Chapter 89 of the Wisconsin Statutes, dated December 03, 1955, recorded/filed December 07, 1955 in Volume 127, Pages 589-590 as Document No. 640685. **Affects property by location, shown.** as approximately shown on ALTA/NSPS Survey by Chaput Land Surveys dated January 16, 2024 and designated as Job No. 4404.10.
- 14. Terms, conditions, restrictions and provisions relating to the use and maintenance of the easement or right of way as set forth in Abridgment of Final Judgment recorded on December 17, 1987 in Volume 1895 of Records, Pages 448-449, as Document No. 1246484. The above document was re-recorded January 19, 1988 in Volume 1898 of Records, Pages 980-981 in/as Document No. 1248431 of Official Records. **Affects property by location, shown.** as approximately shown on ALTA/NSPS Survey by Chaput Land Surveys dated January 16, 2024 and designated as Job No. 4404.10.
- 15. Utility Easement to Wisconsin Electric Power Company, dated February 21, 1994, recorded/filed February 22, 1994 in Volume 2347, Page 9 as Document No. 1456054. **Affects property by location, shown.** as approximately shown on ALTA/NSPS Survey by Chaput Land Surveys dated January 16, 2024 and designated as Job No. 4404.10.
- 16. Order in the matter of addition of lands to Mt. Pleasant Storm Water Drainage District No. 1 recorded on May 28, 1996 in Volume 2539, Pages 429-471 as Document No. 1540010. **Affects property by location, blanket statement.**
- 17. Easement Agreement upon the terms, conditions and provisions contained therein:
Dated: December 10, 2020
Parties: Dave P. Zenner and Gloria A. Zenner, or their successor, Trustees of the Dave P. and Gloria A. Zenner Trust dated March 10, 2008 and the Village of Mount Pleasant, Racine County, Wisconsin, a municipal corporation
Recorded: February 24, 2021
Instrument No.: 2582263
Affects property by location, shown.

TO: Microsoft Corporation, a Washington corporation
First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 19, 20(a) and 20(b) of Table A thereof. The field work was completed on December 18, 2023.

Date of Map: January 19, 2024

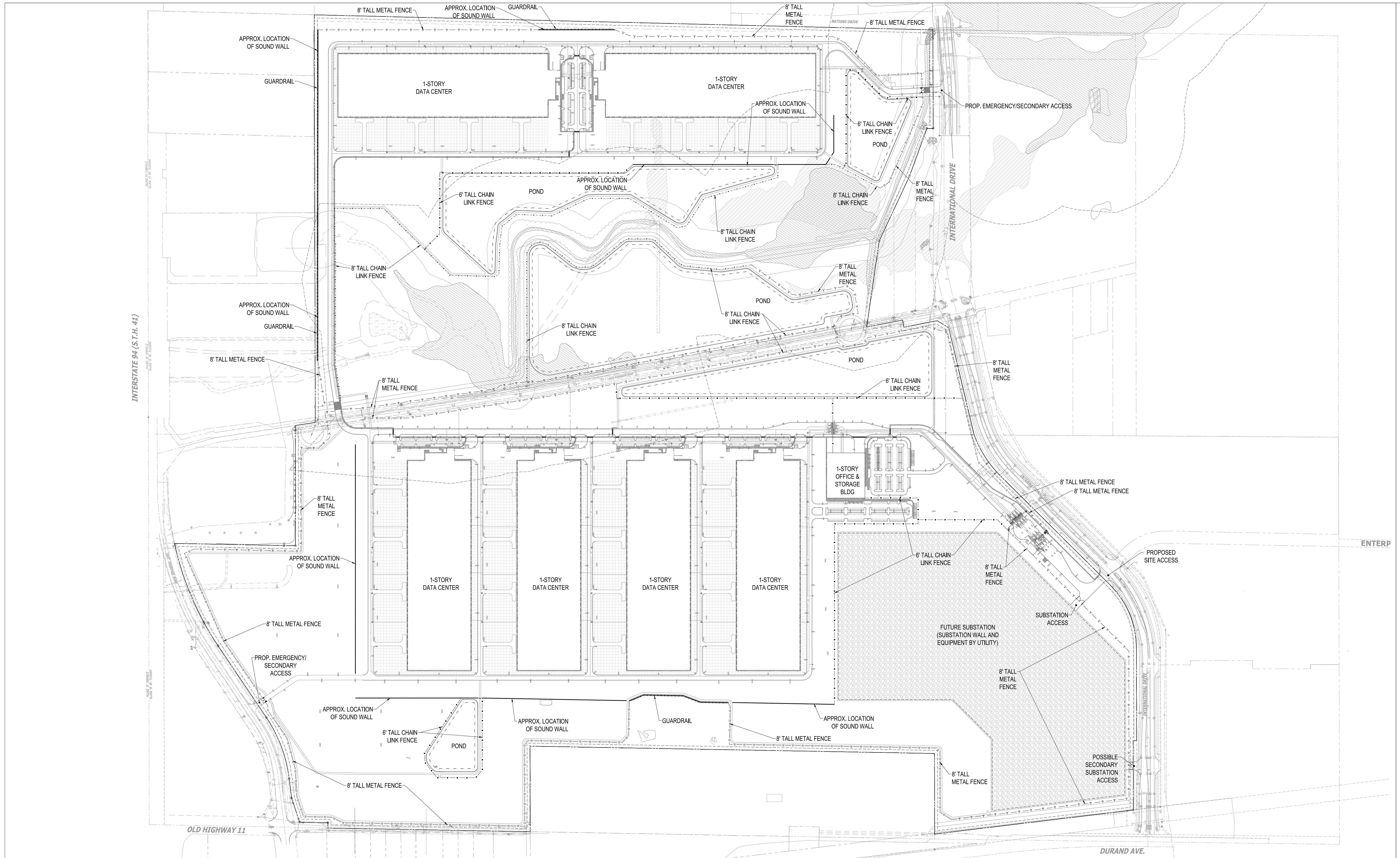
JOHN P. KONOPACKI
S-2461
SUMMIT, WI
LAND SURVEYOR

John P. Konopacki
Professional Land Surveyor
Registration Number S-2461

Date	Revision description	lpm
Apr. 18, 2024	Proforma and comments	

CHAPUT LAND SURVEYS
234 W. Florida Street
Milwaukee, WI 53204
414-224-8068
www.chaputlandsurveys.com

This document is an instrument of professional service, and may be protected by the surveyors work product doctrine or surveyor/client privilege. The information shown hereon is intended solely for the use of the client and client directed third parties. Chaput Land Surveys is a division of Pinnacle Engineering Group.
DRAFTED BY: lps
Drawing No. 4404.10



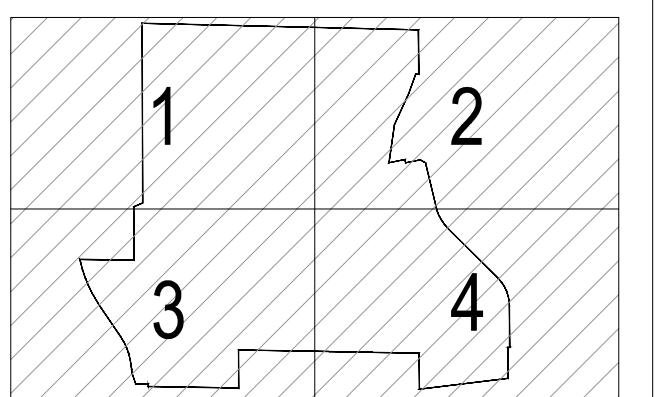
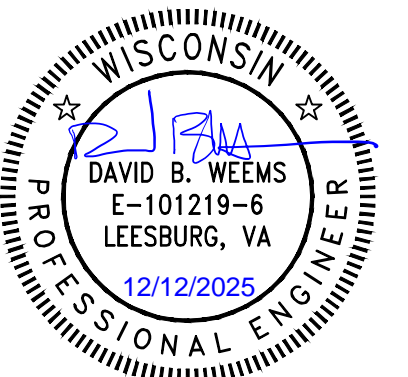
Dewberry Engineers Inc.
1503 Edwards Ferry Road
Suite 200
Leesburg, VA 20176-6680
703.771.8004

MKE 54-59

2700 International Drive
Sturtevant, WI 53177

Design: SARAH JONUZAJ, CONNOR WHALEN
Drawn: SARAH JONUZAJ, CONNOR WHALEN
Checked: ELIZABETH SOBECKE, DAVID WEEMS
Date: OCTOBER 29, 2025

Registration



Revisions

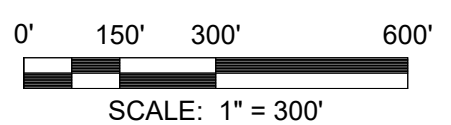
No.	Date	Description
0	12 DEC 2025	MKE54-59 SITE PLAN I/P

Package

MKE54-59

Sheet Title/Number

CIVIL SITE MASTER PLAN FENCE & WALL OVERALL



LEGEND

	PROPERTY LINE		EXISTING WETLAND (HATCHED)		8' TALL METAL FENCE		FIRE HYDRANT		EXISTING WATER SERVICE SUPPLY
	CONCRETE SIDEWALK		EXISTING FLOODPLAIN		8' TALL METAL FENCE		EXISTING SANITARY SEWER PIPE		WATER SERVICE SUPPLY
	MECHANICAL/ELECTRICAL EQUIPMENT YARD		FEMA FRINGE		8' TALL CHAIN LINK FENCE		PROPOSED SANITARY SEWER PIPE		FIRE PROTECTION WATER SUPPLY
	FUTURE SUBSTATION				8' TALL CHAIN LINK FENCE		EXISTING SANITARY SEWER MANHOLE		SITE LIGHTING
					6' TALL CHAIN LINK FENCE		PROPOSED SANITARY SEWER MANHOLE		
					GUARDRAIL				
					SOUND WALL				

**MKE54-59
DATA CENTER
12023 DURAND AVE
MT PLEASANT, WI**

MICROSOFT

Design Manager	RENATA BOLLICH
Layout Manager	
Civil, Site Survey, Landscaping Technical Lead	DUANE THOMAS
Architectural & Structural Technical Lead	JORGE GONZALEZ / TRAVIS TEST
Mech, Plumbing & Fire Protection Technical Lead	SEAN ABBOTT / JOSH MARKS
Building Automation Systems (BAS) Technical Lead	BILL GEMBINSKI
Electrical Technical Lead	JEREMY WIKSTROM
Electrical Power Management Systems (EPMS) Technical Lead	AIMMAR ALKHUWATER
Telecommunications / Network Technical Lead	LEIANNA BOLEY
Security Design Manager	BRIAN BURKE

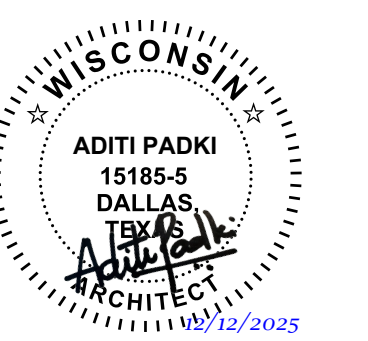
DESIGN TEAM

Civil Engineering Lead	DAVID WEEMS / DEWBERRY
Structural Engineering Lead	BINYAM JEMAL / BMcD
Architectural Lead	ADITI PADKI / BMcD
Mechanical Engineering Lead	JAKE COLBRUNN / BMcD
Plumbing Engineering Lead	
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Electrical Engineering Lead	JASON PHAM / BMcD
Telecommunications / Network Engineering Lead	CHAD STILWELL / BMcD
Security Systems Engineering Lead	JUSTIN JACOBSON / Z BETA

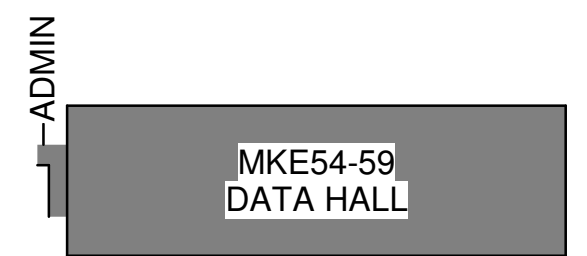
Revisions

No.	Date	Description
0	12 DEC 2025	MKE54-59 SITE PLAN IFF

Registration



Sector Key Plan



Package

MKE54-59

Sheet Title/Number

**ARCHITECTURAL
FLOOR PLAN**

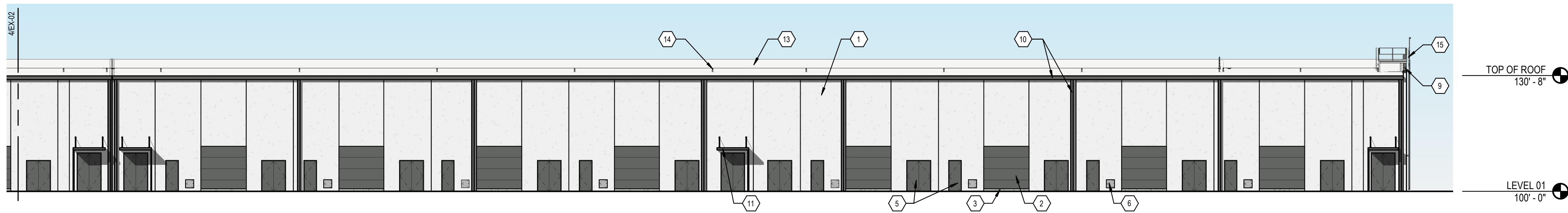
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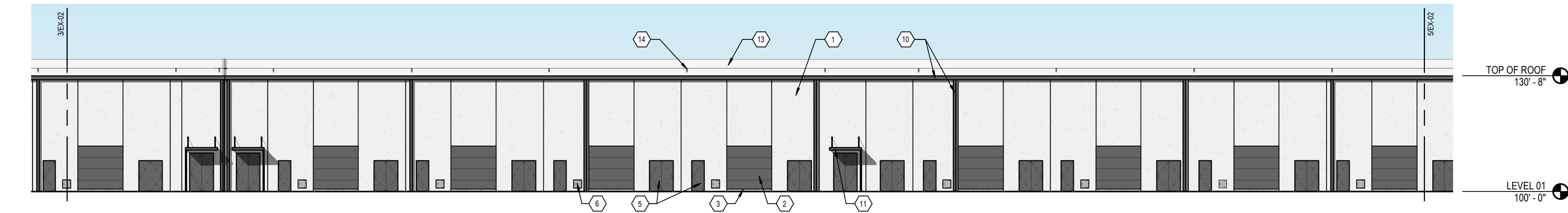
1 ARCHITECTURAL FLOOR PLAN

1/64" = 1'-0"

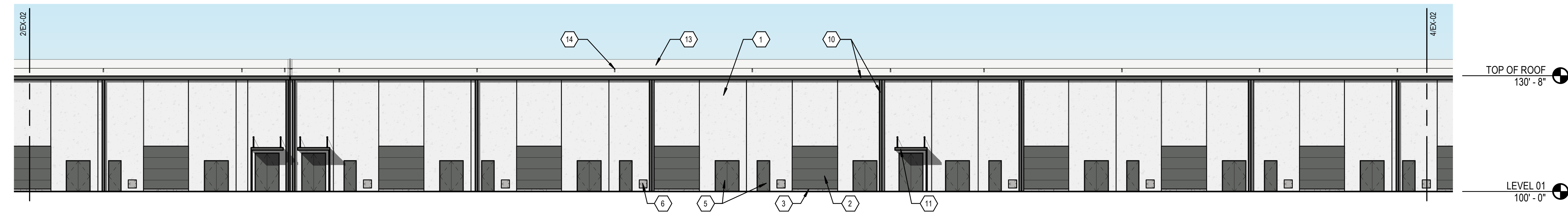
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1	INSULATED PRECAST ARCHITECTURAL CONCRETE PANELS
2	INSULATED METAL PANELS
3	CONCRETE FACED INSULATION PANELS
4	PREFINISHED, PERFORATED FORMED METAL PANELS
5	PAINTED HOLLOW METAL DOORS
6	EQUIPMENT ACCESS DOORS
7	PREFINISHED OVERHEAD COILING DOOR
8	CURTAIN WALL SYSTEM
9	PREFINISHED METAL COPING
10	PREFINISHED METAL GUTTERS WITH DOWNSPOUTS
11	PREFINISHED METAL CANOPY WITH DOWNSPOUTS
12	METAL COMPOSITE PANEL CANOPY
13	WHITE THERMOPLASTIC MEMBRANE ROOFING
14	ROOF LIFELINE FALL PROTECTION
15	ROOF ACCESS LADDER AND PLATFORM
16	WIRE MESH FENCING
17	GALVANIZED STEEL GUARDRAIL
18	LOADING DOCK SEAL



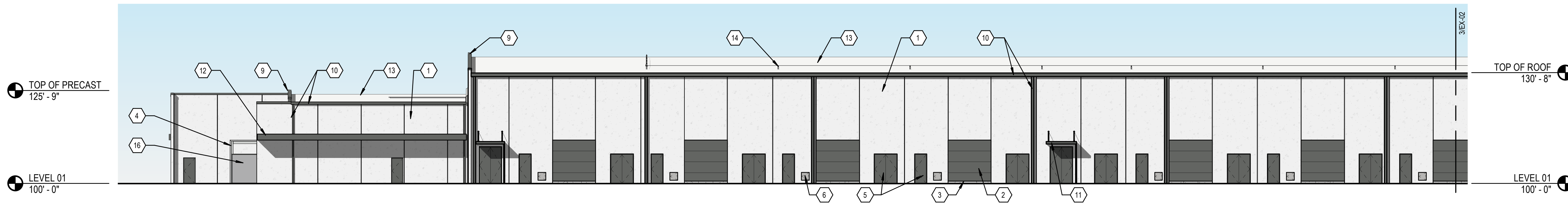
5 ENLARGED EAST ELEVATION
1/16" = 1'-0"



4 ENLARGED EAST ELEVATION
1/16" = 1'-0"



3 ENLARGED EAST ELEVATION
1/16" = 1'-0"



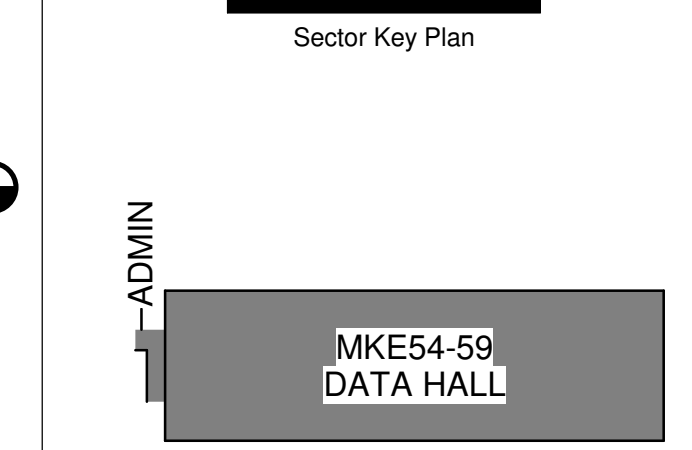
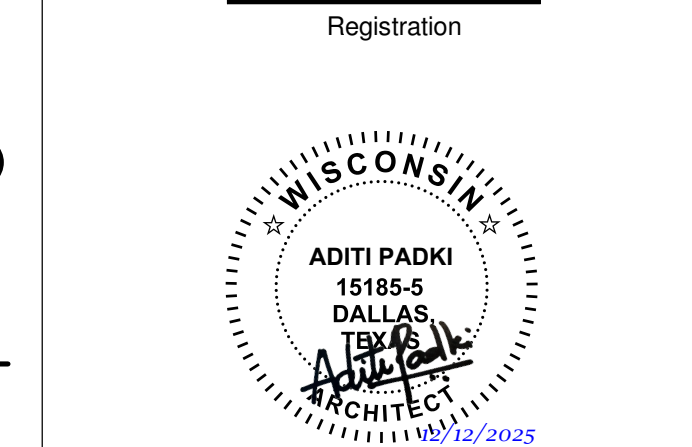
2 ENLARGED EAST ELEVATION
1/16" = 1'-0"



1 OVERALL EAST ELEVATION
1" = 50'-0"

MICROSOFT	
Design Manager	RENATA BOLLICH
Layout Manager	DUANE THOMAS
Civil, Site Survey, Landscaping Technical Lead	JORGE GONZALEZ / TRAVIS TEST
Architectural & Structural Technical Lead	SEAN ABBOTT / JOSH MARKS
Mech, Plumbing & Fire Protection Technical Lead	BILL GEMBINSKI
Building Automation Systems (BAS) Technical Lead	JEREMY WIKSTROM
Electrical Technical Lead	Electrical Power Management Systems (EPMS) Technical Lead
AIMAR ALKHUWATER	Telecommunications / Network Technical Lead
LEIANNA BOLEY	Security Design Manager
BRIAN BURKE	
DESIGN TEAM	
Civil Engineering Lead	DAVID WEEMS / DEWBERRY
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Electrical Engineering Lead	CHAD STILWELL / BMcD
Telecommunications / Network Engineering Lead	JUSTIN JACOBSON / Z BETA
Security Systems Engineering Lead	

No.	Date	Description
0	12 DEC 2025	MKE54-59 SITE PLAN IFP



Package
MKE54-59
Sheet Title/Number

**ARCHITECTURAL
ELEVATIONS**

ELEVATION SHEET NOTES	
#	MATERIAL
1	INSULATED PRECAST ARCHITECTURAL CONCRETE PANELS
2	INSULATED METAL PANELS
3	CONCRTE FACED INSULATION PANELS
4	PREFINISHED, PERFORATED FORMED METAL PANELS
5	PAINTED HOLLOW METAL DOORS
6	EQUIPMENT ACCESS DOORS
7	PREFINISHED OVERHEAD COILING DOOR
8	CURTAIN WALL SYSTEM
9	PREFINISHED METAL COPING
10	PREFINISHED METAL GUTTERS WITH DOWNSPOUTS
11	PREFINISHED METAL CANOPY WITH DOWNSPOUTS
12	METAL COMPOSITE PANEL CANOPY
13	WHITE THERMOPLASTIC MEMBRANE ROOFING
14	ROOF LIFELINE FALL PROTECTION
15	ROOF ACCESS LADDER AND PLATFORM
16	WIRE MESH FENCING
17	GALVANIZED STEEL GUARDRAIL
18	LOADING DOCK SEAL

MICROSOFT

Design Manager	RENATA BOLLICH
Layout Manager	
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Security Design Manager	BRIAN BURKE

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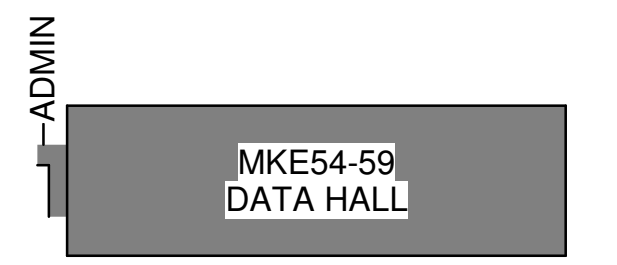
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Registration



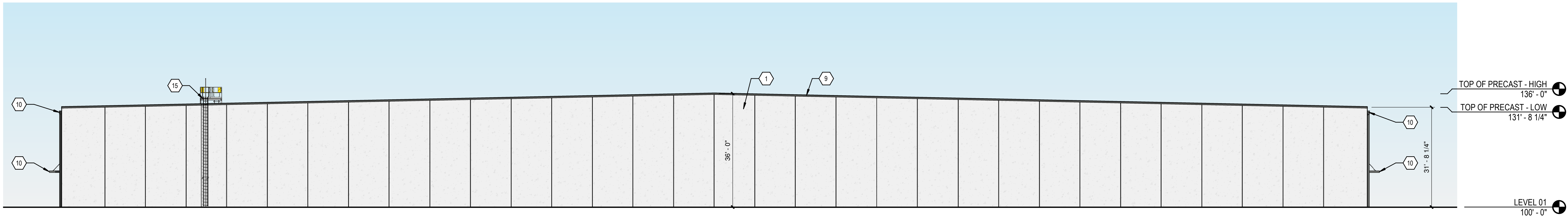
Sector Key Plan



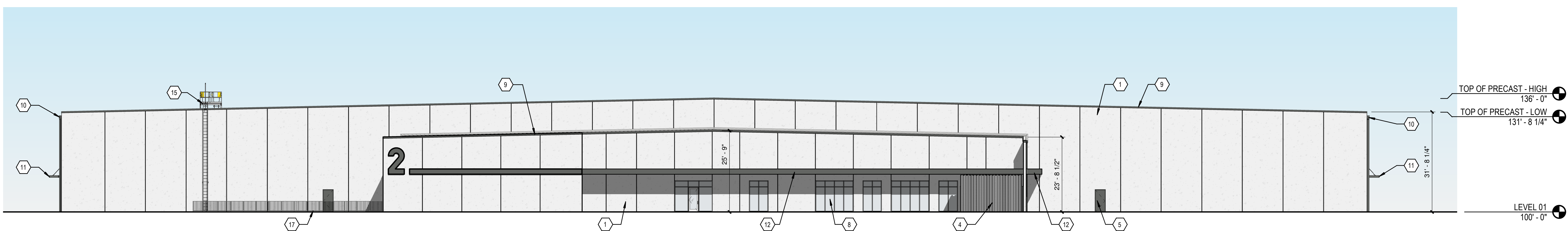
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Sheet Title/Number

**ARCHITECTURAL
ELEVATIONS**



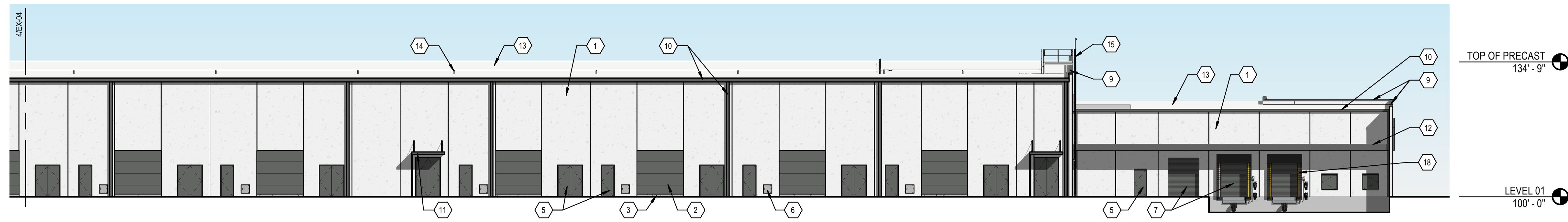
2 NORTH ELEVATION
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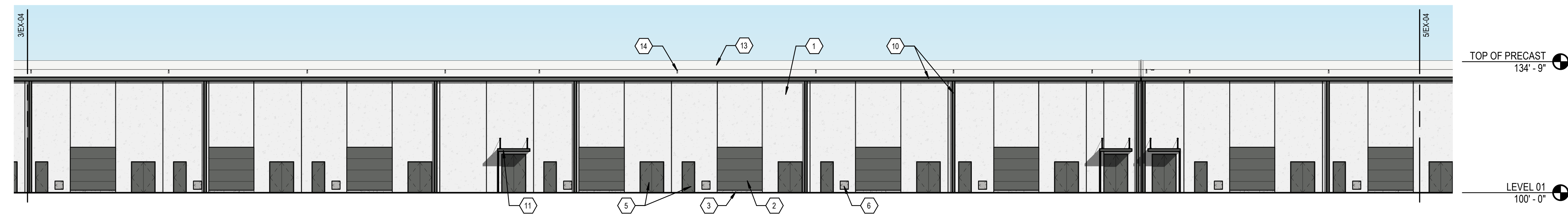
1 SOUTH ELEVATION
1/16" = 1'-0"

ELEVATION SHEET NOTES	
#	MATERIAL

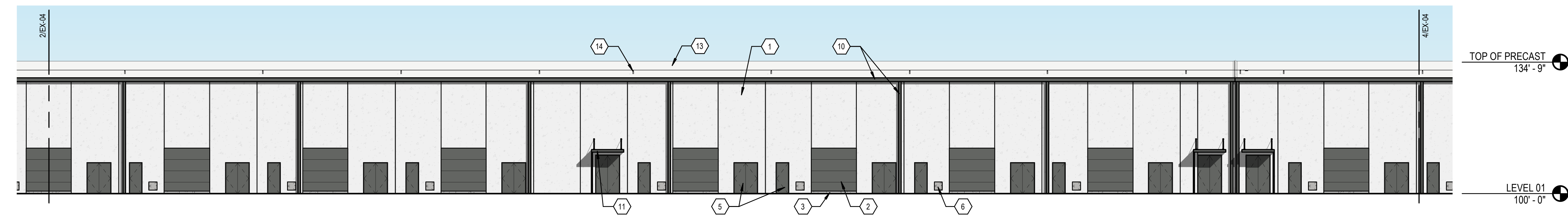
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4	PREFINISHED, PERFORATED FORMED METAL PANELS
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16	WIRE MESH FENCING
17	GALVANIZED STEEL GUARDRAIL
18	LOADING DOCK SEAL



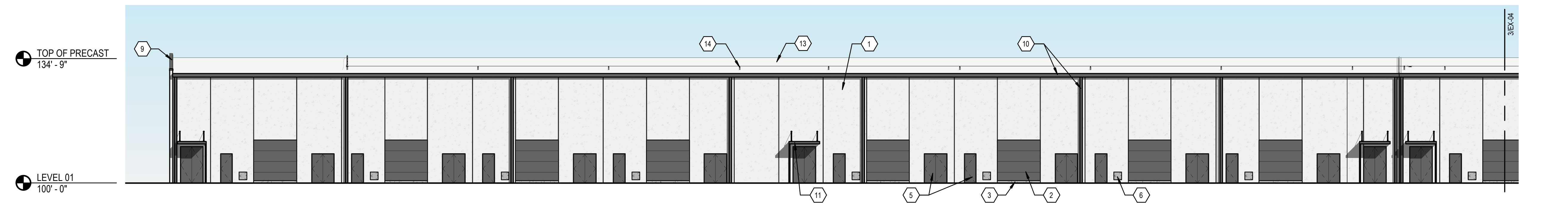
5 ENLARGED WEST ELEVATION
1/16" = 1'-0"



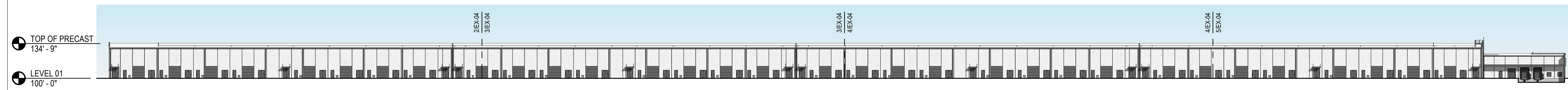
4 ENLARGED WEST ELEVATION
1/16" = 1'-0"



3 ENLARGED WEST ELEVATION
1/16" = 1'-0"



2 ENLARGED WEST ELEVATION
1/16" = 1'-0"



1 OVERALL WEST ELEVATION
1" = 50'-0"

**BURNS
MCDONNELL**
9400 Ward Parkway
Kansas City, MO 64114
www.burnsmcd.com
REGISTRATION #: 1308-11

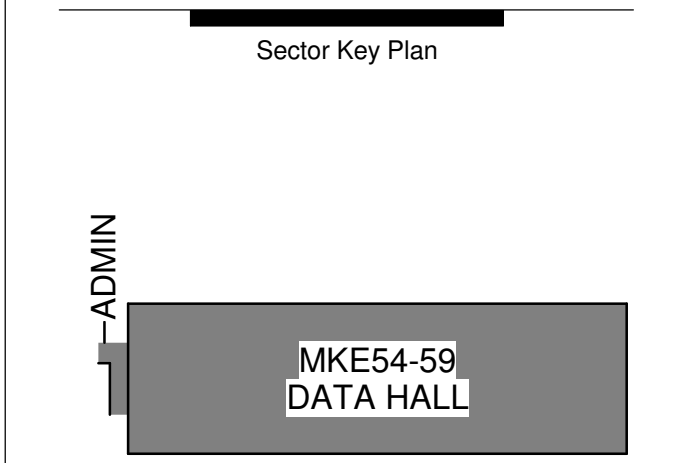
Microsoft

MKE54-59
DATA CENTER
12023 DURAND AVE
MT PLEASANT, WI

MICROSOFT
Design Manager: RENATA BOLLICH
Layout Manager: DUANE THOMAS
Civil, Site Survey, Landscaping Technical Lead: JORGE GONZALEZ / TRAVIS TEST
Architectural & Structural Technical Lead: SEAN ABBOTT / JOSH MARKS
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Telecommunications / Network Technical Lead: LEIANNA BOLEY
Security Design Manager: BRIAN BURKE

DESIGN TEAM
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BAS Engineering Lead: JASON PHAM / BMcD
Electrical Engineering Lead: CHAD STILWELL / BMcD
Telecommunications / Network Engineering Lead: JUSTIN JACOBSON / Z BETA
Security Systems Engineering Lead:

No.	Date	Description
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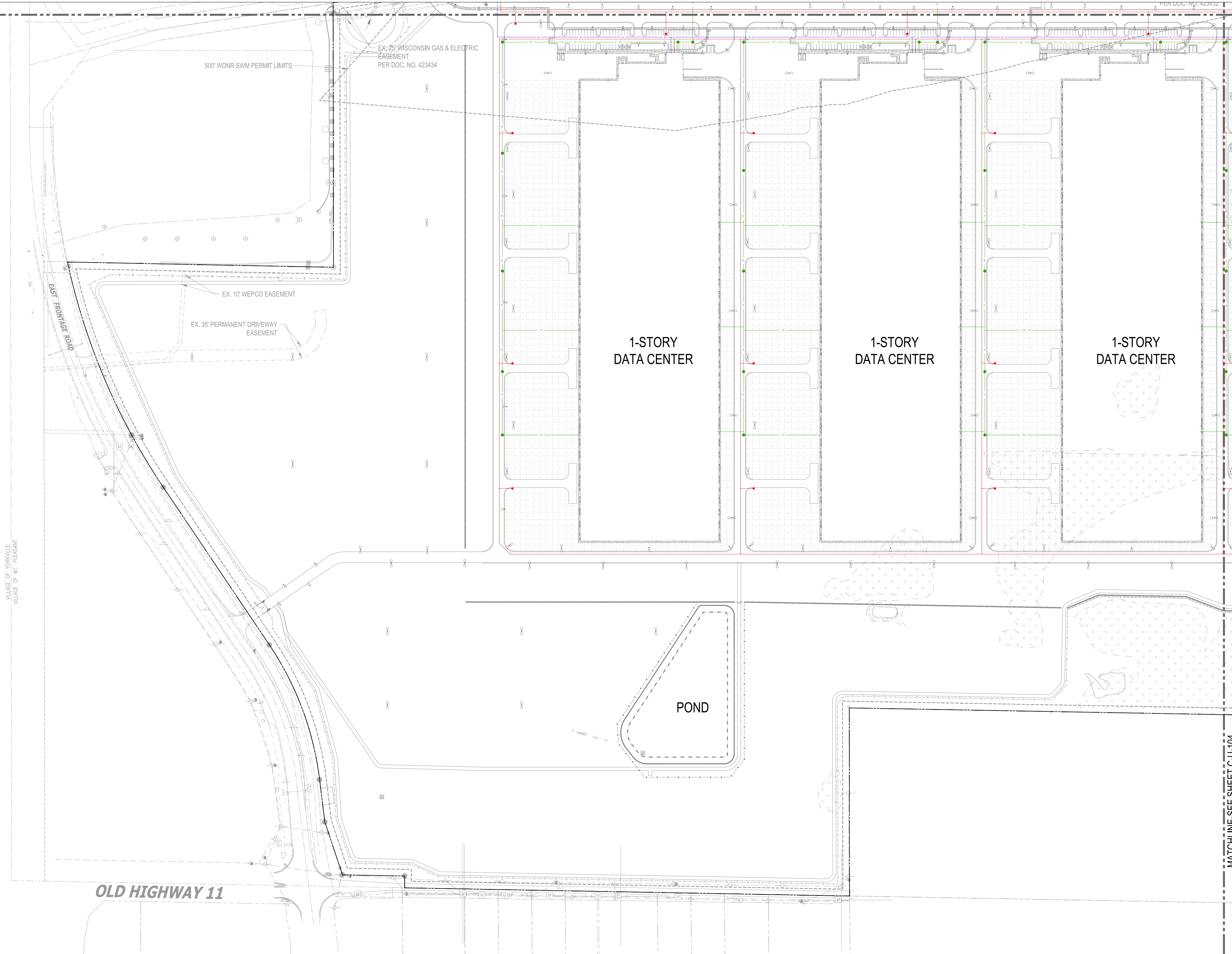


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Sheet Title/Number

ARCHITECTURAL
ELEVATIONS

EX-04

MATCHLINE-SEE SHEET C-U-101



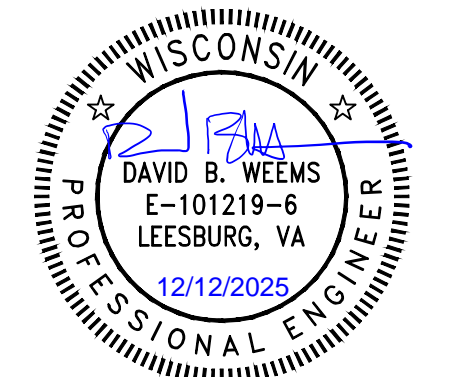
Dewberry Engineers Inc.
1503 Edwards Ferry Road
Suite 200
Leesburg, VA 20176-6680
703.771.8004

MKE 54-59

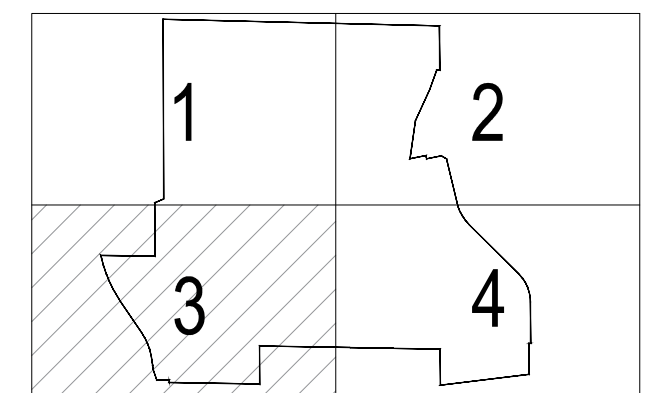
2700 International Drive
Sturtevant, WI 53177

Design: SARAH JONUZAJ, CONNOR WHALEN
Drawn: SARAH JONUZAJ, CONNOR WHALEN
Checked: ELIZABETH SOBECKE, DAVID WEEMS
Date: OCTOBER 29, 2025

Registration



Sector Key Plan



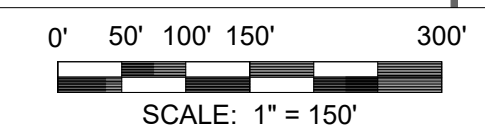
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MKE54-59

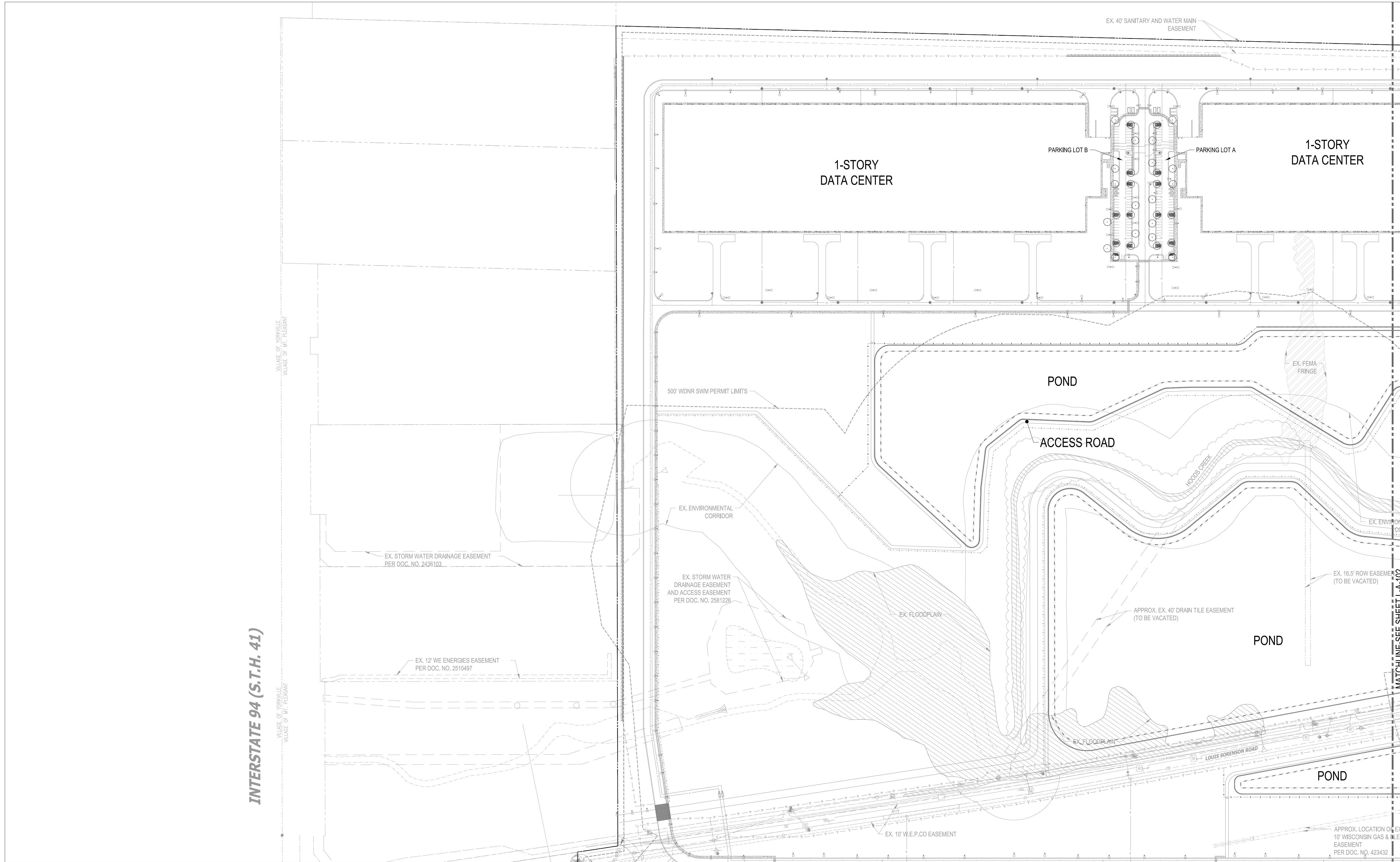
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**CIVIL
SITE MASTER PLAN
UTILITIES PART
PLAN 3**



LEGEND					
	PROPERTY LINE		EXISTING WETLAND (HATCHED)		8' TALL METAL FENCE
	CONCRETE SIDEWALK		EXISTING FLOODPLAIN		8' TALL METAL FENCE
	MECHANICAL/ELECTRICAL EQUIPMENT YARD		FEMA FRINGE		8' TALL CHAIN LINK FENCE
	FUTURE SUBSTATION				8' TALL CHAIN LINK FENCE
					6' TALL CHAIN LINK FENCE
					GUARDRAIL
					SOUND WALL
					FIRE HYDRANT
					EXISTING SANITARY SEWER PIPE
					PROPOSED SANITARY SEWER PIPE
					EXISTING SANITARY SEWER MANHOLE
					PROPOSED SANITARY SEWER MANHOLE
					EXISTING WATER SERVICE SUPPLY
					WATER SERVICE SUPPLY
					FIRE PROTECTION WATER SUPPLY
					SITE LIGHTING

MATCHLINE-SEE SHEET C-U-104



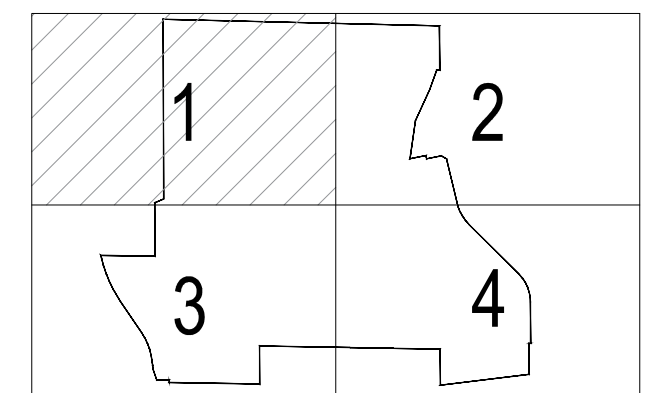
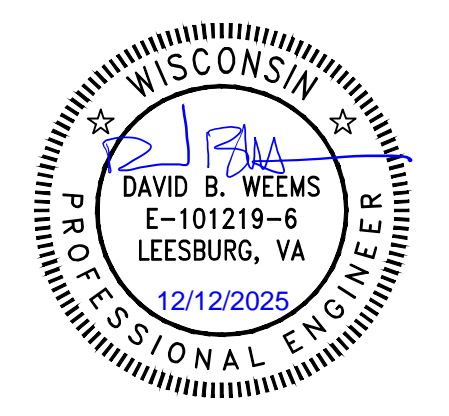
Dewberry
 Dewberry Engineers Inc.
 1503 Edwards Ferry Road
 Suite 200
 Leesburg, VA 20176-6680
 703.771.8004

MKE 54-59

2700 International Drive
 Sturtevant, WI 53177

Design: SARAH JONUZAJ, CONNOR WHALEN
 Drawn: SARAH JONUZAJ, CONNOR WHALEN
 Checked: ELIZABETH SOBECKE, DAVID WEEMS
 Date: OCTOBER 29, 2025

Registration

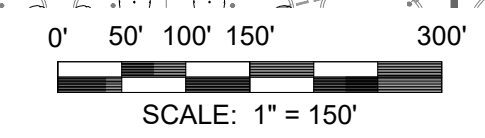
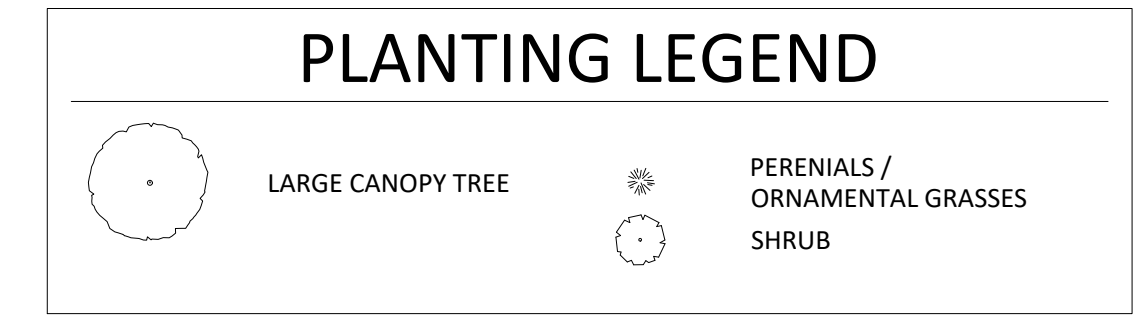


Revisions

No.	Date	Description
0	12 DEC 2025	MKE54-59 SITE PLAN I/FP

Package
MKE54-59
 Sheet Title/Number
**CIVIL
 SITE MASTER PLAN
 LANDSCAPING
 PART PLAN 1**

L-A-101



MATCHLINE-SEE SHEET L-A-103

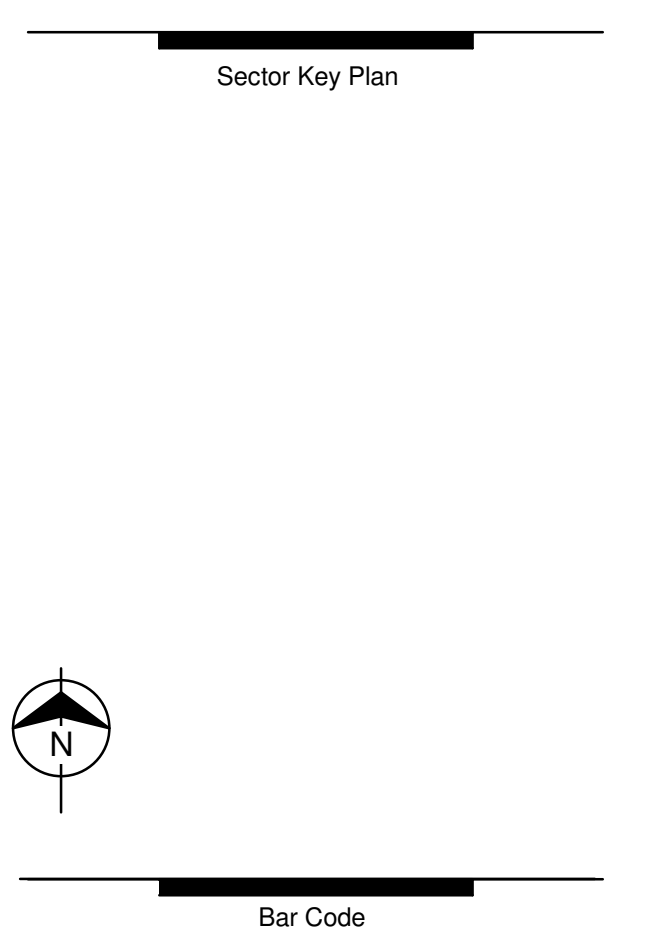
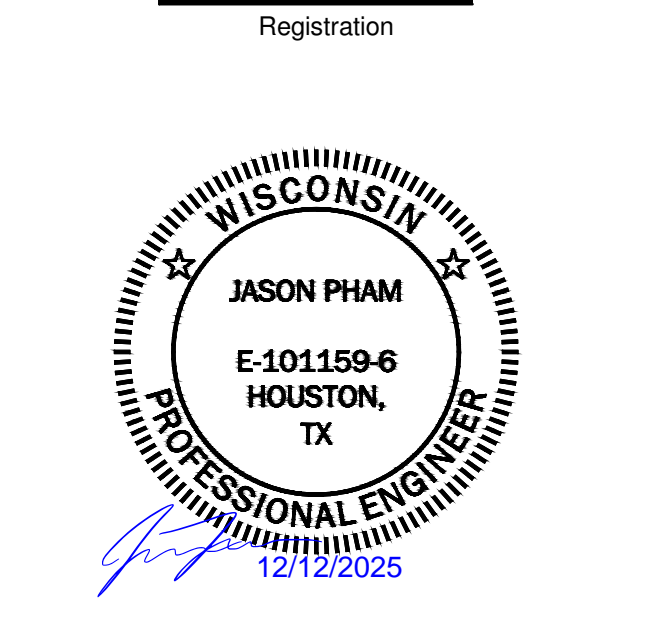
MATCHLINE-SEE SHEET L-A-102

INTERSTATE 94 (S.T.H. 41)

ELECTRICAL LEGEND		SYMBOL		ABBREVIATIONS		EQUIPMENT TAG NAMING STANDARD		CIRCUIT LEGENDS	
---	CONDUIT RUN CONCEALED		EQUIPMENT CONNECTION	1P	1 POLE (2P, 3P, 4P, ETC.)	KV	KILOVOLT	1Ø, 2W-G (3 WIRES TOTAL)	2ØBY/120V, 3Ø, 4W-G TRANSFORMER SECONDARY
---	CONDUIT RUN EXPOSED		MOTOR CONNECTION	A	AMMETER, AMPERE	KVAR	KILOVOLT-AMPERE REACTIVE	CKT	CONDUIT AND WIRE(CU)
DB	CONDUIT DUCT BURIED IN EARTH		FUSE	AD	ABOVE COUNTER, AIR CONDITIONER ABOVE CEILING	KWH	KILOWATT HOUR	[A2] [2#12 & 1#12 G IN 3/4" C]	AMP
DB	CONDUIT DUCT BANK ENCASED IN CONCRETE		NON-FUSED DISCONNECT SWITCH (MCS DENOTES MOLDED CASE SWITCH)	AD	AUTOMATIC DOOR OPENER	KW	KILOWATT	[B2] [2#10 & 1#10 G IN 3/4" C]	150A
WW	WIREWAY, # INDICATES SIZE		CIRCUIT BREAKER OR SWITCH - XXX AMP TRIP, XXX AMP FRAME, AIC AS SHOWN, LSI INDICATES ADJUSTABLE LONG, SHORT, AND INSTANTANEOUS SETTINGS, 4 POLE WHERE NOTED)	AD	AMPERE FRAME	LA	LIGHTING ARRESTOR	[C2] [2#8 & 1#10 G IN 3/4" C]	40A
HW	BUSWAY, # INDICATES BUS AMPACITY		FUSED DISCONNECT SWITCH	AD	AUTOMATIC	LAHJ	LOCAL AUTHORITY HAVING JURISDICTION	[D2] [2#6 & 1#10 G IN 3/4" C]	50A
WM	WIREMOLD, TYPE AS INDICATED		FLOOR BOX WITH FLUSH MOUNTED DEVICE, UPS	AD	AUTOMATIC TRANSFER SWITCH	LC	LIGHTING CONTROLLER	[E2] [2#4 & 1#10 G IN 3/4" C]	70A
XX	HOME RUN, HASH MARKS INDICATE QTY OF WIRE, "XX" INDICATES SIZE OF WIRE, UNMARKED WIRES INDICATE #12 AWG		DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUTOMATIC TRANSFER SWITCH	LP	LIGHTING PANEL	[F2] [2#3 & 1#8 G IN 1/2" C]	80A
XX	LIGHTING FIXTURE, "Y" INDICATES CIRCUIT NUMBER, "XZ" INDICATES FIXTURE TYPE (SEE FIXTURE SCHEDULE ON DRAWING E-J-01), "X,Y" INDICATES SWITCH CONTROL OF FIXTURE, POSITIONING OF "X", "XZ", "X,Y" ARE TO BE DEPENDENT UPON ORIENTATION OF LIGHT FIXTURE AND/OR POSITIONING OF LIGHT FIXTURE RELATIVE TO OTHER LIGHT FIXTURES AND THEIR CORRESPONDING TAGS.		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	LV	LOW VOLTAGE	[G2] [2#2 & 1#8 G IN 1/2" C]	80A
XX	LIGHTING FIXTURE ON LIFE SAFETY EMERGENCY CIRCUIT		CEILING MOUNTED DUPLEX RECEPTACLE	AD	AUTOMATIC TRANSFER SWITCH	MAX	MAXIMUM	[H2] [2#1 & 1#8 G IN 1/2" C]	100A
XX	LIGHTING FIXTURE (SEE FIXTURE SCHEDULE ON DRAWING E-J-01)		DOUBLE DUPLEX RECEPTACLE, UPS	AD	AUTOMATIC TRANSFER SWITCH	MCA	MANUAL CIRCUIT BREAKER	[I2] [2#10 & 1#6 G IN 1/2" C]	150A
XX	WALL MOUNTED LIGHTING FIXTURE (SEE FIXTURE SCHEDULE ON DRAWING E-J-01)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCC	MOTOR CONTROL CENTER	[J2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	EMERGENCY BATTERY PACK (SEE FIXTURE SCHEDULE ON DRAWING E-J-01)		DOUBLE DUPLEX RECEPTACLE	AD	AUTOMATIC TRANSFER SWITCH	MCS	MOLDED CASE SWITCH	[K2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	CEILING MOUNTED EXIT LIGHT (SEE FIXTURE SCHEDULE ON DRAWING E-J-01), DIRECTIONAL ARROWS AS INDICATED ON PLANS, "X" INDICATES CIRCUIT NUMBER.		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[L2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	WALL MOUNTED EXIT LIGHT (SEE FIXTURE SCHEDULE ON DRAWING E-J-01), DIRECTIONAL ARROWS AS INDICATED ON PLANS, "X" INDICATES CIRCUIT NUMBER.		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[M2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	LIGHTING CONTROL DEVICE, "XX" INDICATES THE FOLLOWING: PC INDICATES PHOTOCELL, OS INDICATES OCCUPANCY SENSOR, ARROWS INDICATE SENSING DIRECTION		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[N2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	LIGHTING SWITCH, BLANK INDICATES SINGLE POLE SINGLE THROW, "X" INDICATES THE FOLLOWING: T - DIGITAL TIMER SWITCH, OS - OCCUPANCY SENSOR SWITCH, LV - LOW VOLTAGE SWITCH, 3 - 3-WAY SWITCH, D - LOW VOLTAGE DIMMER, S - SWITCH DESIGNATION, WP - WEATHERPROOF COVER		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[O2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	HATCHING INDICATES DEVICE SHALL BE DEMOLISHED		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[P2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	PLENUM ZONE		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[Q2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	SITE LIGHTING (SEE FIXTURE SCHEDULE ON DRAWING E-J-01)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[R2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	EMERGENCY LIGHTING FIXTURE		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[S2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	NOT IN SCOPE		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[T2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	GROUND ROD		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[U2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	GROUNDING TEST WELL		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[V2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	GROUND BONDING POINT TO STEEL STRUCTURE, REBAR, PIPE, ETC.		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[W2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	GROUNDING CONNECTION (TYPE AS SHOWN OR NOTED)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[X2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	BARE COPPER GROUND CONDUCTOR, SIZE AS SHOWN		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[Y2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	GROUND BAR		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[Z2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	GROUND PIT/VAL FOR CONNECTION TO EQUIPMENT AS INDICATED ON DRAWINGS		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[AA2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	ELECTRICAL EQUIPMENT WITH HOUSEKEEPING PAD		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[AB2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	CABLE BUS, RATING AS NOTED		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[AC2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	AVD - ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[AD2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	CT RATIO, # INDICATES CT RATIO		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[AE2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	FSS # - FEEDER GROUNDING SWITCH, # INDICATES DEVICE NUMBER		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[AF2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	ATS - HVAC EQUIPMENT WITH INTEGRAL, ATS (OR VFD)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[AG2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	2Ø, 3Ø, 4W-G (3 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[AH2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[AI2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[AJ2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[AK2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[AL2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[AM2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[AN2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[AO2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[AP2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[AQ2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[AR2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[AS2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[AT2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[AU2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[AV2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[AW2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[AX2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[AY2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[AZ2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[BA2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[BB2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[BC2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[BD2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[BE2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[BF2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[BG2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[BH2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[BI2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[BJ2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[BK2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[BL2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[BM2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[BN2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[BO2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[BP2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[BQ2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[BR2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[BS2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[BT2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[BU2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[BV2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[BW2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[BX2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[BY2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[BZ2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[CA2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[CB2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[CC2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[CD2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[CE2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[CF2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED DEVICE	AD	AUTOMATIC TRANSFER SWITCH	MCR	MANUFACTURER	[CG2] [2#3 & 1#6 G IN 1/2" C]	200A
XX	3Ø, 4W-G (4 WIRES TOTAL)		FLOOR BOX WITH FLUSH MOUNTED						

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Checked	JASON PHAM	
Date	15 DEC 2025	
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M.S. Project No.	P-2190	
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Revisors		
No.	Date	Description
00	15 DEC 2025	MKE54-59 SITE PLAN I/P

Registration	
Professional Engineer Seal	
Sector Key Plan	
Bar Code	
Package	
MKE54-59	
Sheet File Number	

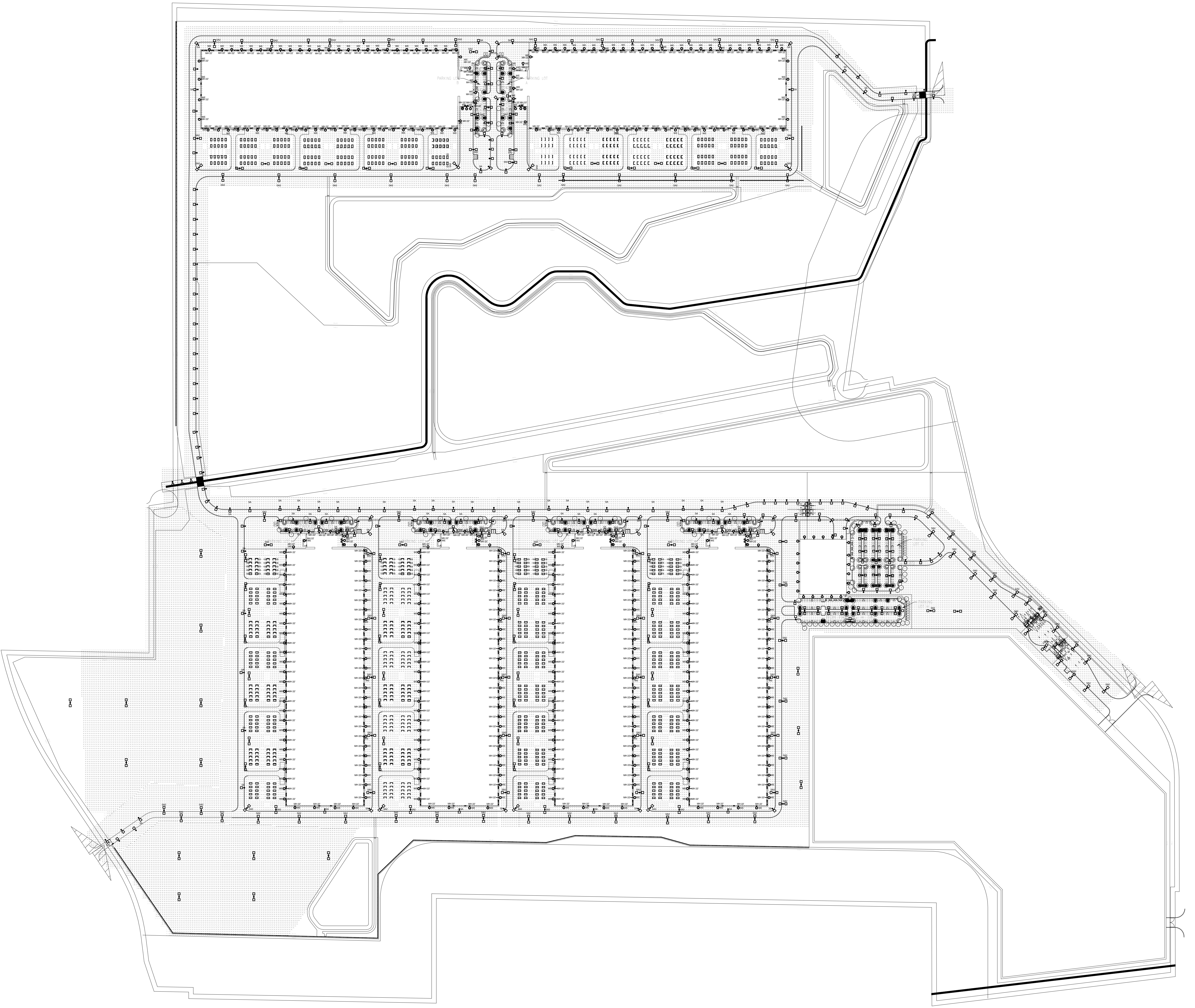


Package
MKE54-59
Sheet File Number

SITE PLANS AREA
NORTH
PHOTOMETRICS

MKE54-59
E-C-016-1

- GENERAL NOTES**
- SEE DRAWING E-A-01-0 FOR LEGENDS, NOTES AND ABBREVIATIONS.
 - SEE DRAWING E-J-01-0 FOR LIGHTING FIXTURE SCHEDULE.
 - COORDINATE CONDUITS FOR POWER AND SEC AT EACH LOCATION PRIOR TO INSTALLATION OF CONCRETE BASE.
 - COORDINATE UNDERGROUND CONDUITS WITH OTHER TRADES PRIOR TO INSTALLATION.
 - SEE SEC SERIES DRAWINGS FOR SECURITY DEVICE LOCATIONS AND SIGNAL INFORMATION. FOR POLE MOUNTED DEVICES PROVIDE POLE THAT IS RATED AND DRILLED FROM FACTORY TO SUPPORT LIGHT FIXTURE AND SEC DEVICE.
 - COORDINATE LOCATION OF CONDUIT PENETRATIONS AT BUILDING FOUNDATION STEM WALL WITH UNDERGROUND UTILITIES AND SITE POWER AND CONTROL REQUIREMENTS.
 - PROVIDE UNISTRUT RACK TO SUPPORT WALL MOUNTED EQUIPMENT MOUNTED TO PEMB. COORDINATE REQUIREMENTS WITH PEMB VENDOR.
 - REFER TO STRUCTURAL DETAILS IN SHEET SERIES S-J FOR LIGHTING POLE FOUNDATION.
 - EXTERIOR SITE PHOTOMETRICS ARE CALCULATED AT GRADE LEVEL.

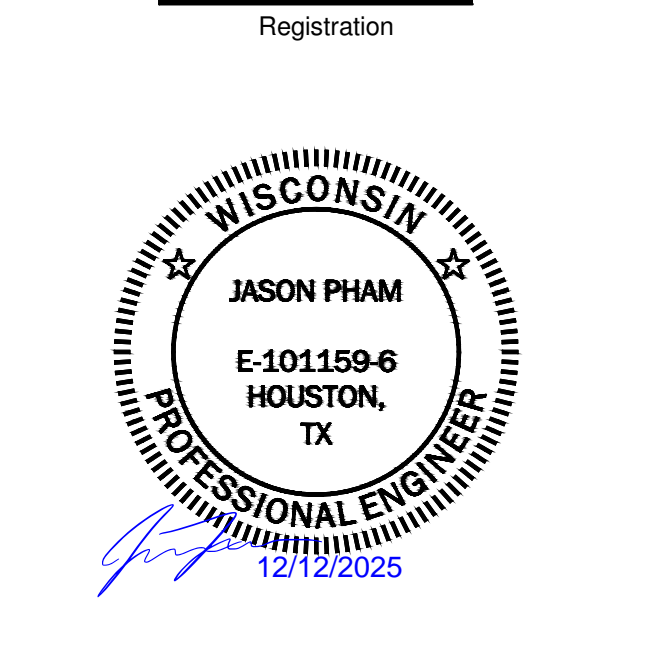


1 SITE LIGHTING AREA NORTH
1" = 400'-0"

ELECTRICAL LEGEND		SYMBOL		ABBREVIATIONS		EQUIPMENT TAG NAMING STANDARD		CIRCUIT LEGENDS	
---	CONDUIT RUN CONCEALED		EQUIPMENT CONNECTION	1P	1 POLE (2P, 3P, 4P, ETC.)	KV	KILOVOLT	1Ø, 2W-G (3 WIRES TOTAL)	2ØBY/120V, 3Ø, 4W-G TRANSFORMER SECONDARY
---	CONDUIT RUN EXPOSED		MOTOR CONNECTION	A	AMMETER, AMPERE	KVA	KILOVOLT-AMPERE	CKT	CONDUIT AND WIRE(CU)
---	CONDUIT DUCT BURIED IN EARTH		FUSE	AD	ABOVE COUNTER, AIR CONDITIONER ABOVE CEILING	KVAR	KILOVOLT-AMPERE REACTIVE	[A2]	[2#12 & 1#12 G IN 3/4" C]
DB	CONDUIT DUCT BANK ENCASED IN CONCRETE		NON-FUSED DISCONNECT SWITCH (MCS DENOTES MOLDED CASE SWITCH)	AGL	AUTO	KWH	KILOWATT HOUR	[B2]	[2#10 & 1#10 G IN 3/4" C]
---	WIREWAY, # INDICATES SIZE		FUSED DISCONNECT SWITCH	ADP	AUTOMATIC DOOR OPENER	LA	LIGHTING ARRESTOR	[C2]	[2#8 & 1#10 G IN 3/4" C]
---	BUSWAY, # INDICATES BUS AMPACITY		CIRCUIT BREAKER OR SWITCH - XXX AMP TRIP, XXX AMP FRAME, AIC AS SHOWN, LSI INDICATES ADJUSTABLE LONG, SHORT, AND INSTANTANEOUS SETTINGS, 4 POLE WHERE NOTED)	AF	ABOVE FINISHED FLOOR	LAHJ	LOCAL AUTHORITY HAVING JURISDICTION	[D2]	[2#8 & 1#10 G IN 3/4" C]
---	WIREMOLD, TYPE AS INDICATED		DRAWOUT MEDIUM VOLTAGE POWER CIRCUIT BREAKER (50-ANSI STANDARD NUMBER, EO-ELECTRICALLY OPERATED)	AFH	ACTIVE HARMONIC FILTER	LAN	LOCAL AREA NETWORK	[E2]	[2#4 & 1#10 G IN 3/4" C]
---	HOME RUN, HASH MARKS INDICATE QTY OF WIRE, "XX" INDICATES SIZE OF WIRE, UNMARKED WIRES INDICATE #12 AWG		DRAWOUT LOW VOLTAGE POWER CIRCUIT BREAKER (250-ANSI STANDARD NUMBER, EO-ELECTRICALLY OPERATED)	AH	AIR HANDLING UNIT	LC	LIGHTING CONTROLLER	[F2]	[2#4 & 1#8 G IN 3/4" C]
---	LIGHTING FIXTURE, "F" INDICATES CIRCUIT NUMBER, "X" INDICATES FIXTURE TYPE (SEE FIXTURE SCHEDULE ON DRAWING E-J-01), "X,Y" INDICATES SWITCH CONTROL OF FIXTURE, POSITIONING OF "X", "Y", ARE TO BE DEPENDENT UPON ORIENTATION OF LIGHT FIXTURE AND/OR POSITIONING OF LIGHT FIXTURE RELATIVE TO OTHER LIGHT FIXTURES AND THEIR CORRESPONDING TAGS.		GENERATOR	AIC	AMPERE INTERRUPTING CAPACITY	LG	LIGHTING PANEL	[G2]	[2#3 & 1#8 G IN 1/2" C]
---	LIGHTING FIXTURE ON LIFE SAFETY EMERGENCY CIRCUIT		HIGH RESISTANCE GROUND	AIV	AUDIO VISUAL	LV	LOW VOLTAGE	[H2]	[2#1 & 1#8 G IN 1/2" C]
---	LIGHTING FIXTURE (SEE FIXTURE SCHEDULE ON DRAWING E-J-01)		VARIABLE FREQUENCY DRIVE	ALT	ALTERNATE	MAX	MAXIMUM	[I2]	[2#1 & 1#6 G IN 1/2" C]
---	WALL MOUNTED LIGHTING FIXTURE (SEE FIXTURE SCHEDULE ON DRAWING E-J-01)		TRANSFORMER - KVA, PRIMARY AND SECONDARY VOLTAGE, CONNECTIONS, K-RATING, AND SHIELDS AS INDICATED OR SPECIFIED	AMP	AMPERE, AMPACITY, AMPLIFIER	MCA	MANUAL CIRCUIT BREAKER	[J2]	[2#3 & 1#6 G IN 1/2" C]
---	EMERGENCY BATTERY PACK (SEE FIXTURE SCHEDULE ON DRAWING E-J-01)		KEY SWITCH	ANN	ANNUNCIATOR	MCC	MOTOR CONTROL CENTER	[K2]	[2#3 & 1#6 G IN 1/2" C]
---	CEILING MOUNTED EXIT LIGHT (SEE FIXTURE SCHEDULE ON DRAWING E-J-01), DIRECTIONAL ARROWS AS INDICATED ON PLANS, "F" INDICATES CIRCUIT NUMBER.		SHUNT TRIP	ARCH	ARCHITECTURAL	MCS	MOLDED CASE SWITCH	[L2]	[2#3 & 1#6 G IN 1/2" C]
---	CEILING MOUNTED EXIT LIGHT (SEE FIXTURE SCHEDULE ON DRAWING E-J-01), DIRECTIONAL ARROWS AS INDICATED ON PLANS, "X" INDICATES THE FOLLOWING: PC INDICATES PHOTOCELL, OS INDICATES OCCUPANCY SENSOR, ARROWS INDICATE SENSING DIRECTION		KEY SWITCH	AS	AMMETER SWITCH	MFR	MANUFACTURER	[M2]	[2#3 & 1#6 G IN 1/2" C]
---	LIGHTING CONTROL DEVICE, "XX" INDICATES THE FOLLOWING: T - DIGITAL TIMER SWITCH, OS - OCCUPANCY SENSOR SWITCH, LV - LOW VOLTAGE SWITCH, 3 - 3-WAY SWITCH, D - LOW VOLTAGE DIMMER, S - SWITCH DESIGNATION, WP - WEATHERPROOF COVER		KEY SWITCH	ATB	AMPERE TRIP	MN	MINIMUM	[N2]	[2#3 & 1#6 G IN 1/2" C]
---	HATCHING INDICATES DEVICE SHALL BE DEMOLISHED		KEY SWITCH	ATS	AUTOMATIC TRANSFER SWITCH	MIS	MISCELLANEOUS	[O2]	[2#3 & 1#6 G IN 1/2" C]
---	PLENUM ZONE		KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR	MISC	MISCELLANEOUS	[P2]	[2#3 & 1#6 G IN 1/2" C]
---	SITE LIGHTING (SEE FIXTURE SCHEDULE ON DRAWING E-J-01)		KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR (50-ANSI STANDARD NUMBER, EO-ELECTRICALLY OPERATED)	MISC	MISCELLANEOUS	[Q2]	[2#3 & 1#6 G IN 1/2" C]
---	EMERGENCY LIGHTING FIXTURE		KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR (50-ANSI STANDARD NUMBER, EO-ELECTRICALLY OPERATED)	MISC	MISCELLANEOUS	[R2]	[2#3 & 1#6 G IN 1/2" C]
---	NOT IN SCOPE		KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[S2]	[2#3 & 1#6 G IN 1/2" C]
---	GROUND ROD		KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[T2]	[2#3 & 1#6 G IN 1/2" C]
---	GROUNDING TEST WELL		KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[U2]	[2#3 & 1#6 G IN 1/2" C]
---	GROUND BONDING POINT TO STEEL STRUCTURE, REBAR, PIPE, ETC.		KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[V2]	[2#3 & 1#6 G IN 1/2" C]
---	GROUNDING CONNECTION (TYPE AS SHOWN OR NOTED)		KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[W2]	[2#3 & 1#6 G IN 1/2" C]
---	BARE COPPER GROUND CONDUCTOR, SIZE AS SHOWN		KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[X2]	[2#3 & 1#6 G IN 1/2" C]
---	GROUND BAR		KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[Y2]	[2#3 & 1#6 G IN 1/2" C]
---	GROUND PIT/VAL FOR CONNECTION TO EQUIPMENT AS INDICATED ON DRAWINGS		KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[Z2]	[2#3 & 1#6 G IN 1/2" C]
---	ELECTRICAL EQUIPMENT WITH HOUSEKEEPING PAD		KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[AA2]	[2#3 & 1#6 G IN 1/2" C]
---	CABLE BUS, RATING AS NOTED		KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[AB2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[AC2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[AD2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[AE2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[AF2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[AG2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[AH2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[AI2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[AJ2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[AK2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[AL2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[AM2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[AN2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[AO2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[AP2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[AQ2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[AR2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[AS2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[AT2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[AU2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[AV2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[AW2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[AX2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[AY2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[AZ2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[BA2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[BB2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[BC2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[BD2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[BE2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[BF2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[BG2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[BH2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[BI2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[BJ2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[BK2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[BL2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[BM2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[BN2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[BO2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[BP2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[BQ2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[BR2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[BS2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[BT2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[BU2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[BV2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[BW2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[BX2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[BY2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[BZ2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[CA2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[CB2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[CC2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[CD2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[CE2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[CF2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[CG2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[CH2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[CI2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[CJ2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[CK2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[CL2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[CM2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[CN2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[CO2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[CP2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER	MISC	MISCELLANEOUS	[CQ2]	[2#3 & 1#6 G IN 1/2" C]
---			KEY SWITCH	AVD	ABSENCE OF VOLTAGE DETECTOR, # INDICATES DEVICE NUMBER				

Design	WILLIAM SCHUMANN	
Client	MICHAEL HABIB	
Checked	JASON PHAM	
Date	15 DEC 2025	
BM&D Project No.	90214	
M.S. Project No.	P-2190	
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Architectural & Structural Technical Lead	JURGE GONZALEZ / TRAVIS TEST	
Task, Material & Trade Coordination Lead	SEAN ABBOTT / JOSH MARKS	
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Electrical Engineering Lead	JASON PHAM / BM&D	
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Security Systems Engineering Lead	JUSTIN JACOBSON / Z BETA	
Revisors		
No.	Date	Description
00	15 DEC 2025	MKE54-59 SITE PLAN I/F P

Registration	
Professional Engineer	
E-101159-6	
HOUSTON, TX	
12/15/2025	



Sector Key Plan

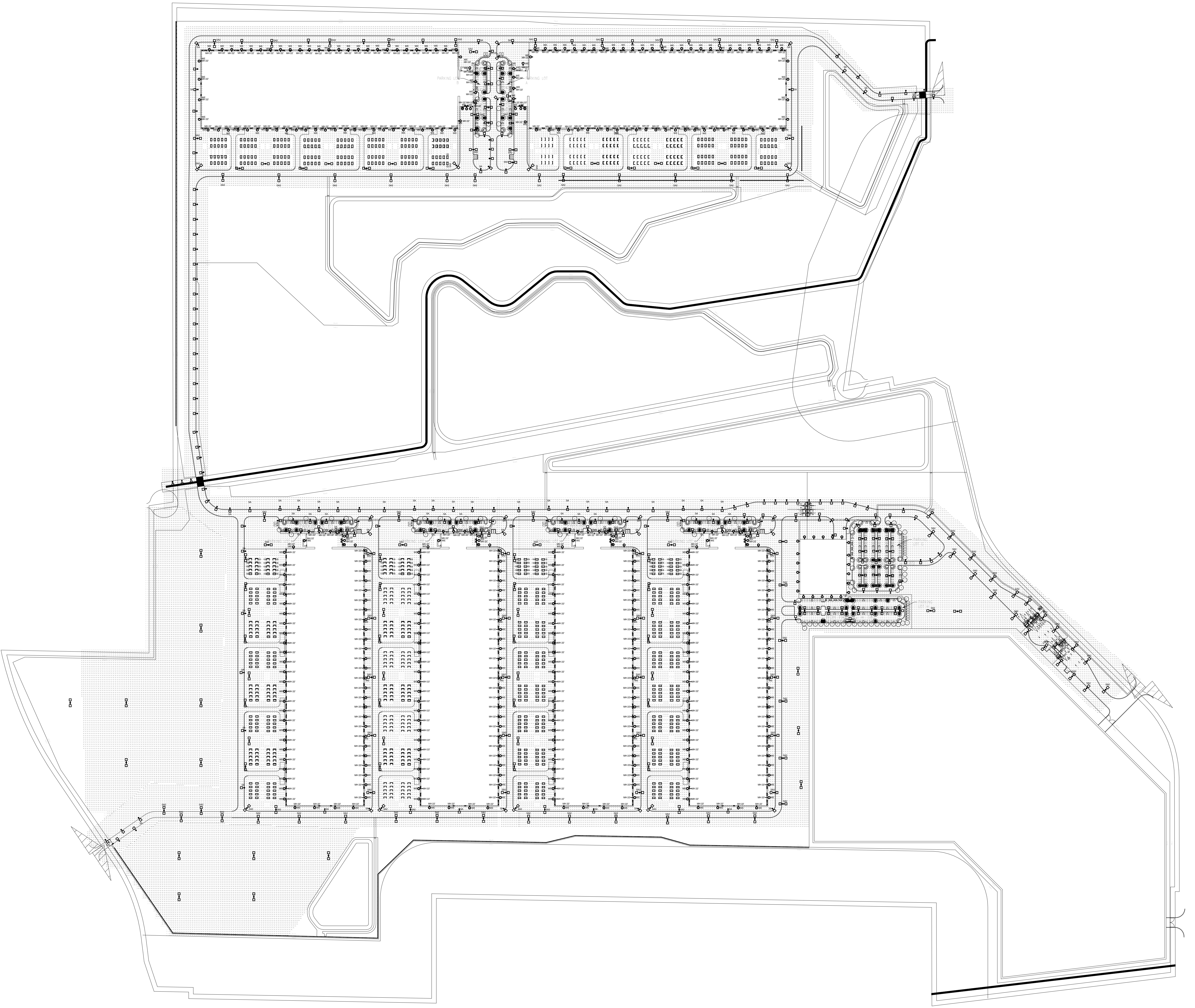
Bar Code

Package
MKE54-59
Sheet File Number

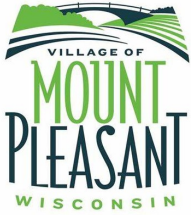
SITE PLANS AREA NORTH
PHOTOMETRICS

MKE54-59
E-C-016-1

- GENERAL NOTES**
- SEE DRAWING E-A-01-0 FOR LEGENDS, NOTES AND ABBREVIATIONS.
 - SEE DRAWING E-J-01-0 FOR LIGHTING FIXTURE SCHEDULE.
 - COORDINATE CONDUITS FOR POWER AND SEC AT EACH LOCATION PRIOR TO INSTALLATION OF CONCRETE BASE.
 - COORDINATE UNDERGROUND CONDUITS WITH OTHER TRADES PRIOR TO INSTALLATION.
 - SEE SEC SERIES DRAWINGS FOR SECURITY DEVICE LOCATIONS AND SIGNAL INFORMATION. FOR POLE MOUNTED DEVICES PROVIDE POLE THAT IS RATED AND DRILLED FROM FACTORY TO SUPPORT LIGHT FIXTURE AND SEC DEVICE.
 - COORDINATE LOCATION OF CONDUIT PENETRATIONS AT BUILDING FOUNDATION STEM WALL WITH UNDERGROUND UTILITIES AND SITE POWER AND CONTROL REQUIREMENTS.
 - PROVIDE UNISTRUT RACK TO SUPPORT WALL MOUNTED EQUIPMENT MOUNTED TO PEMB. COORDINATE REQUIREMENTS WITH PEMB VENDOR.
 - REFER TO STRUCTURAL DETAILS IN SHEET SERIES S-J FOR LIGHTING POLE FOUNDATION.
 - EXTERIOR SITE PHOTOMETRICS ARE CALCULATED AT GRADE LEVEL.



1 SITE LIGHTING AREA NORTH
1" = 400'-0"



Executive Summary

Village Board Meeting of January 26, 2026

5714 Braun Road Preliminary Plat; PSP-25-02

BACKGROUND

Bear Development, LLC applied for preliminary plat approval for the 60-acre property located at 5714 Braun Road. The developer proposed a 348-unit residential plat comprising with lots intended for detached houses, two-unit houses, and townhouse buildings. This plat integrates the public extension of Oakes Road to facilitate regional connectivity. Furthermore, the land division necessitates a development agreement with the Village to govern the installation of all required public infrastructure.

The Village Board amended the zoning map for the subject property (ZMA-25-06) in 2025 to RN to accommodate the proposed use. This preliminary plat is largely similar to the concept plan the applicant submitted with the previous zoning map amendment application. This application would *not* connect Biscayne Avenue fully eastwards with its final approval and construction but does create a connection point if that connection were to take place at some point in the future per the Village's comprehensive plan.

During their January 21, 2026, meeting, the Plan Commission unanimously recommended the project subject to the following conditions for approval.

1. The applicant shall apply to amend the transportation element of the comprehensive plan to reflect the approved preliminary plat.
2. The applicant shall amend the zoning district setbacks and guidelines to reflect the updated RN zoning district setbacks.
3. The applicant shall amend the homeowners' association documents to clarify that architectural control, covenant enforcement, and HOA governance are private matters. This clarification shall not impose additional administrative obligations on the village to enforce any building restrictions other than those adopted by the village ordinances.
4. The applicant shall amend the preliminary plat to widen Outlot 2 to a minimum 60 feet wide, matching the minimum public access requirements required by the Wisconsin statutes, and provide access amenities in the area, such as benches, shelters, or pathways, to enhance the Outlot as a break in the block length. The applicant may dedicate this Outlot as public park space if they wish to qualify for public park site fee credits.
5. The applicant shall amend the street plans and profiles to provide street trees per § 74-8.15.
6. The applicant shall amend the street plans and profiles to provide street lamps per § 74-8.13.
7. Following approval of the preliminary plat and prior to approval of the final plat, stormwater and sedimentation control plans and specifications shall be submitted for review and approval in accordance with the Village Stormwater Management and Erosion and Sedimentation Control Ordinance per § 74-4.6. Per the recommendations in the Pike River Watershed Plan, these stormwater management and erosion and sedimentation controls should include native landscaping, restore wetlands where possible, and include naturalized stormwater detention facilities.
8. The applicant and Public Works Department shall pay particular attention to the final design of the Oakes Road and Braun Road intersection to validate appropriate traffic calming measures to reduce the potential of north/south and east/west speeding on either roadway. Such measures could include, but are not limited to roundabouts, curb extensions, turn lane configurations, pavement marking and signage, and other similar measures as recommended by the Public Works Director.

Note: The applicant submitted an updated preliminary plat to address some of the comments listed above. The staff included this updated plat as a part of this packet; however, left the conditions for approval as those recommended by the Plan Commission for consistency.

COMPREHENSIVE PLAN

The application follows the land use element of ***A Multi-Jurisdictional Plan for Racine County: 2035***. Notably, the southward extension of Oakes Road is also shown on the Southeastern Wisconsin Regional Planning Commission's regional 2050 plans, which denotes the high-level and long-term importance of the Oakes Road extension. The ***Village of Mount Pleasant Master Bicycle Plan 2030*** identifies the existing trail along the west side of the Pike River and proposes a future trail along Braun Road. While the plan makes no specific recommendation for this property, previous Plan Commission discussions highlighted a desire for pathways along Braun Road and the east side of the Pike River.

During prior discussions regarding Comprehensive Plan modifications, the Plan Commission raised concerns that the traffic flow on Oakes Road might conflict with a residential neighborhood featuring frequent curb cuts. The submitted plat addresses this by eliminating curb cuts along Oakes Road, with townhome lots served by rear, private alleys. Should the Plan Commission retain concerns regarding traffic compatibility, the staff recommends altering the Oakes Road cross-section to separate bicycle infrastructure from the street, expand the sidewalk, or increase the terrace area.

LAND DIVISION

Article II General Provisions

§ 74-2.9 Exceptions and modifications.

The applicant requested a road layout that deviates from the transportation element of the Comprehensive Plan. The Plan Commission holds the authority to waive or modify requirements if the decision preserves the public good and aligns with the Ordinance's intent. The staff asserts the Commission should grant this relief as the request meets the criteria for "Exceptional Circumstances." Specifically, the proposed curve in Oakes Road accommodates a central wetland feature and provides the secondary benefit of traffic calming. This modification allows for the preservation of property rights without creating a detriment to adjacent properties or the public interest.

Article III Land Division Procedures

§ 74-3.2 Preliminary plat review

The village sent copies of the preliminary plat to the Public Works Director, Community Development Director, and Fire Chief. Additionally, they sent electronic copies to SEWRPC, the Racine Water Utility, and Racine Unified School District for their review and recommendation concerning matters within their jurisdiction. Lastly, a copy has been sent to Wisconsin Department of Administration.

§ 74-3.3 Preliminary plat approval

SEWRPC notes the plat lies within a Green Infrastructure Priority Protection Area within the Pike River watershed. Because runoff drains to the Upper Pike River, the regional water quality management plan recommends reducing nonpoint source pollution in this area.

§ 74-4.6: Stormwater management and erosion and sedimentation control

Following approval of the preliminary plat and prior to approval of the final plat, stormwater and sedimentation control plans and specifications shall be submitted for review and approval in accordance with the Village Stormwater Management and Erosion and Sedimentation Control Ordinance.

Article VII Design Standards

§ 74-7.2 Street arrangements

The plat diverges from the Comprehensive Plan's transportation element in areas where topography, existing

wetlands, and property ownership render specific connections—such as a road crossing the Pike River at the northern boundary—impractical or infeasible. Staff concludes that the proposed layout preserves the network's core functionality and meets the Comprehensive Plan's intent. The Village may approve a Comprehensive Plan Amendment to match this layout between the preliminary and final plat stages.

§ 74-7.7 Blocks

The block length on Road 2 exceeds standard limits. To address this, the staff and the developer discussed a potential connection to a future Village bike path. The developer's engineering team provided a mock-up bending Road 2 to create a viewing corridor toward the Pike River rather than the internal wetland. However, the developer noted this alteration could result in the loss of 4 to 7 lots. However, the acceptance of any outlot for a public bike/pedestrian connection or park remains at the discretion of the Plan Commission and Village Board.

§ 74-7.7 Lots

The lots generally meet the RN district requirements. Staff reviewed this plat assuming the successful passage of Ordinance 19-2025, which provides a "building site" standard for townhome and twin-home developments—a provision unintentionally omitted during the 2025 code update.

§ 74-7.8 Building and setback lines

The subdivider shall update the plat to include vision 20-foot vision triangles at the corner of lots adjacent to roadway intersections per § 74-7.9(D). Simply noting their presence on the final plat does not satisfy the ordinance without a specific exception from the Plan Commission.

§ 74-7.10: Protection of natural resources.

See COMPLIANCE WITH COMPREHENSIVE PLAN.

§ 74-7.11 Park, open space, and other public sites

The applicant may dedicate designated public park areas and credit the value of that dedication against the public park site fee, subject to a formal agreement with the Village per § 74-7.11(A)(1).

Article VIII Required Improvements

§ 74-8.13 Street lamps

The applicant shall update the onsite civil engineering infrastructure plans to show the installation of a public street lamp at the corner of the street intersections.

§ 74-8.15 Street trees

The subdivider shall update the onsite civil engineering infrastructure plans to show planted street trees. The total number of trees to be planted shall be based on one tree for every 50 feet of frontage on all streets proposed to be dedicated and be spaced on average about 50 feet apart. The required trees shall be planted in the area between the sidewalk and curb in accordance with plans and specifications approved by the Public Works Director.

ZONING

ARTICLE 100: Base Districts

The RN (Neighborhood Residential) District accommodates up to six dwelling units on lots. The village intends RN lots to bridge suburban- and urban-style areas, provide a mix of housing in a neighborhood context, or lie along collector and minor arterial streets.

ARTICLE 300: Uses

See Division 90-310: Allowed Uses. The contemplated uses within this plat comply with those permitted by the RN District.

ARTICLE 400: Village-Wide Regulations

The village staff will review any proposed developments on the subject parcels for compliance with Article 400.

STRATEGIC PLAN

The application meets the following key strategies and outcomes of the Strategic Plan.

- Safe Community
 - Utility systems that meet the needs of homeowners and businesses.
 - Water and sewer utility infrastructure is built, maintained, and upgraded to protect the health of citizens and the environment. This work keeps pace with demand as the region grows.
 - Safety in the public right-of-way for all modes of transportation.
 - The Village’s public infrastructure allows a smooth flow of vehicle traffic and offers safe routes for bicyclists and pedestrians.
- Balance Growth and Development
 - Welcoming and competitive community for a variety of housing types and commercial development.
 - Development processes are streamlined, fair, and predictable for both developers and citizens, encouraging companies and individuals to invest in the Village.
 - Adequate parks and open space for current and future population needs.
 - The Village preserves, enhances, and expands its park land and other natural open spaces to make Mount Pleasant a more attractive place to live and visit.

RECOMMENDATION

The staff recommend that the Plan Commission recommends approval to the Village Board subject to the recommended conditions.

FISCAL IMPACT

Cost/Benefit		
Estimated Taxable Value per Acre	\$ 2,265,446	<i>The total Estimated Taxable Value divided by the Developed Acres.</i>
Estimate Net Value Per Acre	\$ 2,204,693	<i>The total Estimated Taxable Value minus the Infrastructure Replacement Cost (NPV) divided by the Developed Acres.</i>
Net Revenue	\$ 380,380	<i>The Annual Tax Contributions (NPV) minus the TID Closed Annual Cost.</i>
Gain/(Loss) over 40-year period	\$ 27,767,262	<i>The Escalated Tax Contributions minus the Total Escalated Cost.</i>
Total Revenue to Cost Ratio	3 :1	<i>The Escalated Tax Contributions divided by the Total Escalated Cost.</i>
Private to Public Ratio	37 :1	<i>The Total Taxable Value divided by the Infrastructure Replacement Cost (NPV). 40:1 is net positive ratio.</i>
Public Liability Repayment (years)	21	<i>The number of years until the Escalated Tax Contributions are greater than the Escalated Infrastructure Replacement Cost.</i>

The staff projected the development to generate approximately 107,246,200 of new development value upon full build out of the preliminary plat. The staff conservatively estimated the 98 detached house lots at \$375,000 each, the 34 twinhome lots at \$325,000 each, and the 216 townhome lots \$275,000 each. This equals an estimated \$2,204,693 per net acre. The development would generate approximately \$27,767,262 over a projected 40-year timeline after considering local service and infrastructure costs. The development has a positive revenue to cost ratio, demonstrating that residential uses at the densities permitted in the RN district can generate tax revenues above their projected services costs. This projection assumes a full build out in year one, which is unlikely. A phased buildout over time would moderate projected revenues, infrastructure costs, and service costs.

PREPARED BY

Samuel Schultz, Community Development Director

November 20, 2025

Mr. Samuel Schultz
Village of Mount Pleasant
8811 Campus Drive
Mount Pleasant, WI 53406

Re: Braun Road – Preliminary Plat

Dear Mr. Schultz:

Bear Development LLC is pleased to submit this letter and the enclosed submittal materials as formal application for Preliminary Plat review and approval for the Braun Road Property.

Project Summary

Timothy Braun. is the owner of record of approximately 60 acres of vacant land in the Village of Mount Pleasant. The land is located on the north side of Braun Road, approximately 3500 feet west of STH 31. Bear Capital, LLC is the contract purchaser of the subject property.

Since late 2024 Bear Development has worked through several feasibility and due diligence studies for the proposed project. Our studies have included:

- Traffic Impact Analysis.
- Assured Wetland Delineation.
- Geotechnical Exploration
- Coordination with the Village of Mount Pleasant regarding public street connections and the extension of sanitary sewer service.
- Land Planning
- Preliminary Engineering including storm water management.

Previous Entitlements

On July 28,2025 the Village of Mount Pleasant adopted and approved Ordinance 10-2025 whci rezoned the subject property to RN Neighborhood Residential.

Current Land Use

The subject property is unimproved and is actively farmed for row crops.

Proposed Use

Bear Development LLC is seeking approval for a mixed residential neighborhood consisting of single-family home sites, twin homes and town homes.



Phone: 262.694.2327



www.beardevelopment.com



4011 80th Street, Kenosha, WI 53142

Proposed Preliminary Plat

Bear Development, LLC, respectfully requests Village of Paddock Lake review and approval of the enclosed Preliminary Plat. The Preliminary Plat includes:

- Gross Land Area of 60.03 acres
- A total of 348 Lots and 8 Outlots
- Lots 1-98 are Single Family lots with bulk requirements meeting the RN Neighborhood Residential zoning standards.
- Lots 99-132 are Twin Home lots with bulk requirements meeting the RN Neighborhood Residential zoning standards.
- Lots 133-348 are Town Home Lots with bulk requirements meeting the RN Neighborhood Residential zoning standards.
- Outlots 1 and 4 are designated storm water retention purposes and open space.
- Outlots 2 and 3 are designated for permanent open space
- Outlots 5, 6, 7 and 8 are designated as Private Alley Access and Open Space. is designated for Fire Department access.
- All Lots are to be serviced by public water and sanitary sewer service.

We feel the Preliminary Plat offers an opportunity to create a residential neighborhood that meets the goals of the Village Comprehensive Plan while meeting the growing housing needs in Racine County

Should you have any questions regarding this request, please do not hesitate to contact me. I can be reached at (262) 842-0556 or by email, dan@beardevelopment.com

Thank you for your time and consideration.

Sincerely,

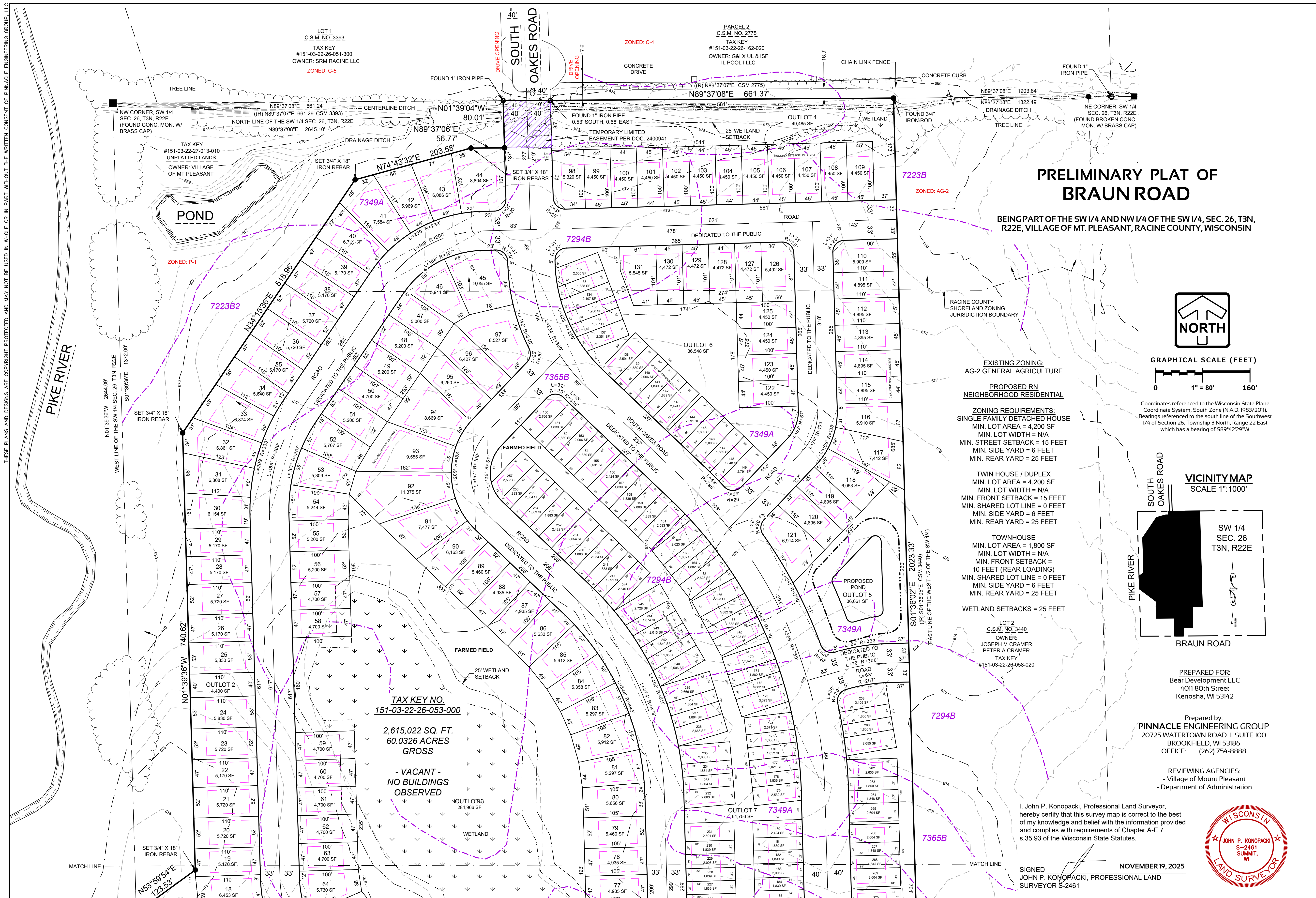


Daniel Szczap
Bear Development, LLC



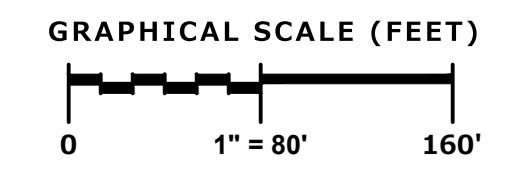
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PRELIMINARY PLAT OF BRAUN ROAD

BEING PART OF THE SW 1/4 AND NW 1/4 OF THE SW 1/4, SEC. 26, T3N, R22E, VILLAGE OF MT. PLEASANT, RACINE COUNTY, WISCONSIN



EXISTING ZONING:
AG-2 GENERAL AGRICULTURE

PROPOSED RN
NEIGHBORHOOD RESIDENTIAL

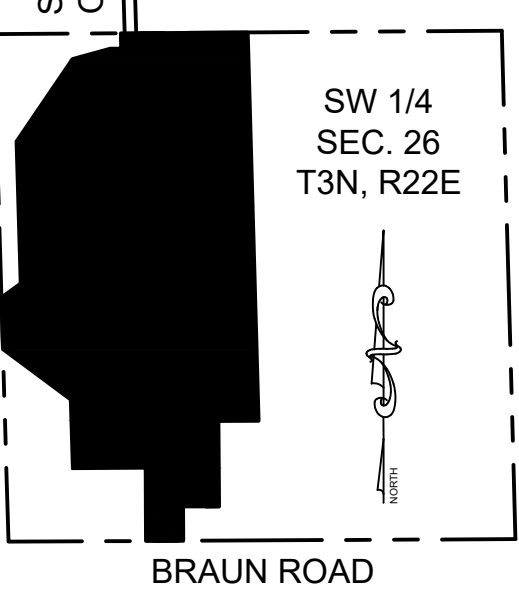
ZONING REQUIREMENTS:
SINGLE FAMILY DETACHED HOUSE
MIN. LOT AREA = 4,200 SF
MIN. LOT WIDTH = N/A
MIN. STREET SETBACK = 15 FEET
MIN. SIDE YARD = 6 FEET
MIN. REAR YARD = 25 FEET

TWIN HOUSE / DUPLEX
MIN. LOT AREA = 4,200 SF
MIN. LOT WIDTH = N/A
MIN. FRONT SETBACK = 15 FEET
MIN. SHARED LOT LINE = 0 FEET
MIN. SIDE YARD = 6 FEET
MIN. REAR YARD = 25 FEET

TOWNHOUSE
MIN. LOT AREA = 1,800 SF
MIN. LOT WIDTH = N/A
MIN. FRONT SETBACK = 10 FEET (REAR LOADING)
MIN. SHARED LOT LINE = 0 FEET
MIN. SIDE YARD = 6 FEET
MIN. REAR YARD = 25 FEET

WETLAND SETBACKS = 25 FEET

VICINITY MAP
SCALE 1"=1000'



PREPARED FOR:
Bear Development LLC
4011 80th Street
Kenosha, WI 53142

Prepared by:
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD 1 SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888

REVIEWING AGENCIES:
- Village of Mount Pleasant
- Department of Administration

I, John P. Konopacki, Professional Land Surveyor,
hereby certify that this survey map is correct to the best
of my knowledge and belief with the information provided
and complies with requirements of Chapter A-E 7
s.35.93 of the Wisconsin State Statutes.

SIGNED _____ NOVEMBER 19, 2025
JOHN P. KONOPACKI, PROFESSIONAL LAND
SURVEYOR S-2461



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BRAUN ROAD

PRELIMINARY PLAT

VILLAGE OF MOUNT PLEASANT

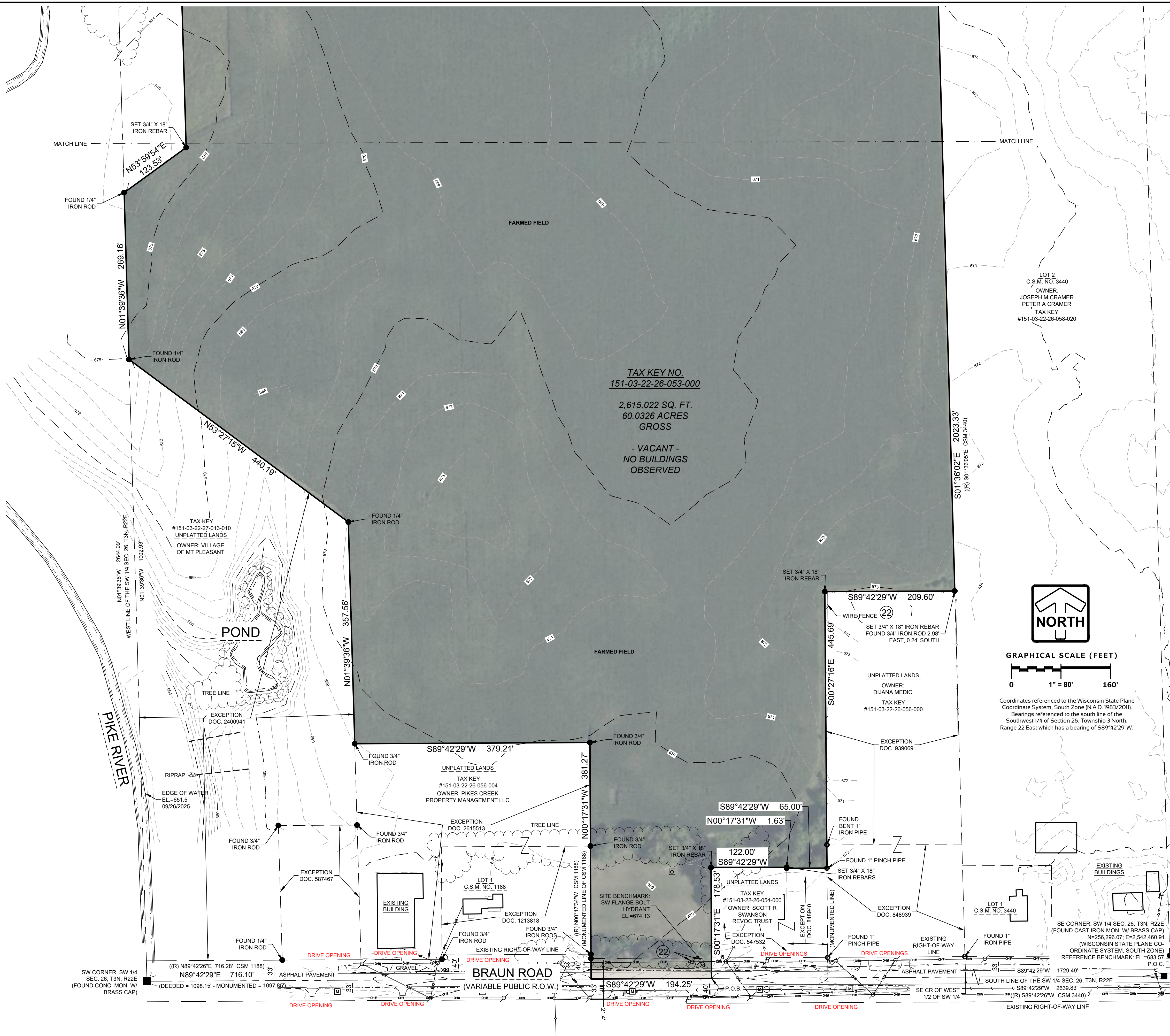
REVISIONS		SHEET
NO.	DESCRIPTION	
1	NEW LOT LAYOUT	1 OF 2

REG. JOB NO. 6367.00
REG. PM. 11/19/2025
DATE 11/19/2025
SCALE 1" = 80'
DRAFTED BY: ST

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PRELIMINARY PLAT

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NOTES CORRESPONDING TO SCHEDULE B - II

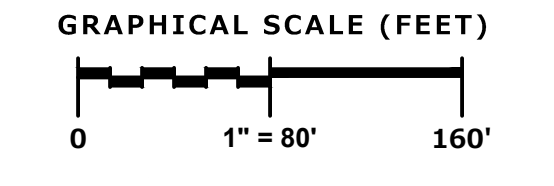
- 1-3, 10, 18 VISIBLE EVIDENCE SHOWN IF ANY
4-9, 17, 19-21 NOT SURVEY RELATED
11. Grant of Transmission Line Easement to American Transmission Company, LLC, a Wisconsin limited liability company...

TABLE A

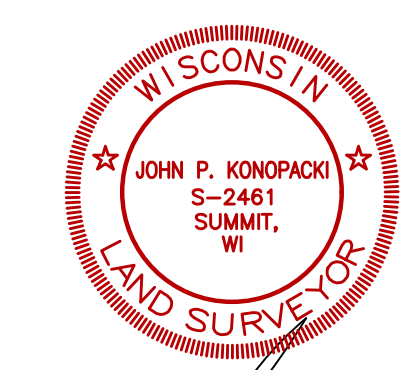
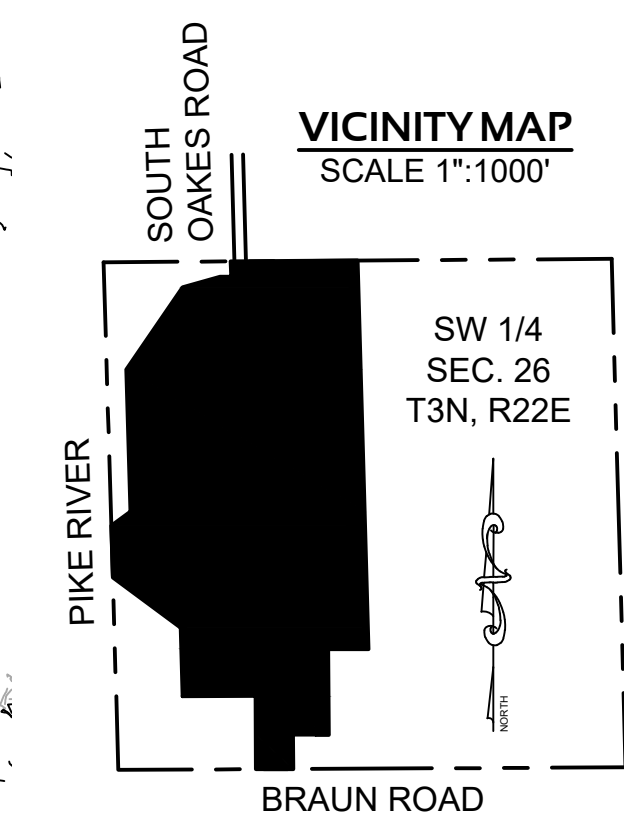
- 1. Monuments found/placed at all corners of the surveyed property boundary.
2. Address (as disclosed in title commitment): 5714 Braun Road, Mount Pleasant, WI 53403
3. Flood Zone Classification: The property lies with in Zone 'X' of the Flood Insurance Rate Map Community Panel No. 55101C0228D & 55101C0236D...

GENERAL NOTES

- 1. Right of Way widths and locations are based on previous surveys of record.
2. The subject property has direct unimproved access to South Oakes Road and Braun Road based on a visual observation.
3. Utilities on or above the surface of the surveyed property observed in the process of conducting the fieldwork graphically shown on the survey...



Coordinates referenced to the Wisconsin State Plane Coordinate System, South Zone (N.A.D. 1983/2011). Bearings referenced to the south line of the Southwest 1/4 of Section 26, Township 3 North, Range 22 East which has a bearing of S89°42'29\"/>



LEGEND OF SYMBOLS & ABBREVIATIONS

Table with 4 columns of symbols and their corresponding descriptions: Sanitary Manhole, Storm Manhole, Cleanout, Catch Basin, Lateral, Unknown Manhole, Well, Hydrant, Water Valve, Down Spout, Sprinkler Valve, Water Shut Off, Standpipe, Water Manhole, Flood Light, Light Pole, Traffic Signal Pole, Utility Pole, Guy Wire, Sanitary Sewer, Water Main, Fiber Optic Line, Telephone Line, Electric Line, Overhead Wires, Cable Television, Gas Main, Wetlands, Tree Line, No Access, Fiber Optic Marker, Fiber Optic Manhole/Vault, Telephone Pedestal, Telephone Manhole/Vault, Transformer, Electric Meter/Pedestal, Electric Manhole/Vault, Cable TV Riser/Box Cable, TV Manhole/Vault, Gas Valve, Gas Meter, Gas Marker, Air Conditioning Unit, Vent, Directional Arrow, Dumpster, Handicap Stall, Spot Elevation, Sign, Mail Box, Flag Pole, Basketball Hoop, Bollard, Cross Cut, Iron Pipe, Iron Rebar/Rod, Mag Nail, Section Monument, Bench Mark, Conifer Tree, Deciduous Tree, Bush, Wetland Symbol, Centerline, Concrete, Existing, Invert, Monument, Point of Beginning, Point of Commencement, Right of Way, Section, Square Feet, With, Recorded As, Deeded As.

PINNACLE ENGINEERING GROUP logo and contact information: PLAN | DESIGN | DELIVER, www.pinnacle-engr.com, WISCONSIN OFFICE: 20725 WATERTOWN ROAD SUITE 100, BROOKFIELD, WI 53186, (262) 754-8888

5714 BRAUN ROAD
BEING PART OF THE SW 1/4 AND NW 1/4 OF THE SW 1/4, SEC. 26, T3N, R22E, VILLAGE OF MT. PLEASANT, RACINE COUNTY, WISCONSIN

ALTA/NSPS LAND TITLE SURVEY

REVISIONS table with columns for revision number, description, and date. Includes entries for 'UPDATED TITLE' and 'TOPOGRAPHY'.

SHEET 2 of 2, SURVEY, PEG JOB NO. 63627.00, DATE 10/10/2025, SCALE 1\"/>

www.pinnacle-engr.com and PINNACLE ENGINEERING GROUP, LLC vertical text on the right margin.

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DESIGNED BY: ARZ
CHECKED BY: MM
REVIEWED BY: MM

Z:\PROJECTS\2025\6367.00-WI\CAD\SHEETS\CONCEPT\SITE PLAN.DWG

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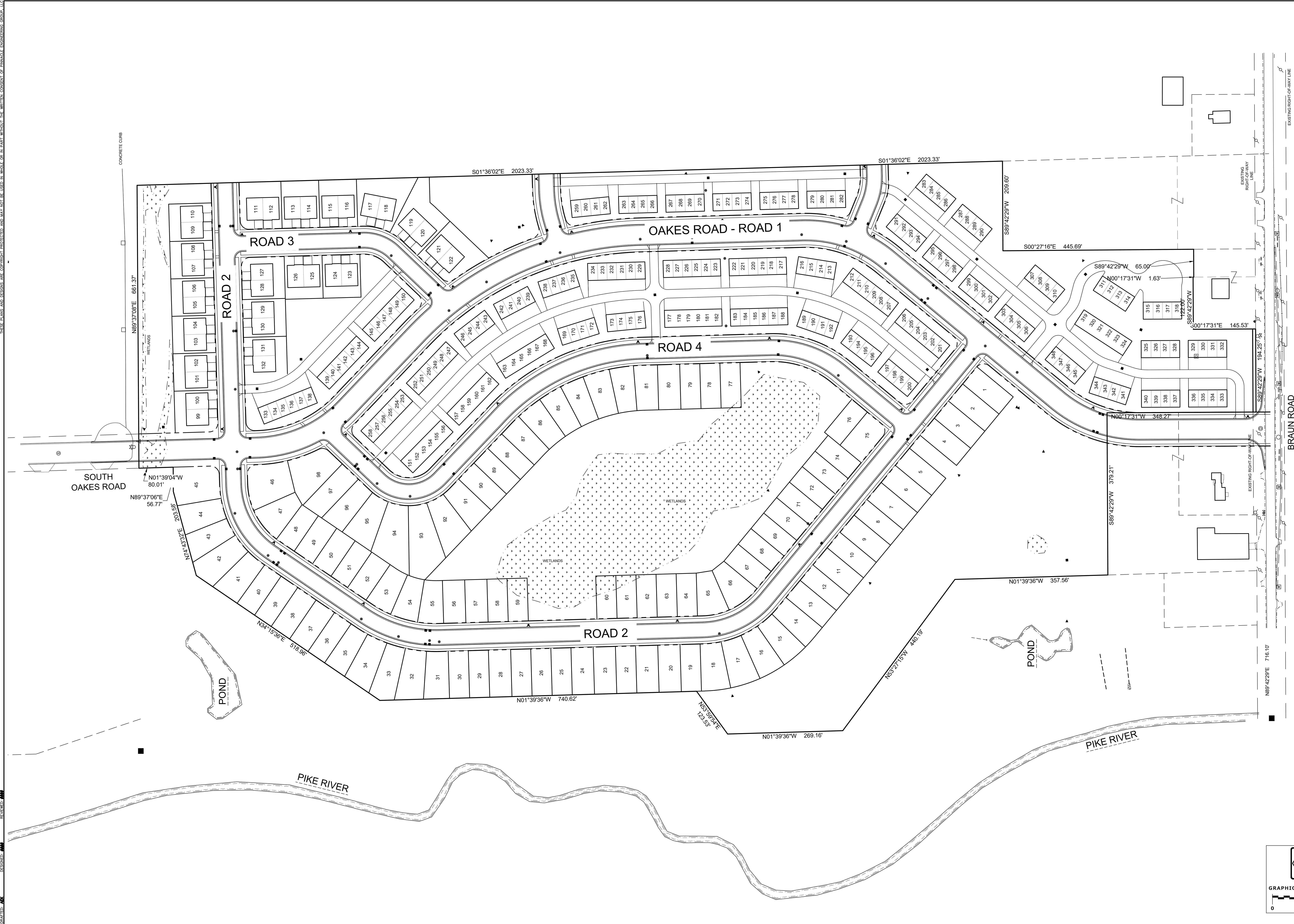
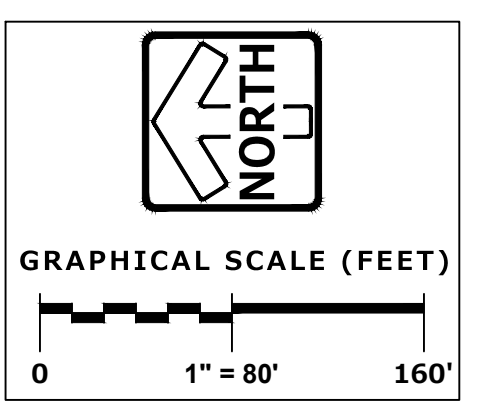
CHICAGO | MILWAUKEE | NATIONWIDE

BRAUN ROAD RESIDENTIAL
VILLAGE OF MT. PLEASANT

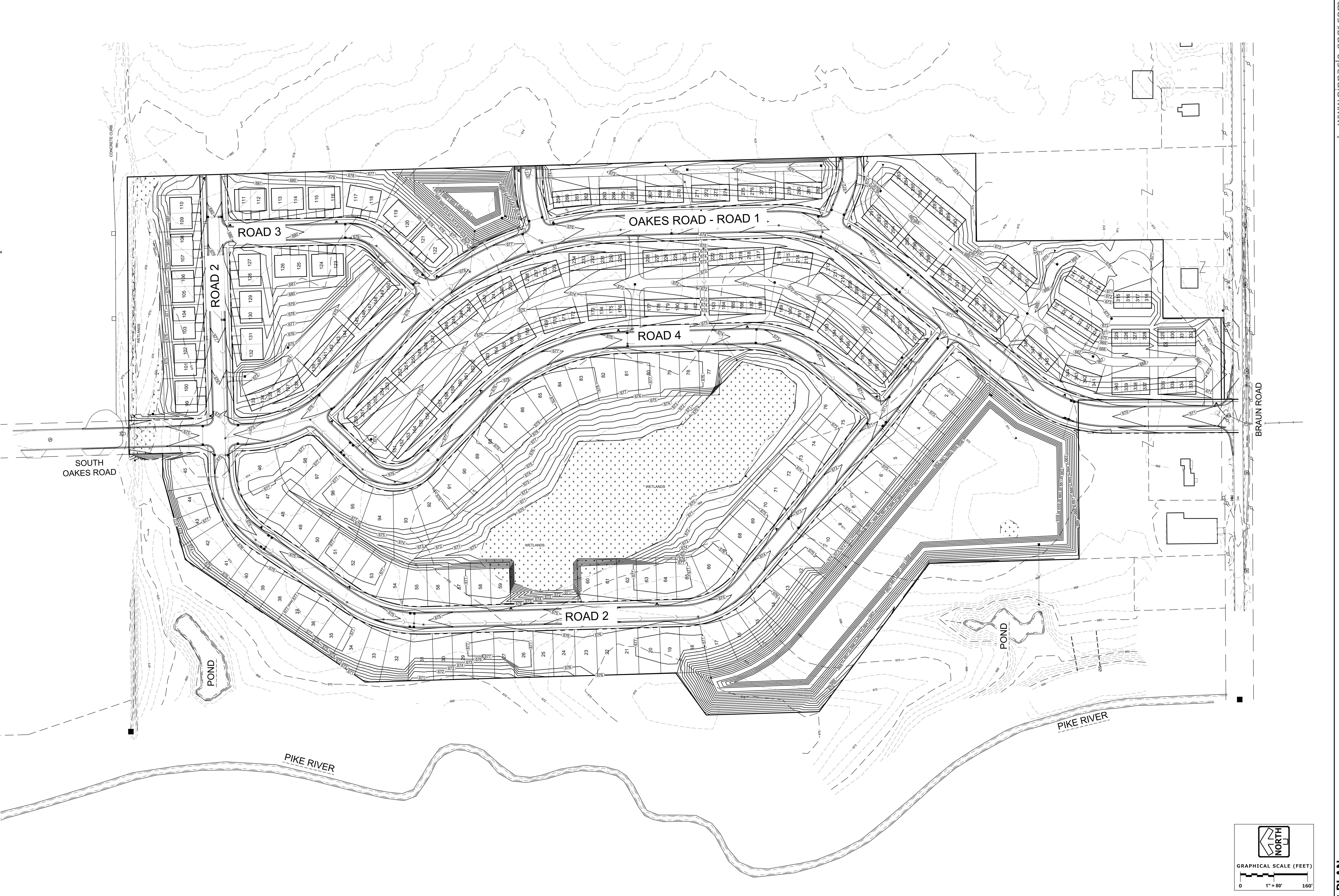
SITE PLAN

REVISIONS

NO.	DATE	DESCRIPTION



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DESIGNED: **AR** CHECKED: **MM** REVIEWED: **MM**

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VILLAGE OF MT. PLEASANT

GRADING PLAN

REVISIONS	

PROJECT NO: 202516367.00-WI-CAD(SHEETS)CONCEPT/GRADING PLAN.DWG

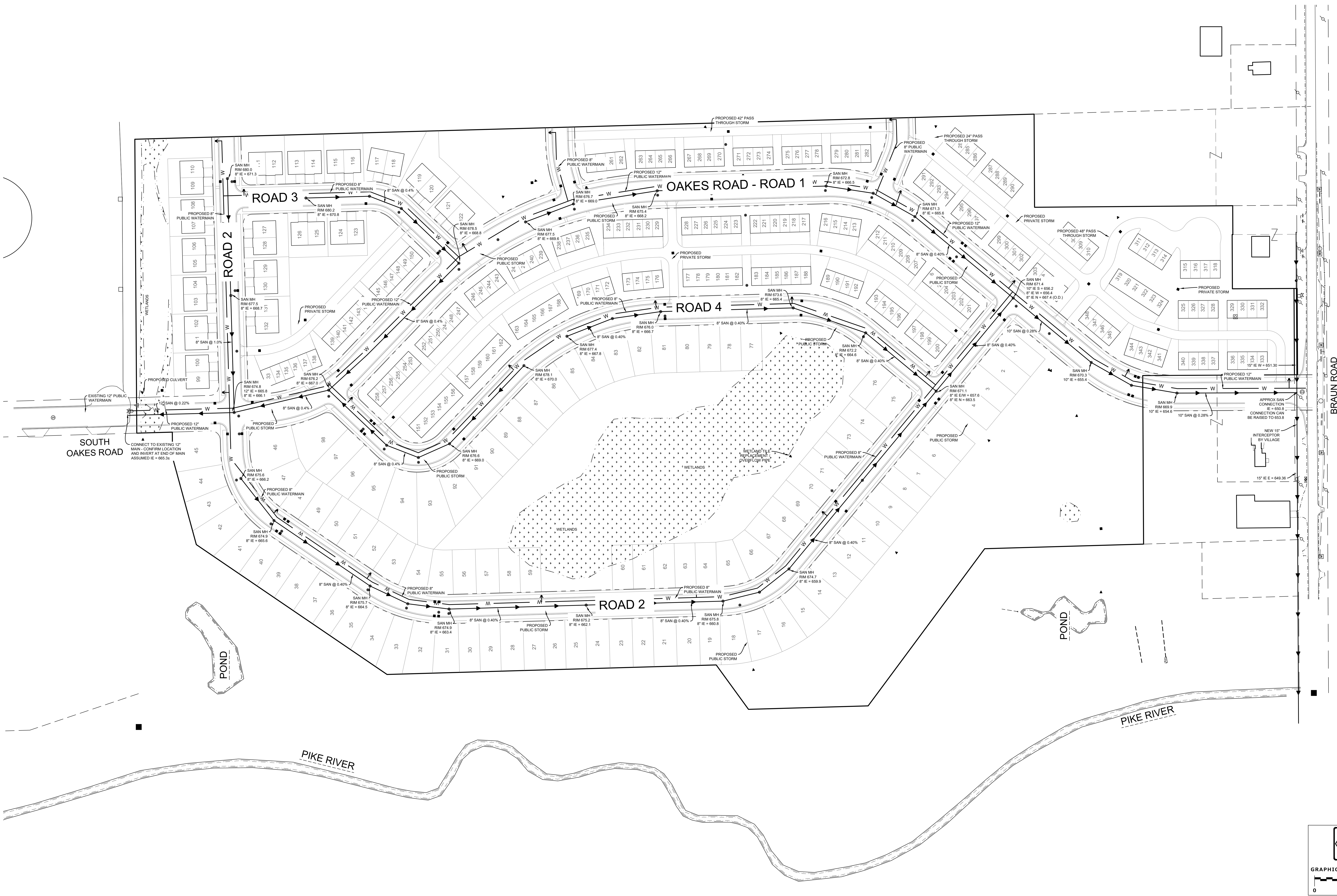
REG. NO: 5826Z (05-WI)
 A/E/C
 START DATE: 11-21-25
 SCALE: 1" = 80'

SHEET 3
5

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15



BRAUN ROAD

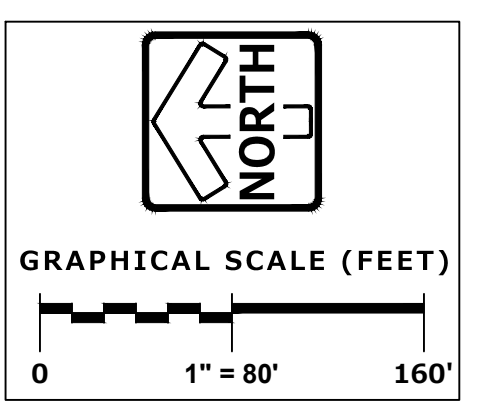
SOUTH OAKES ROAD

POND

POND

PIKE RIVER

PIKE RIVER



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VILLAGE OF MT. PLEASANT

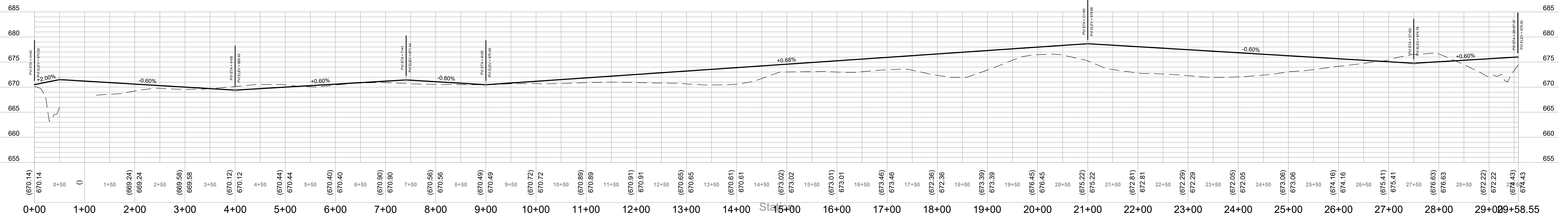
UTILITY PLAN

REVISIONS	

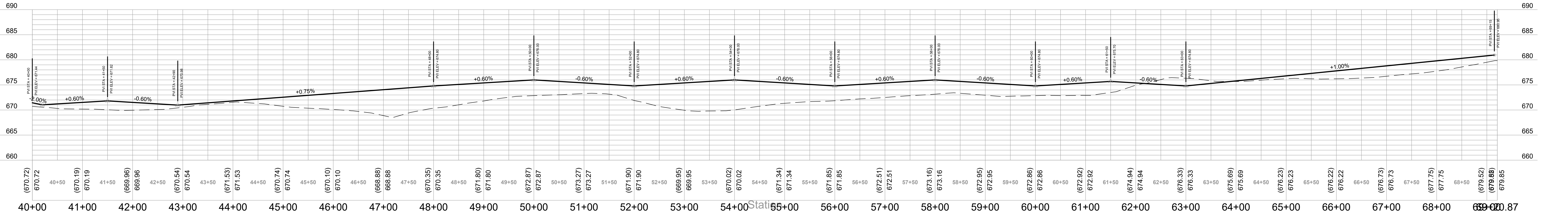
PROJECT NO: 202516367.00-W/CAD(SHEETS)CONCEPT/UTILITY PLAN.DWG	DATE: 11-21-25	SHEET
SCALE: 1" = 80'		4
		5

UTILITY PLAN

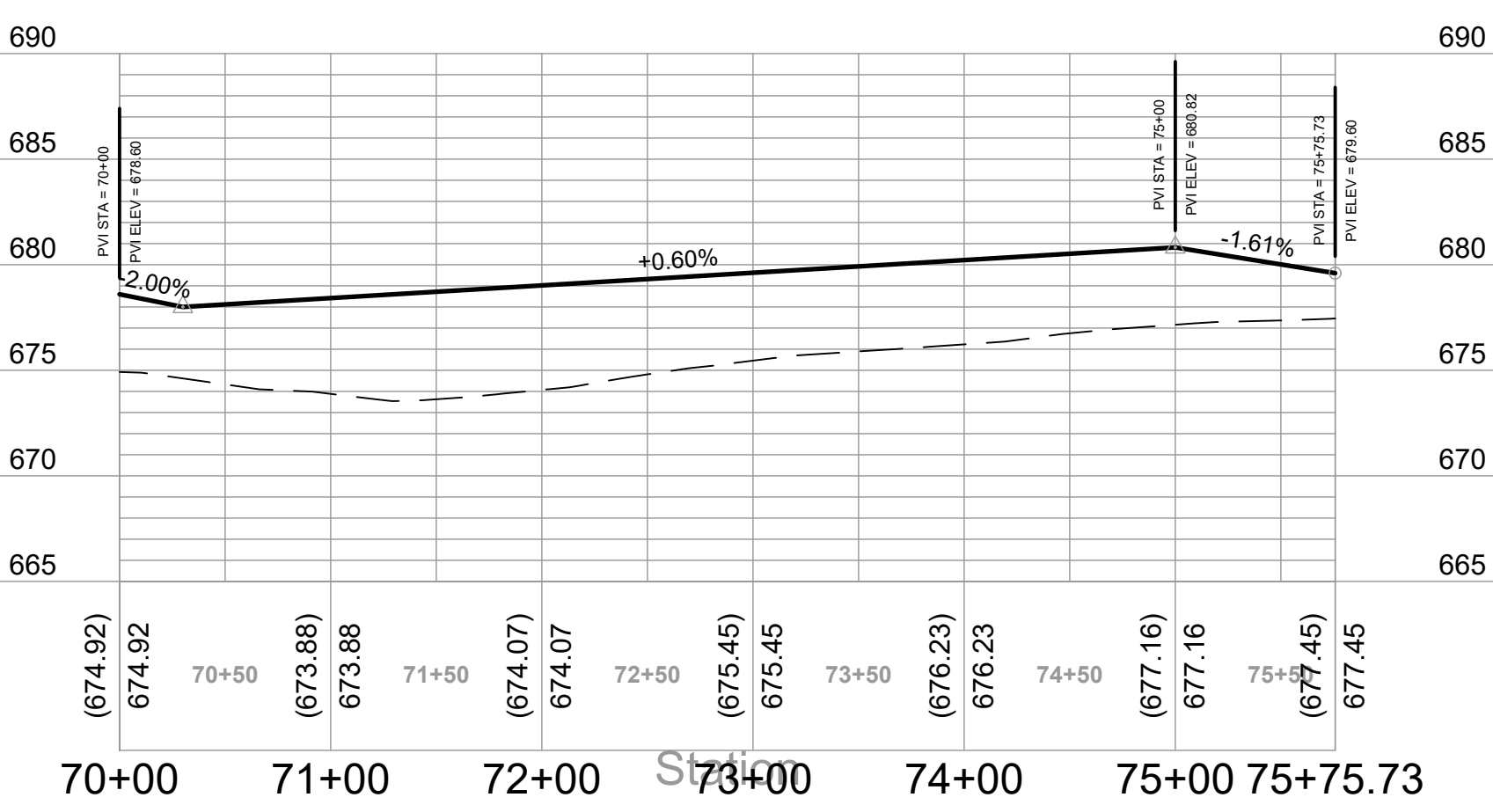
OAKES ROAD - ROAD 1



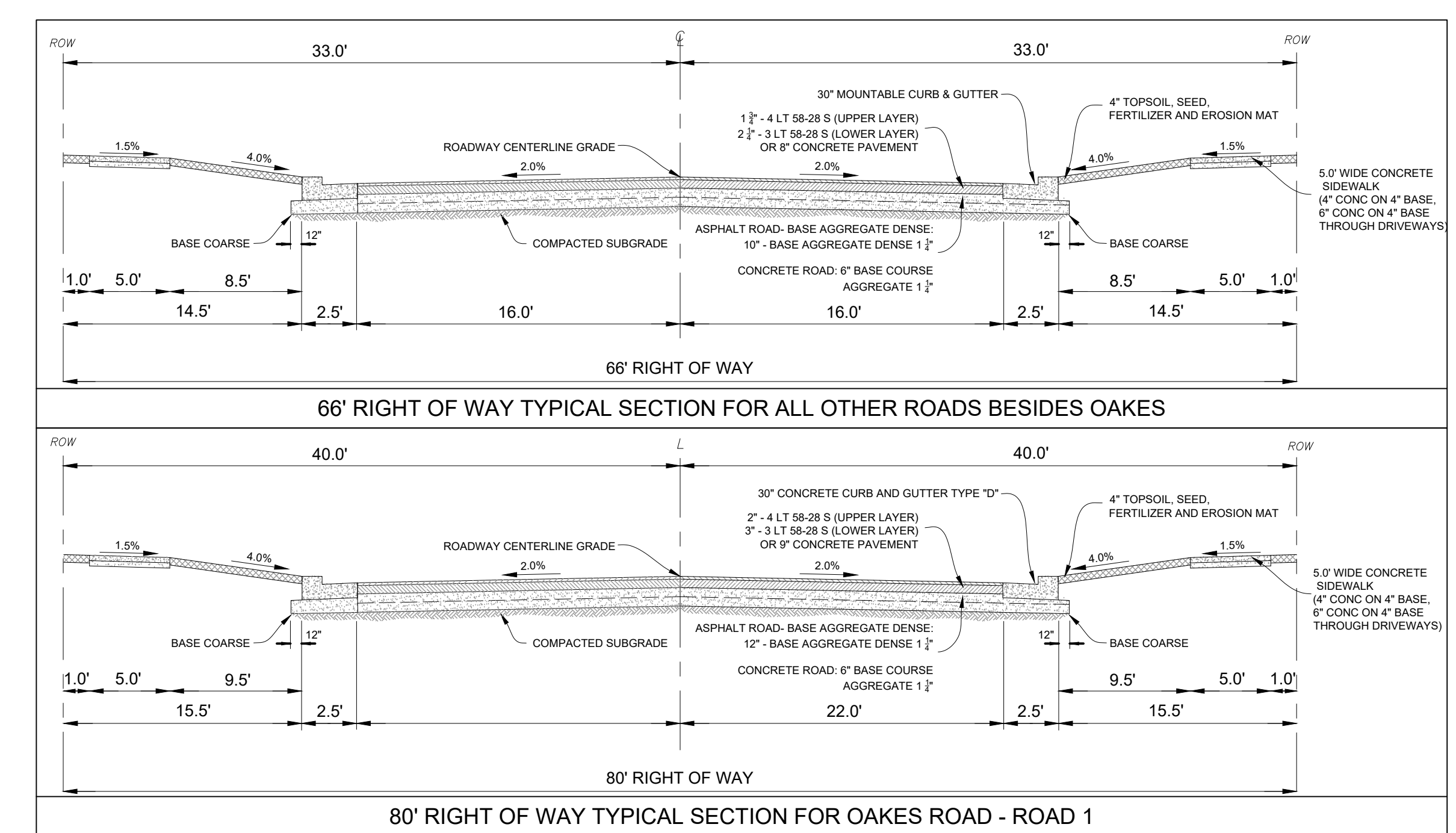
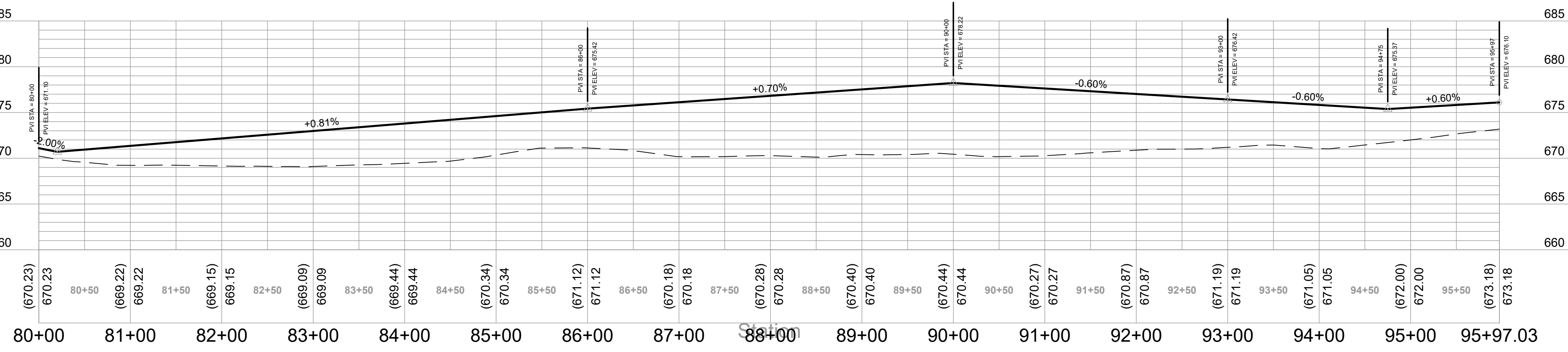
ROAD 2



ROAD 3



ROAD 4



DESIGNED BY: [Redacted] CHECKED BY: [Redacted] REVIEWED BY: [Redacted] DATE: [Redacted]

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BRAUN ROAD RESIDENTIAL
VILLAGE OF MT. PLEASANT

PROFILES & CROSS SECTIONS

REVISIONS	

SHEET
5
 OF
5
 PFC JOB NO: 2025-06-02-00-WI-CAD(SHEETS)CONCEPT/PROFILES.DWG
 REG PH: A/E/C
 START DATE: 11-21-25
 SCALE: 1" = 80'
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TIA TECHNICAL MEMORANDUM

DATE: September 24, 2025

BY: Tammi Czewski, P.E., PTOE
Traffic Analysis & Design, Inc.

SUBJECT: **Bear Braun Road Residential Development Traffic Impact Analysis
Village of Mount Pleasant, WI**

INTRODUCTION & PURPOSE

Bear Development, LLC is proposing a 336-unit residential development on 60.46 acres on the north side of Braun Road in the Village of West Bend, Wisconsin. Access to Braun Road will be through an extension of Oakes Road, which will also provide site access to Durand Avenue (STH 11) to the north. This technical memorandum was prepared as a traffic impact analysis (TIA) to evaluate intersection traffic impacts from the on-site Bear residential development, along with the proposed off-site Cardinal Capital Management, Inc. residential development to the east. The location of the proposed on-site and off-site developments with respect to the surrounding roadway system are on [Exhibit 1](#).

PROPOSED DEVELOPMENT PLANS

On-Site Development – Bear Braun Road Residential Development

The conceptual site plan for the proposed Bear Braun Residential Development is on [Exhibit 2](#). The plan shows Oakes Road extended from the existing cul-de-sac south to connect with Braun Road. A roadway stub is shown that will eventually connect to an extension of Biscayne Avenue through several vacant properties, which include the proposed Cardinal Braun Road Residential Development. Other internal roadways are proposed throughout the development site.

Land uses proposed for the on-site development include the following uses:

- 128 single-family lots
- 116 duplex units
- 92 townhome units

Off-Site Development – Cardinal Braun Road Residential Development

The conceptual site plan for the proposed Cardinal Braun Road Residential Development is on [Exhibit 3](#). The plan shows two north/south roadways connecting to Braun Road, and two east/west roadways traveling through the site, potentially connecting to new roadways on

adjacent sites (such as Biscayne Avenue). There is currently a narrow vacant lot between the Bear and Cardinal Braun Road Residential Developments. For the purposes of this study, and for the evaluation and determination of the Oakes Road/Biscayne Avenue geometrics, Biscayne Avenue was assumed to be fully connected between the Bear and Cardinal Braun Road Residential Developments. However, it was not estimated to connect further east to the existing Biscayne Avenue roadway.

Land uses proposed for the off-site development include the following uses:

- 575 multi-family units
- 34 duplex units
- 9 single-family lots

STUDY AREA

[Exhibit 1](#) shows the study intersections evaluated in this TIA report. The study intersections are also listed below:

- Green Bay Road (STH 31) & Braun Road
- Oakes Road & Durand Avenue (STH 11)
- Oakes Road & Biscayne Avenue (future intersection)
- Oakes Road & Braun Road (future intersection)

The existing geometrics, traffic control, posted speed limits, and annual average daily traffic (AADT) from the Wisconsin Department of Transportation (WisDOT) in the study area are shown on [Exhibit 4](#). Following is a description of the roadways within the study area.

Braun Avenue is a rural two-lane east/west undivided Collector roadway with grass shoulders and a 45-mph speed limit through the development site. Through the newer Fiduciary multi-family development area to the south, Braun Road has a mix of gravel and curbed shoulders. The 2021 WisDOT AADT on Braun Road is 3,400 vehicles per day (vpd) west of Green Bay Road (STH 31) and 5,500 vpd east of Green Bay Road (STH 31). A paved multi-use path is present along the south side of the roadway through the Fiduciary development area.

Durand Avenue (STH 11) is a four-lane east/west Principal Arterial with a 40-mph speed limit and curbed median on both sides of the Oakes Road intersection. Durand Avenue (STH 11) has paved shoulders and a 2024 WisDOT AADT of 23,900 vpd west of Oakes Road and 22,300 vpd east of Oakes Road. Intermittent sidewalk is present on the south side of the roadway, primarily through the Walmart/Menards shopping center area.

Green Bay Road (STH 31) is a four-lane north/south Principal Arterial with a 55-mph speed limit, curbed grass median, and wide paved shoulders through the study area. Green Bay Road (STH 31) has a 2024 WisDOT AADT of 21,900 vpd south of Durand Avenue (STH 11) and 21,100 vpd south of Braun Avenue. Sidewalk is present sporadically through property limits of newer development areas along the Green Bay Road (STH 31).

Oakes Road is a two-lane north/south undivided Collector roadway with curbed shoulders and a 30-mph speed limit south of Durand Avenue (STH 11). Oakes Road currently ends in a cul-de-sac about ¼ mile south of the Walmart/Menards shopping center. Oakes Road is planned to be extended south to Braun Road (as is proposed for the Bear Braun Road Residential Development), with eventual continuation further south and east to connect to Green Bay Road

(STH 31). Oakes Road has a 2024 WisDOT AADT of 7,600 vpd north of Durand Avenue (STH 11). No sidewalks are present along the roadway in the study area.

PEAK HOUR TRAFFIC VOLUMES

Data Collection/Background Traffic Volumes

Turning movement traffic counts were collected at the Oakes Road/Durand Avenue (STH 11) and Green Bay Road (STH 31)/Braun Road intersection on September 15, 2025. Counts were collected from 6:00-9:00 a.m. and from 3:00-6:00 p.m. The common peak hour at these study intersections was determined to occur from 6:45-7:45 a.m. (AM peak hour) and from 3:45-4:45 p.m. (PM peak hour). The traffic counts were compiled for these hours and are shown on [Exhibit 5](#). Traffic count data sheets are in [Appendix A](#).

[Exhibit 5](#) also shows the peak hour traffic assignment¹ to/from the Fiduciary residential development recently constructed in the southwest corner of the Green Bay Road (STH 31)/Braun Road intersection. The traffic assignment at both residential access points to Braun Road were combined on this exhibit and used to determine Braun Road traffic volumes through the planned extension of Oakes Road.

Development Trip Generation

Trip rates and fitted curve equations (FCE) from the *ITE Trip Generation Manual, 11th Edition* were used to estimate trips for full buildout of the proposed on-site and off-site Braun Road residential developments. For both sites, it was estimated that about 5% of the residential trips (shown as “linked trips”) would travel to/from the Walmart/Menards shopping center area without exiting to external study intersections on Durand Avenue (STH 11) or Braun Road.

Based on ITE, the on-site Bear Braun Road Residential Development generates 2,660 new daily trips, 185 new weekday AM peak hour trips, and 230 new weekday PM peak hour trips at the study intersections on Durand Avenue (STH 11) and Braun Road. The off-site Cardinal Braun Road Residential Development generates 3,875 new daily trips, 205 new weekday AM peak hour trips, and 280 new weekday PM peak hour trips. Trip generation for the site and off-site developments are on [Exhibit 6](#).

Development Trip Distribution & Traffic Assignment

The site trips were distributed to the adjacent study intersection based on existing traffic patterns, with adjustments made to reflect likely routes between the residential development and the I-94 interchanges and population centers (Kenosha to the south and Racine to the northeast). The trip distribution evaluated in this study was estimated as:

- 21% to/from the west on Durand Avenue (STH 11)
- 21% to/from the east on Durand Avenue (STH 11)
- 5% to/from the north on Oakes Road
- 10% to/from the west on Braun Road
- 5% to/from the east on Braun Road
- 18% to/from the north on Green Bay Road (STH 31)
- 20% to/from the south on Green Bay Road (STH 31)

¹ Phase I buildout traffic assignment from the August 22, 2025 Fiduciary Development Updated TIA.

The site and off-site development new trips were assigned to the study intersections based on these distributions for the weekday AM and PM peak hours. The on-site development traffic assignment ([Exhibit 7](#)) and off-site development traffic assignment ([Exhibit 8](#)) were added to the existing traffic volumes to generate the “Build” traffic volumes shown on [Exhibit 9](#).

PEAK HOUR TRAFFIC OPERATIONS

The study intersections were analyzed using the Synchro 12 traffic analysis model (outputs based on the *Highway Capacity Manual, 7th Edition*) and the peak hour turning movement volumes estimated for each intersection. Intersection operation is defined by “level of service.” Level of Service (LOS) is a quantitative measure that refers to the overall quality of flow at an intersection ranging from very good, represented by LOS ‘A’, to very poor, represented by LOS ‘F’. For the purposes of this study, LOS D or better was used to define acceptable peak hour operating conditions. The LOS definitions for signalized and unsignalized intersections are included before the existing analysis output in [Appendix B](#). Build analysis output is in [Appendix C](#).

The Existing traffic (no build) and Build traffic (additional traffic from on-site and off-site developments) peak hour traffic operations for the study intersections are shown on [Exhibit 10](#). The Existing analysis was completed using the existing geometrics and traffic signal control at the Oakes Road/Durand Avenue (STH 11) and Green Bay Road/Braun Road study intersections. Based on the analysis, all turning movements at these intersections operate at LOS D or better during both the AM and PM peak hours. Traffic queues are within the amount of turn lane storage provided at each intersection.

The Build traffic analysis was completed with the existing geometrics and traffic control at the Oakes Road/Durand Avenue (STH 11) and Green Bay Road/Braun Road study intersections. The future Oakes Road intersections with Biscayne Avenue and Braun Road were modeled with stop sign control and single lanes at each approach. As shown on [Exhibit 11](#), the Build traffic volumes projected in this study are not high enough to meet warrants for left and right-turn lanes on Braun Road. With these assumptions and Build traffic control, all turning movements at the study intersections continue to operate acceptably at LOS D or better during the peak hours, and traffic queues are within the amount of turn lane storage provided at each intersection.

RECOMMENDATIONS/CONCLUSIONS

Modifications are for jurisdictional consideration and are not legally binding. The Village of Mount Pleasant reserves the right to determine alternative solutions.

The recommended modifications are listed below and also shown graphically on [Exhibit 12](#).

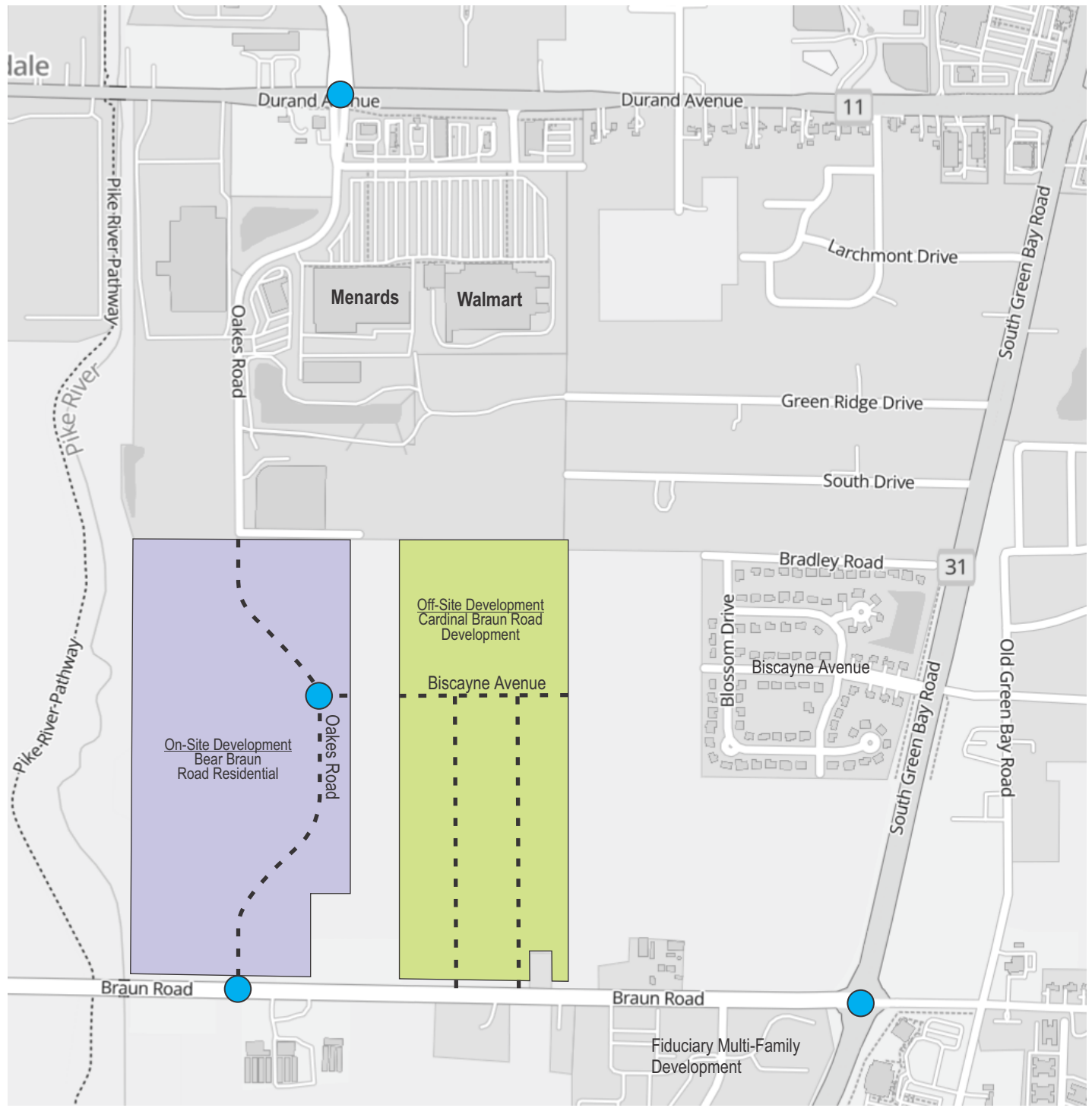
- Oakes Road & Durand Avenue (STH 11): No Modifications
- Green Bay Road (STH 31) & Braun Road: No Modifications
- Oakes Road & Biscayne Avenue: Construct the new intersection with single-lane approaches and stop sign control on the westbound Biscayne Avenue approach.
- Oakes Road & Braun Road: Construct the new intersection with single-lane approaches and stop sign control on the southbound Oakes Road approach. Although volume warrants are not high enough for left-turn lanes on Braun Road, an eastbound left-turn

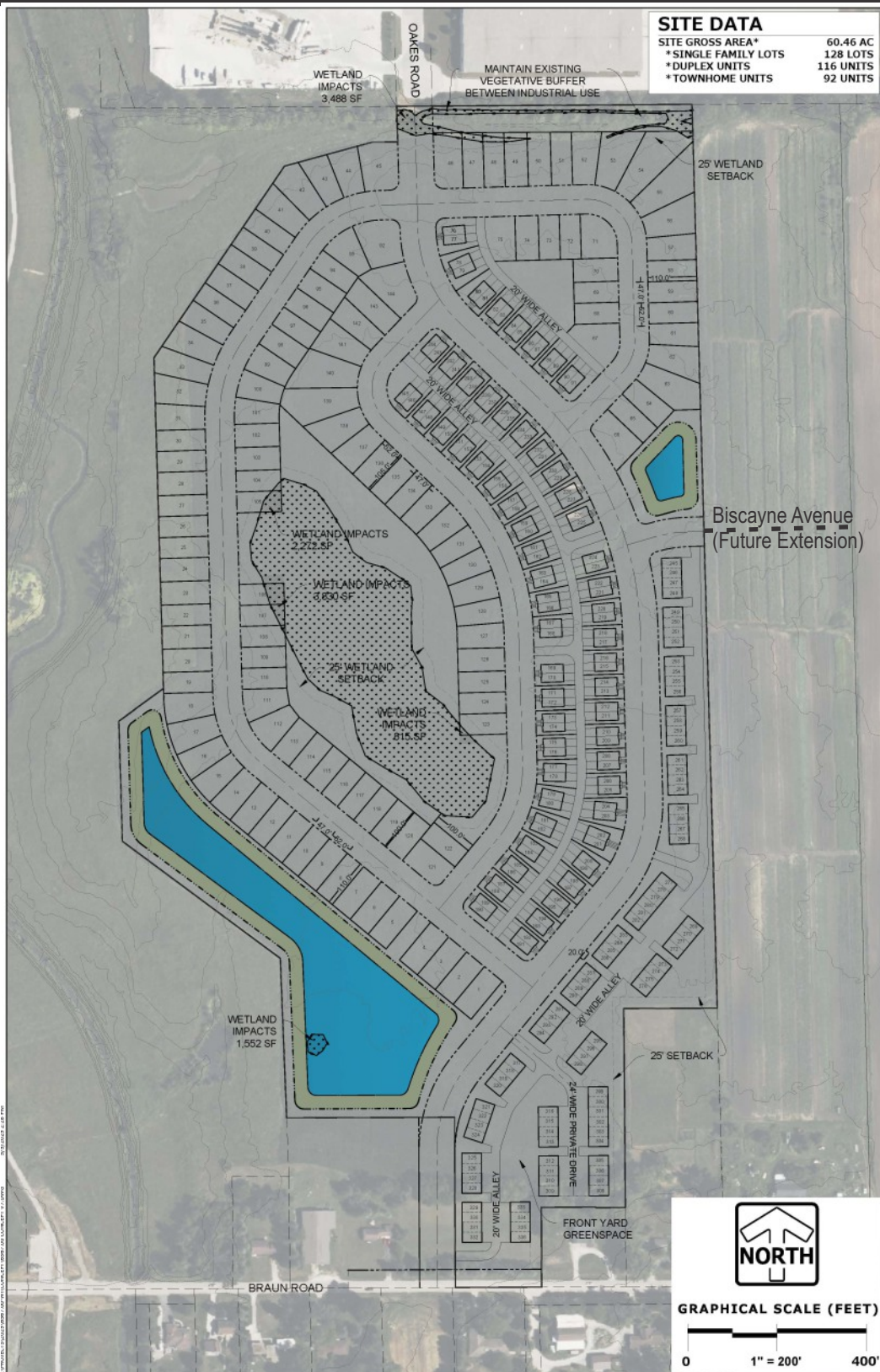
bypass lane is recommended to provide improved safety through the intersection as development increases in the study area.

With the modifications listed above, the Build traffic volumes result in acceptable traffic operations (LOS D or better for all movements) and queues at the study intersections.

LEGEND

- Study Intersection
- Proposed Road Extensions





BRAUN ROAD RESIDENTIAL | CONCEPT v7

5/5/25

PINNACLE ENGINEERING GROUP

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PLAN | DESIGN | DELIVER

PEG JOB# 6367.00



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**EXHIBIT 2
ON-SITE DEVELOPMENT CONCEPTUAL SITE PLAN
BEAR BRAUN ROAD RESIDENTIAL DEVELOPMENT**

BEAR BRAUN ROAD RESIDENTIAL TIA - MOUNT PLEASANT, WISCONSIN



BRAUN ROAD

SITE
SCALE 1" = 200'-0"

SITE REGION KEY	
	PAVED ROADS ROADS, PARKING & AMENITIES
	PATIOS & PATHWAYS
	GREEN SPACE LANDSCAPING, NATURAL PRARIE ZONES
	BIO RETENTION ZONES GRADED NATURAL PRARIE ZONES
	WETLANDS CSM 2775
	EASEMENT REFER TO SURVEY

MULTI-FAMILY UNIT MATRIX (RH-1 ZONING)					
UNIT TYPES:	STUDIO	1-BED	2-BED	3-BED	
BLDG 'A'					
TOTALS	20	84	72	24	200 units
UNITS PER BUILDING	5	21	15	6	
% OF TOTAL	10%	42%	36%	12%	
NET SF	550 SF	710 SF	1,000 SF	1,250 SF	
TOTAL BUILDINGS ON PROPERTY: 4 3 STORY W/ UNDERGROUND PARKING ZONING: RH-1 (DESC: PODIUM - TYPE VB)					
BLDG 'B'					
TOTALS	60	150	135	30	375 units
UNITS PER BUILDING	4	10	9	2	
% OF TOTAL	10%	40%	30%	8%	
NET SF	550 SF	710 SF	1,000 SF	1,250 SF	
TOTAL BUILDINGS ON PROPERTY: 15 2 STORY STACKED FLATS ZONING: RH-1 (DESC: TYPE VB)					
COMBINED TOTAL UNITS	80	234	207	54	575 units
	14%	41%	36%	9%	

DUPLX	34
ZONING - RM & RH - "TWINHOUSE" 2 BED + DEN 1,200 SF 1 LEVEL ATTACHED GARAGE : 2 CAR	
SINGLE FAMILY	9
ZONING - RM & RH - "DETACHED HOUSE" 3 BED 1,350 SF 2 LEVEL ATTACHED GARAGE : 2 CAR	

TOTAL UNITS: 618

PARKING QUANTITIES		
UNIT PARKING 1:1.5	PARKING REQ.	PARKING PROVIDED
BUILDING 'A':	300	200
BUILDING 'B':	570	150
SURFACE:	-	520

870 870

* Parking Quantities are combined across all building types.



TRAFFIC ANALYSIS & DESIGN, INC.

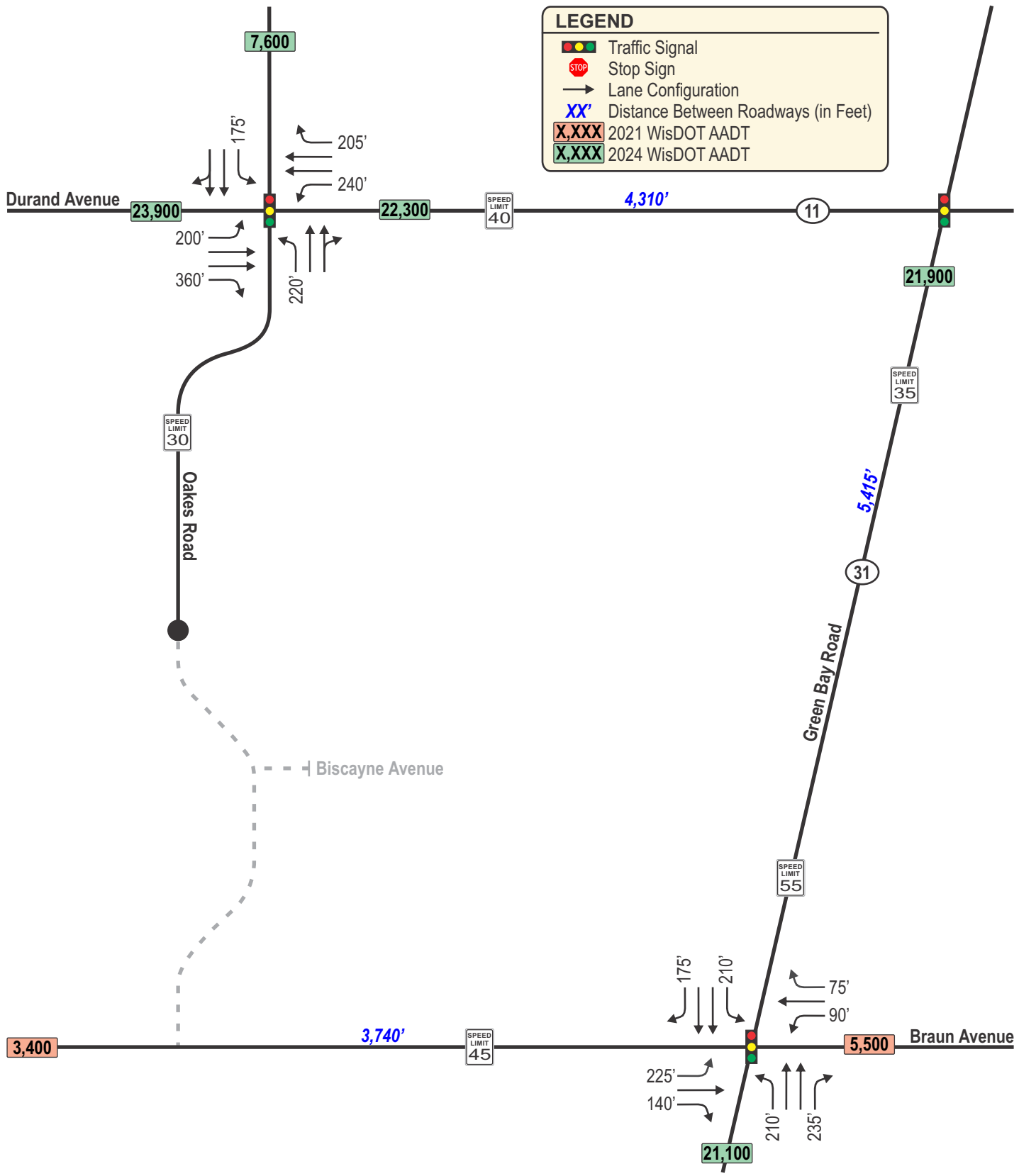
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EXHIBIT 2
OFF-SITE DEVELOPMENT CONCEPTUAL SITE PLAN
CARDINAL BRAUN ROAD DEVELOPMENT

BEAR BRAUN ROAD RESIDENTIAL TIA - MOUNT PLEASANT, WISCONSIN

LEGEND

- Traffic Signal
- Stop Sign
- Lane Configuration
- XX'** Distance Between Roadways (in Feet)
- X,XXX** 2021 WisDOT AADT
- X,XXX** 2024 WisDOT AADT



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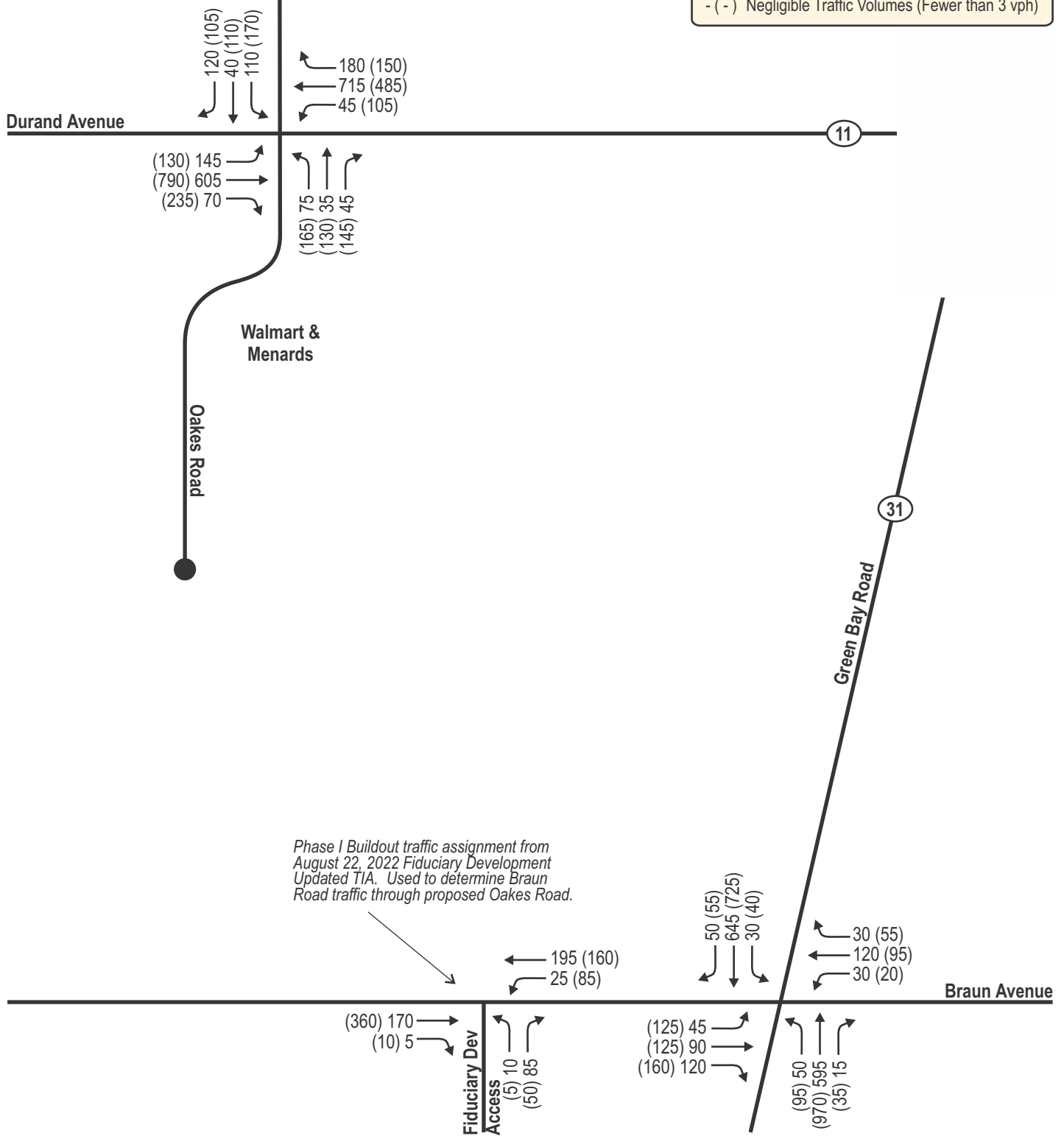


NOT TO SCALE

**EXHIBIT 4
EXISTING TRANSPORTATION SYSTEM**

LEGEND

- XX AM Peak Hour Volumes
- (XX) PM Peak Hour Volumes
- (-) Negligible Traffic Volumes (Fewer than 3 vph)



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**EXHIBIT 5
EXISTING PEAK HOUR TRAFFIC VOLUMES**

**Bear On-Site Development
Braun Road Residential Trip Generation Table ¹**

Land Use	ITE Code	Proposed Size	Weekday Daily	AM Peak			PM Peak		
				In	Out	Total	In	Out	Total
Single-Family Detached Housing	210	128 Units	1,265 FCE	25 (26%)	70 (74%)	95 FCE	80 (63%)	45 (37%)	125 FCE
Single-Family Attached Housing	215	208 Units	1,535 FCE	25 (25%)	75 (75%)	100 FCE	70 (59%)	50 (41%)	120 FCE
Total Trips			2,800	50	145	195	150	95	245
<i>Linked Trips ²</i>		5%	-140	-5	-5	-10	-10	-5	-15
Total New Trips			2,660	45	140	185	140	90	230

¹ Trip Rates (X.XX) and/or Fitted Curve Equations (FCE) are from the ITE Trip Generation Manual, 11th Edition.

² Internally linked trips to/from Walmart shopping area in SE corner of STH 11 & Oakes Road.

TRIP DISTRIBUTION (New Trips)

W. on Durand Avenue (STH 11)	21%	10	30	30	20
E. on Durand Avenue (STH 11)	21%	10	30	30	20
N. on Oakes Road	5%	0	5	5	5
W. on Braun Road	10%	5	15	15	10
E. on Braun Road	5%	0	5	5	5
N. on Green Bay Road (STH 31)	18%	10	25	25	15
S. on Green Bay Road (STH 31)	20%	10	30	30	15
	100%	45	140	140	90

Cardinal Off-Site Development

Braun Road Residential Trip Generation Table ¹

Land Use	ITE Code	Proposed Size	Weekday Daily	AM Peak			PM Peak		
				In	Out	Total	In	Out	Total
Single-Family Detached Housing	210	9 Units	110 FCE	5 (26%)	5 (74%)	10 FCE	5 (63%)	5 (37%)	10 FCE
Single-Family Attached Housing	215	34 Units	210 FCE	5 (25%)	5 (75%)	10 FCE	10 (59%)	5 (41%)	15 FCE
Multifamily Housing (Low-Rise) (Not Close to Rail Transit)	220	575 Units	3,760 FCE	50 (24%)	150 (76%)	200 FCE	170 (63%)	100 (37%)	270 FCE
Total Trips			4,080	60	160	220	185	110	295
<i>Linked Trips ²</i>		5%	-205	-5	-10	-15	-10	-5	-15
Total New Trips			3,875	55	150	205	175	105	280

¹ Trip Rates (X.XX) and/or Fitted Curve Equations (FCE) are from the ITE Trip Generation Manual, 11th Edition.

TRIP DISTRIBUTION (New Trips)

W. on Durand Avenue (STH 11)	21%	10	30	35	25
E. on Durand Avenue (STH 11)	21%	10	30	35	20
N. on Oakes Road	5%	5	10	10	5
W. on Braun Road	10%	5	15	20	10
E. on Braun Road	5%	5	10	10	5
N. on Green Bay Road (STH 31)	18%	10	25	30	20
S. on Green Bay Road (STH 31)	20%	10	30	35	20
	100%	55	150	175	105



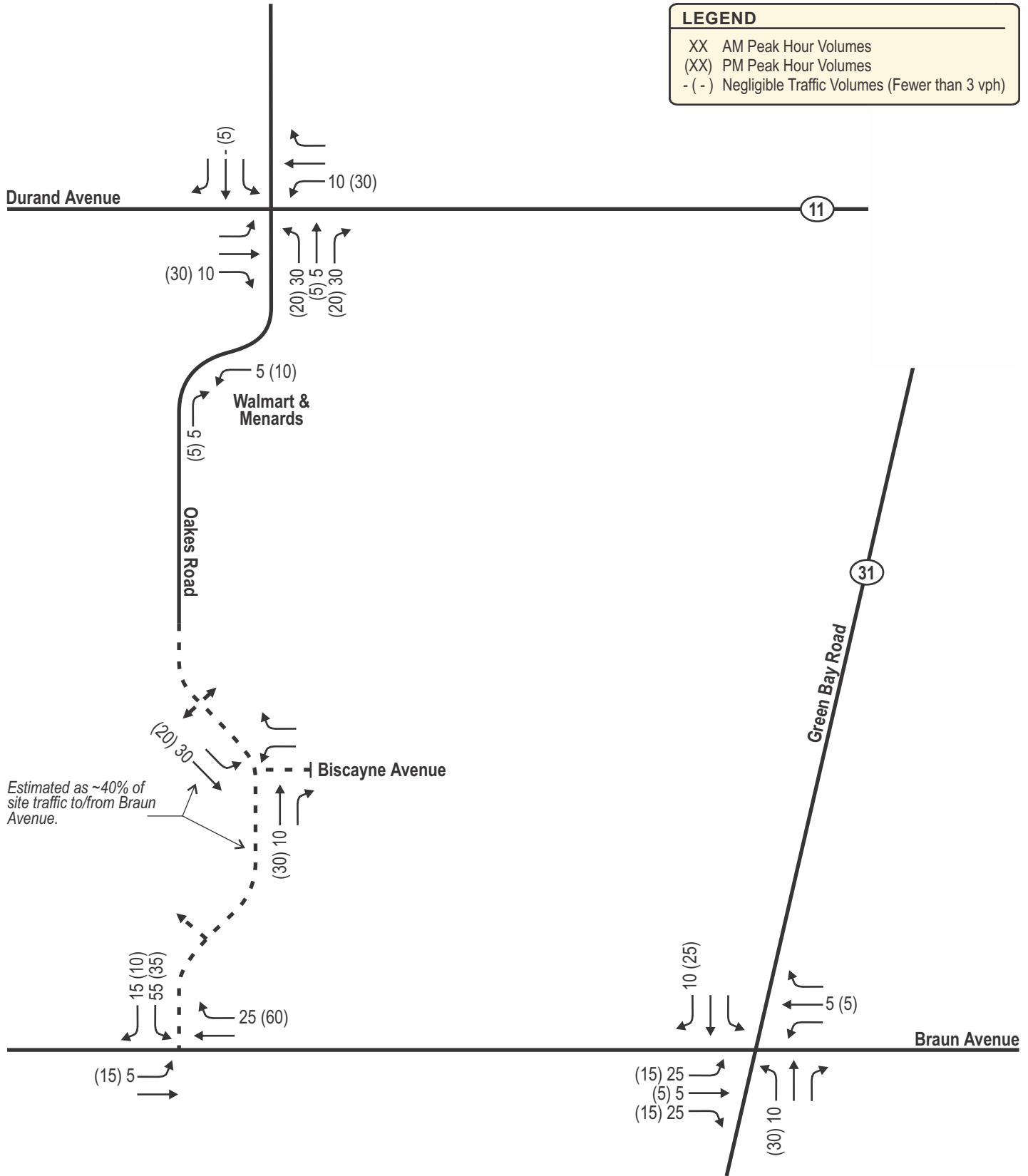
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**EXHIBIT 6
TRIP GENERATION & TRIP DISTRIBUTION**

LEGEND	
XX	AM Peak Hour Volumes
(XX)	PM Peak Hour Volumes
- (-)	Negligible Traffic Volumes (Fewer than 3 vph)



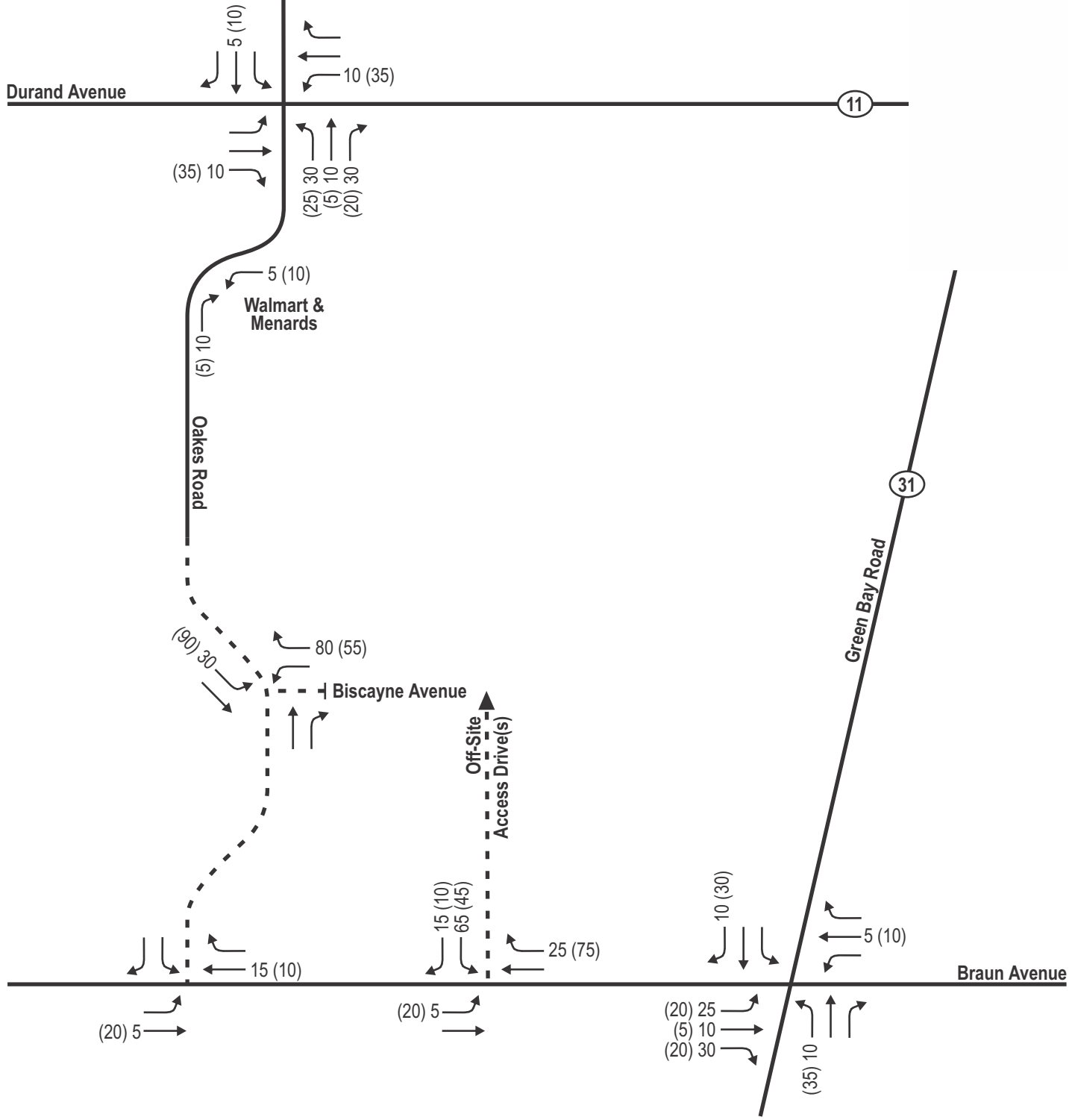
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**EXHIBIT 7
ON-SITE DEVELOPMENT NEW TRIPS**

LEGEND	
XX	AM Peak Hour Volumes
(XX)	PM Peak Hour Volumes
- (-)	Negligible Traffic Volumes (Fewer than 3 vph)



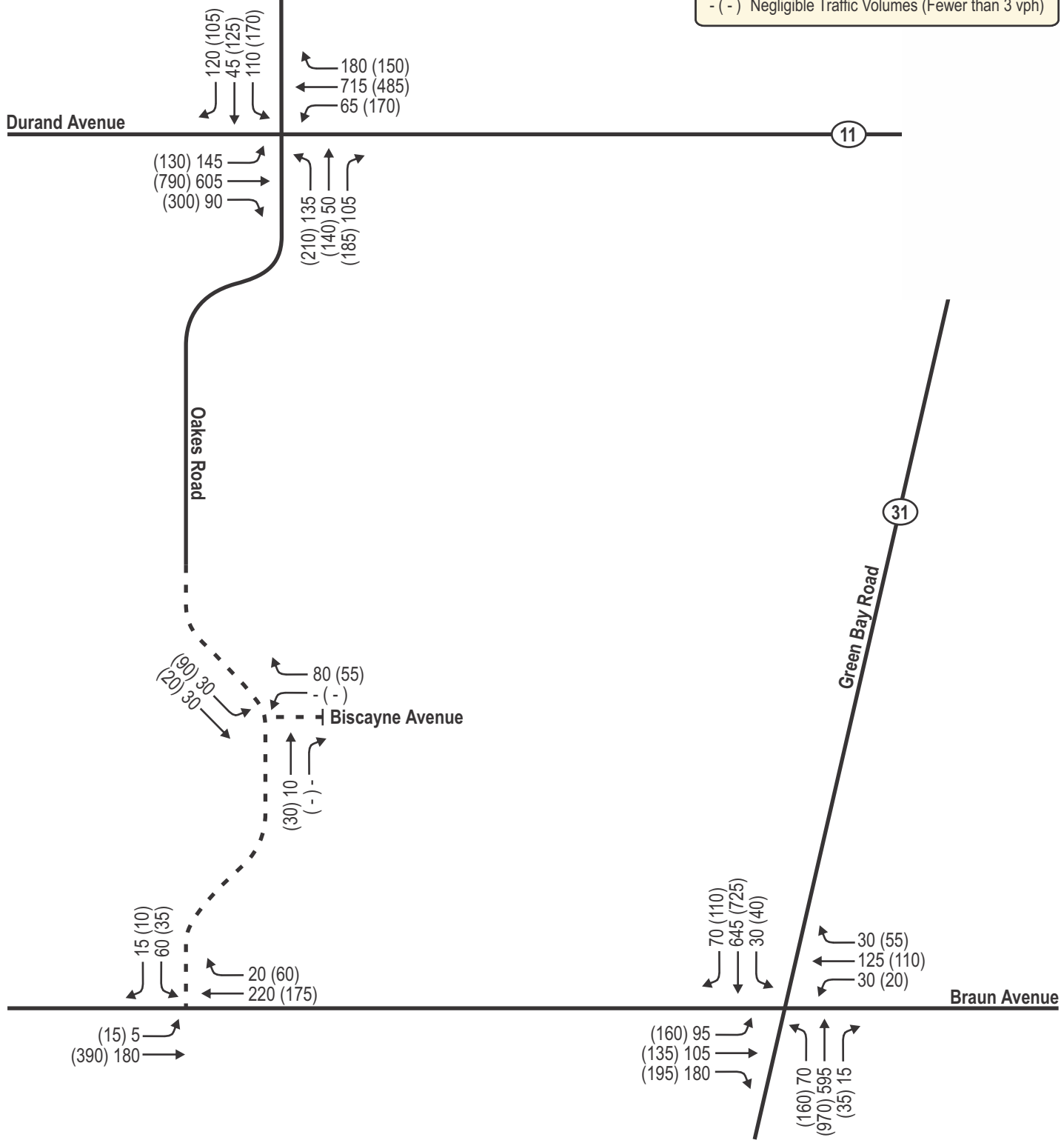
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**EXHIBIT 8
OFF-SITE DEVELOPMENT NEW TRIPS**

LEGEND	
XX	AM Peak Hour Volumes
(XX)	PM Peak Hour Volumes
- (-)	Negligible Traffic Volumes (Fewer than 3 vph)



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**EXHIBIT 9
BUILD PEAK HOUR TRAFFIC VOLUMES**

**Year 2025 Existing Traffic Peak Hour Operating Conditions
Existing Transportation System**

Intersection	Peak Hour	Metric	Level of Service (LOS) per Movement by Approach												I/S LOS & Delay
			Eastbound			Westbound			Northbound			Southbound			
			LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT	
Durand Avenue (STH 11) & Oakes Road <i>Traffic Signal Control</i>	AM	Lanes->	1	2	1	1	2	1	1	2	1	2	1	2	20.3
		LOS	B	B	B	B	C	B	C	C	C	C	C		
		Delay	15.5	18.0	14.5	13.1	21.2	17.3	23.2	27.8	23.5	29.0			
		v/c	0.50	0.55	0.10	0.15	0.70	0.26	0.31	0.27	0.34	0.60			
	PM	Queue	80'	210'	40'	30'	280'	100'	75'	50'	105'	90'			
		LOS	B	C	B	B	B	B	C	C	C	C	22.7		
		Delay	14.7	22.1	18.4	16.0	19.5	17.7	23.9	33.3	24.4	30.8			
		v/c	0.34	0.70	0.31	0.38	0.45	0.20	0.49	0.75	0.55	0.54			
Queue	90'	345'	135'	75'	205'	95'	150'	155'	150'	125'					
Braun Road & Green Bay Road (STH 31) <i>Traffic Signal Control</i>	AM	Lanes->	1	1	1	1	1	1	2	1	1	2	1	9.6	
		LOS	B	B	B	B	B	B	A	A	A	B	A		
		Delay	16.1	14.1	14.2	15.2	14.5	13.5	6.5	6.1	5.0	8.5	10.4		8.4
		v/c	0.14	0.27	0.28	0.09	0.37	0.07	0.12	0.35	0.01	0.07	0.52		0.06
	PM	Queue	35'	60'	50'	25'	75'	20'	15'	75'	5'	20'	120'	20'	
		LOS	B	B	B	B	B	B	A	A	B	B	A	10.4	
		Delay	17.5	15.1	15.2	16.4	14.8	14.3	7.0	7.1	5.1	10.2	11.7		9.3
		v/c	0.36	0.35	0.35	0.07	0.27	0.12	0.20	0.52	0.03	0.11	0.57		0.07
Queue	85'	80'	70'	20'	65'	30'	30'	150'	10'	30'	155'	25'			

**Year 2025 Build Traffic Peak Hour Operating Conditions
Existing Transportation System**

Intersection	Peak Hour	Metric	Level of Service (LOS) per Movement by Approach												I/S LOS & Delay
			Eastbound			Westbound			Northbound			Southbound			
			LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT	
Durand Avenue (STH 11) & Oakes Road <i>Traffic Signal Control</i>	AM	Lanes->	1	2	1	1	2	1	1	2	1	2	1	21.9	
		LOS	B	B	B	B	C	B	C	C	C	C			
		Delay	16.2	19.5	15.9	14.0	22.2	18.2	24.4	29.6	23.6	32.5			
		v/c	0.51	0.57	0.13	0.22	0.70	0.26	0.50	0.55	0.39	0.71			
	PM	Queue	95'	245'	55'	45'	315'	110'	130'	95'	110'	105'			
		LOS	B	C	C	B	C	B	C	D	C	C	25.1		
		Delay	15.7	25.3	21.9	18.8	20.6	18.8	26.1	36.1	26.1	34.6			
		v/c	0.34	0.72	0.41	0.59	0.43	0.20	0.58	0.81	0.59	0.58			
Queue	95'	400'	200'	125'	220'	100'	210'	205'	170'	150'					
Braun Road & Green Bay Road (STH 31) <i>Traffic Signal Control</i>	AM	Lanes->	1	1	1	1	1	1	1	2	1	1	2	1	10.4
		LOS	B	B	B	B	B	B	A	A	A	A	B	A	
		Delay	17.3	14.5	15.0	15.7	14.7	13.6	6.7	6.2	5.1	9.1	11.1	9.1	
		v/c	0.30	0.31	0.41	0.10	0.37	0.07	0.16	0.35	0.01	0.07	0.53	0.09	
	PM	Queue	65'	70'	75'	25'	80'	20'	80'	5'	20'	130'	25'		
		LOS	B	B	B	B	B	B	A	A	A	B	B	B	11.6
		Delay	19.0	15.5	15.8	17.0	15.3	14.6	8.2	7.9	5.7	11.5	13.5	11.0	
		v/c	0.44	0.32	0.37	0.06	0.27	0.11	0.35	0.52	0.03	0.12	0.59	0.14	
Braun Road & Oakes Road <i>Stop Sign Control (SB)</i>	AM	Lanes->	<1	-	-	-	1	>	-	-	-	<1	-	1.9	
		LOS	A	-	-	-	*	-	-	-	B	-			
		Delay	7.8	-	-	-	*	-	-	-	-	12	-		
		v/c	0.00	-	-	-	*	-	-	-	-	0.14	-		
	PM	Queue	0'	-	-	-	*	-	-	-	-	15'	-		
		LOS	A	-	-	-	*	-	-	-	B	-	1.0		
		Delay	7.8	-	-	-	*	-	-	-	-	13.3		-	
		v/c	0.01	-	-	-	*	-	-	-	-	0.10		-	
Biscayne Avenue & Oakes Road <i>Stop Sign Control (WB)</i>	AM	Lanes->	-	-	-	-	<1	>	-	1	>	<1		-	6.1
		LOS	-	-	-	-	A	-	-	*	-	A	-		
		Delay	-	-	-	-	8.7	-	-	*	-	7.3	-		
		v/c	-	-	-	-	0.08	-	-	*	-	0.02	-		
	PM	Queue	-	-	-	-	10'	-	-	*	-	5'	-		
		LOS	-	-	-	-	A	-	-	*	-	A	-	5.9	
		Delay	-	-	-	-	8.7	-	-	*	-	7.4	-		
		v/c	-	-	-	-	0.06	-	-	*	-	0.06	-		
Queue	-	-	-	-	5'	-	-	*	-	5'	-				

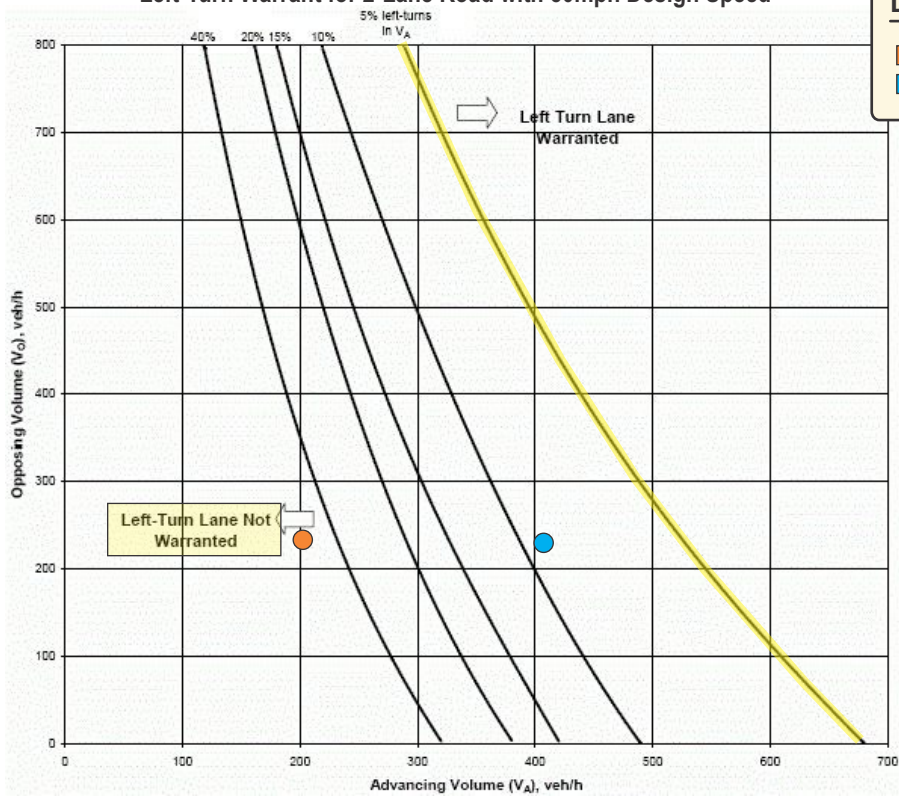
(-) indicates a movement that is prohibited or does not exist; (*) indicates a freeflow movement; (< or >) indicates a shared lane movement.
Delay is reported in seconds. Queue is the maximum of the 50th & 95th percentile queue from the Synchro Timing Settings output, measured in feet.



#3536 09-24-25

**EXHIBIT 10
PEAK HOUR TRAFFIC CAPACITY/LOS ANALYSIS**

Left-Turn Warrant for 2-Lane Road with 50mph Design Speed



LEGEND

- AM Peak Hour Data (Orange dot)
- PM Peak Hour Data (Blue dot)

Right-Turn Warrants for 2-Lane Road

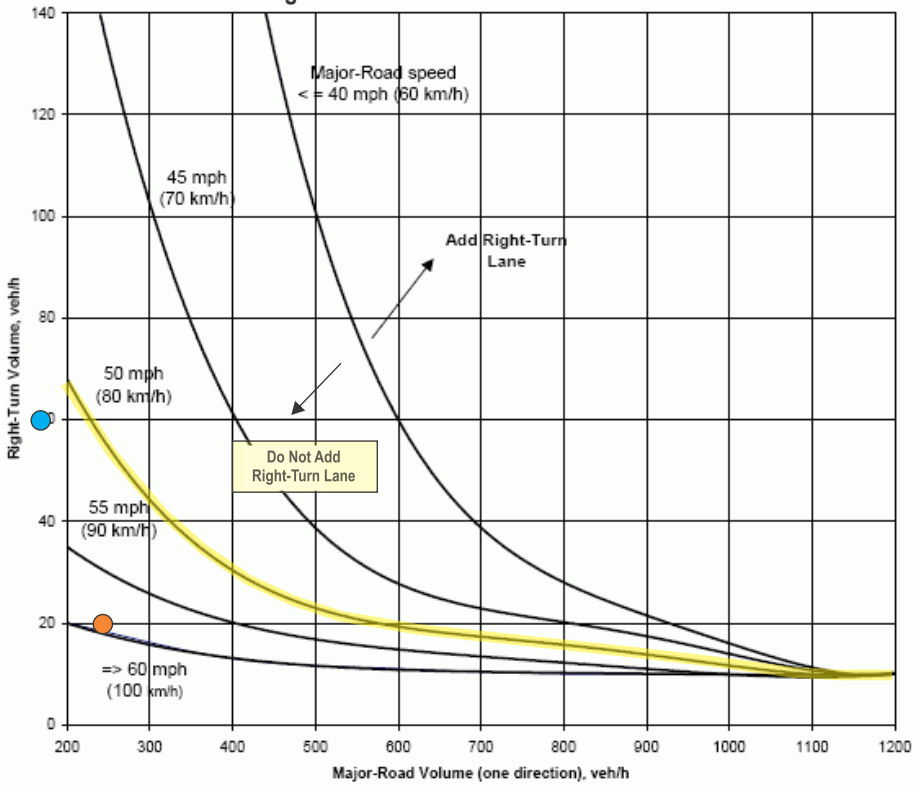



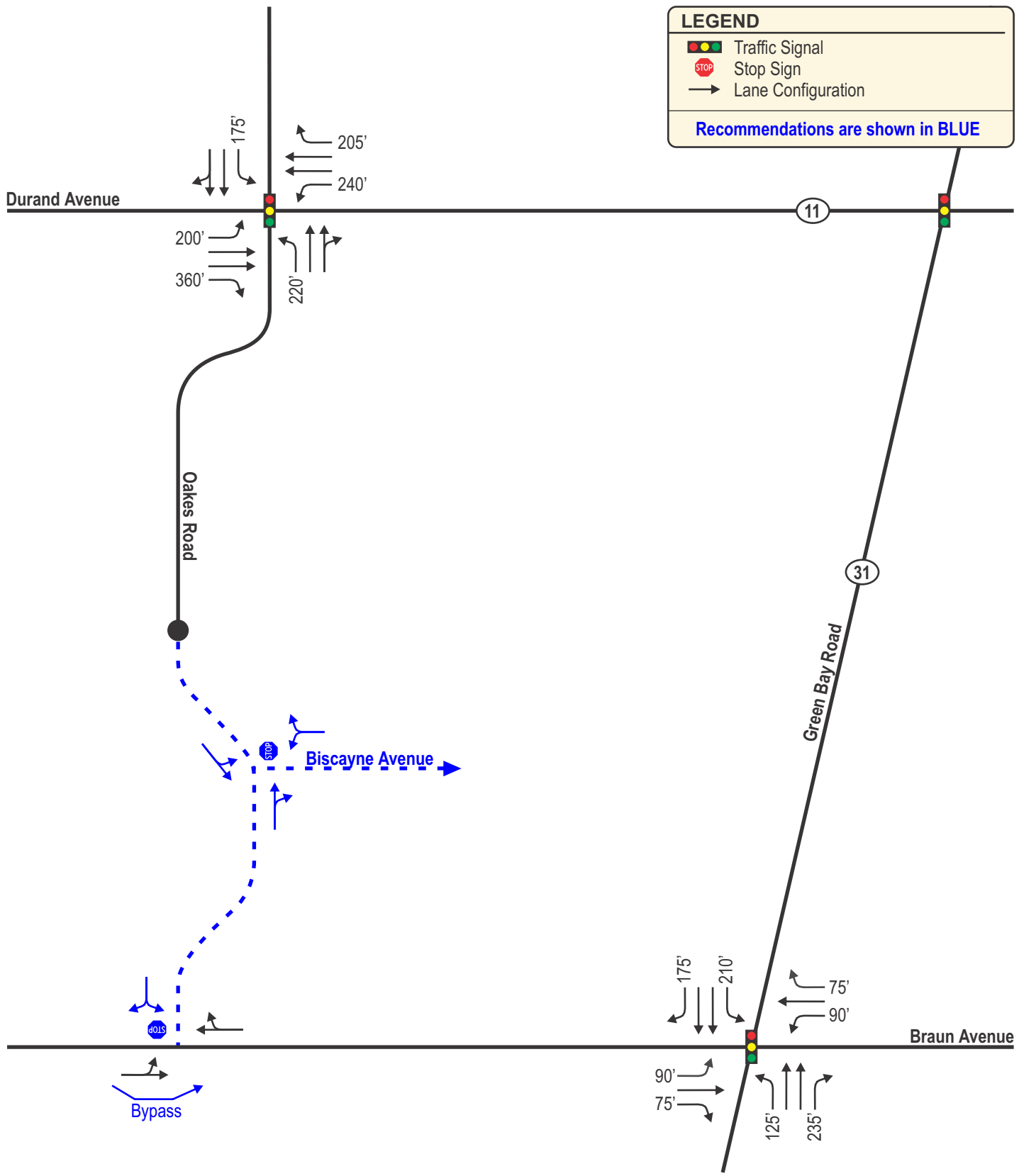


EXHIBIT 11 LEFT-TURN & RIGHT-TURN LANE WARRANTS BRAUN ROAD AT OAKS ROAD

LEGEND

-  Traffic Signal
-  Stop Sign
-  Lane Configuration

Recommendations are shown in BLUE



#3536 09-24-25



NOT TO SCALE

**EXHIBIT 11
RECOMMENDATIONS**

APPENDIX A

TRAFFIC COUNT DATA

Intersection Traffic Volume Report

Count Basics		Version 2025.03		Page 1 of 13	
Start Date:	Monday, September 15, 2025	Weekday	Schools in Session		
Total Number of Hours Counted:	6	Non-Holiday	No Special Events		

Base Information, Observed (6) Hour and Estimated (24) Hour Volume Summaries

Major St: STH 11 - Durand Avenue
 Minor St: Oakes Road
 Intersection of: STH 11 - Durand Avenue & Oakes Road

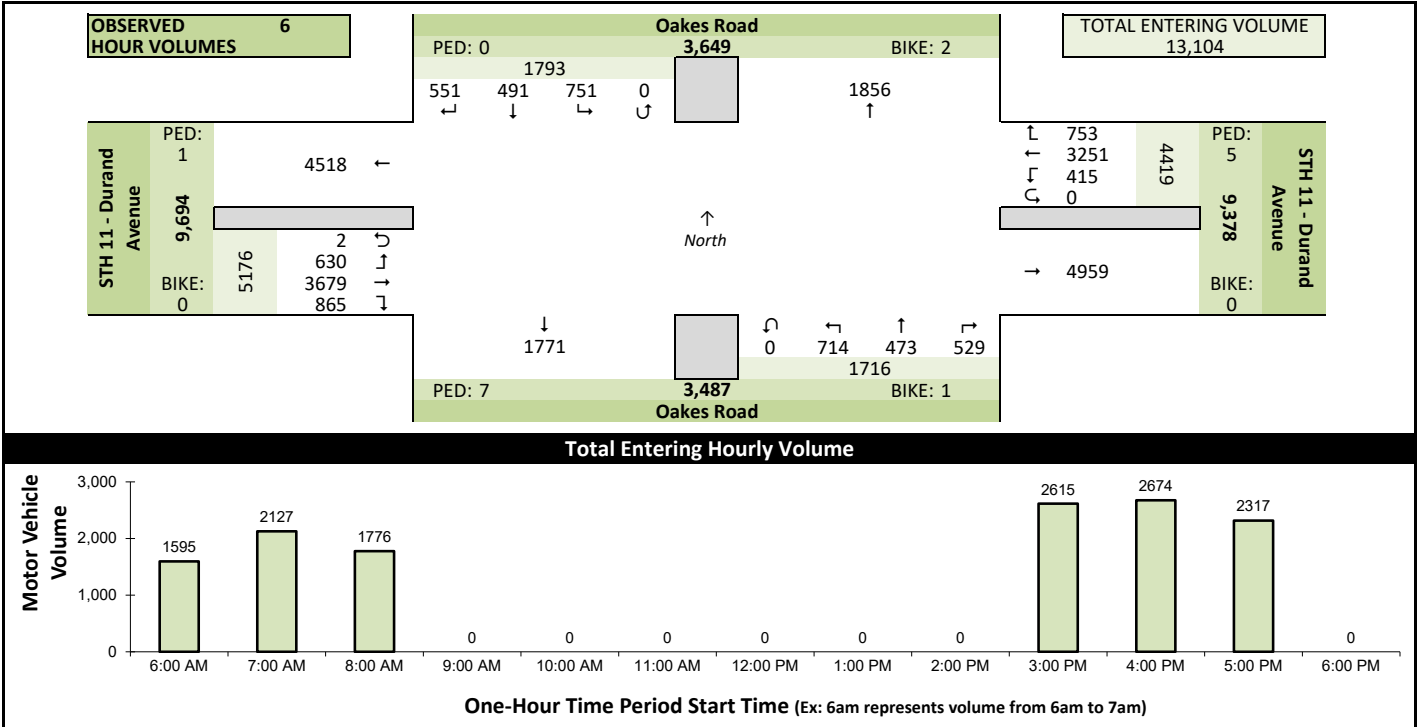
Site Information

Municipality	Village of Mt Pleasant		
County	51 - Racine	WisDOT Region	SE
Traffic Control	Traffic Signal		
Roadway Names	North Direction ↑		
North Leg	Oakes Road		
East Leg	STH 11 - Durand Avenue		
South Leg	Oakes Road		
West Leg	STH 11 - Durand Avenue		
Special Considerations			
Schools	In Session		
Holidays	None		
Special Events	None		
Special Pedestrians Observed			
	Pre-school children	None	
	Elementary school age children	None	
	Visually impaired (white cane/helper dog)	None	
	Elderly/disabled (except wheelchairs)	None	
	Wheelchairs/electric scooters	None	
Other (describe)	None	None	None

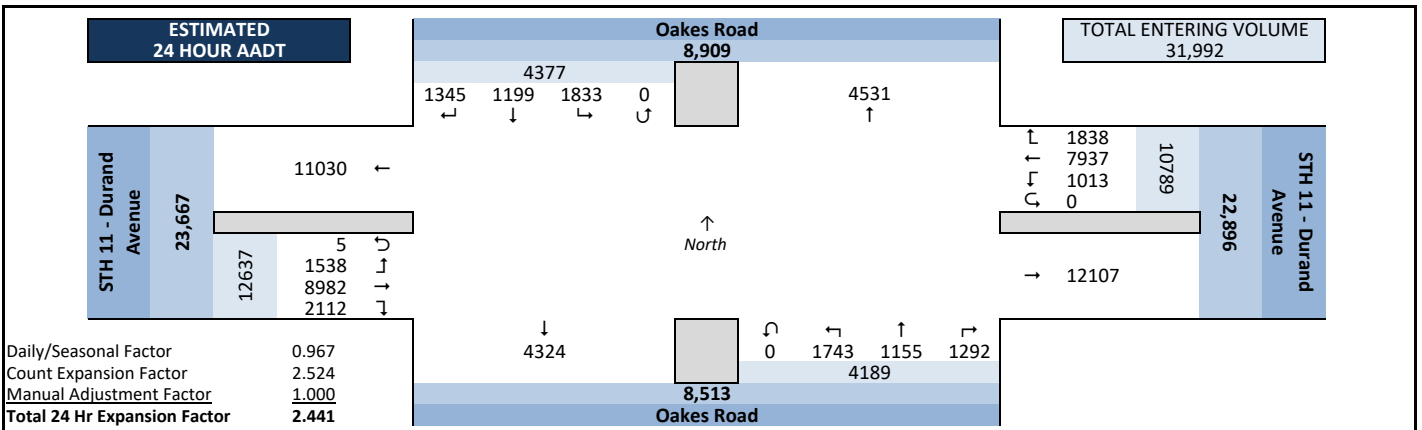
Count Information

Hrs Counted:	06:00 AM-09:00 AM and 03:00 PM-06:00 PM		
1st Day of Count	Monday, September 15, 2025	Weather	
AM Peak Period	Monday, September 15, 2025	Clear and Dry	
Midday Peak Period	Monday, September 15, 2025	Clear and Dry	
PM Peak Period	Monday, September 15, 2025	Clear and Dry	
Calculated Peak Hours			
	AM 6:45-7:45am	MD	PM 3:30-4:30pm
Peak Hours Selected for Analysis			
	AM 6:45-7:45am	MD	PM 3:45-4:45pm
Daily/Seasonal Adjustment Group	(1) Non-Interstate Low Truck %		
Count Expansion Group	(1) Non-Interstate Low Truck %		
Daily/Seasonal Adjustment Factor	0.967	Count Expansion Factor	2.524
Company Name	TADI	Manual Adj.	1.000
Observers	AM Peak Period	Amy Scheuerlein	
	Midday Peak Period	None	
	PM Peak Period	Bill Moldenhauer	
Comments	Wis DOT Daily & Seasonal Factors are final for 2012 through 2024, and 2025 uses 2024 final factors.		

Observed 6 Hour Volume Summary



Estimated 24 Hour AADT

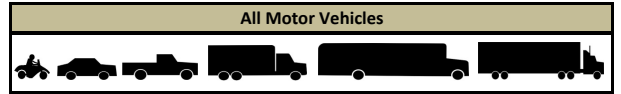


Intersection Traffic Volume Report

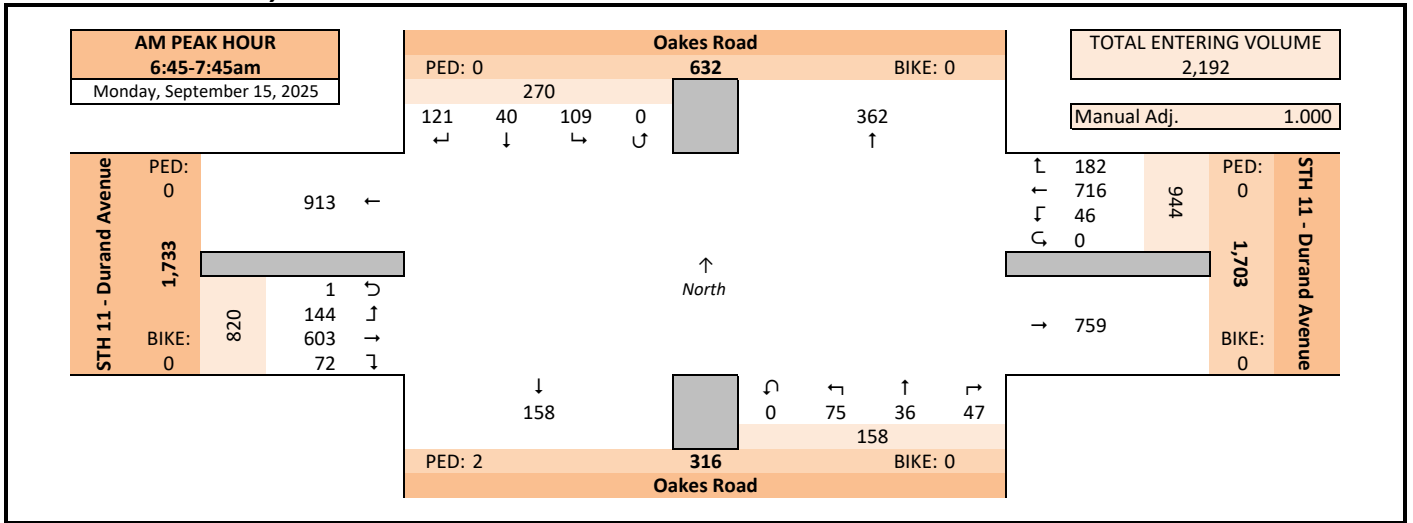
Count Basics		Page 2 of 13	
Start Date:	Monday, September 15, 2025	Weekday	Schools in Session
Total Number of Hours Counted:	6	Non-Holiday	No Special Events

Peak Hour Volume Graphical Summary

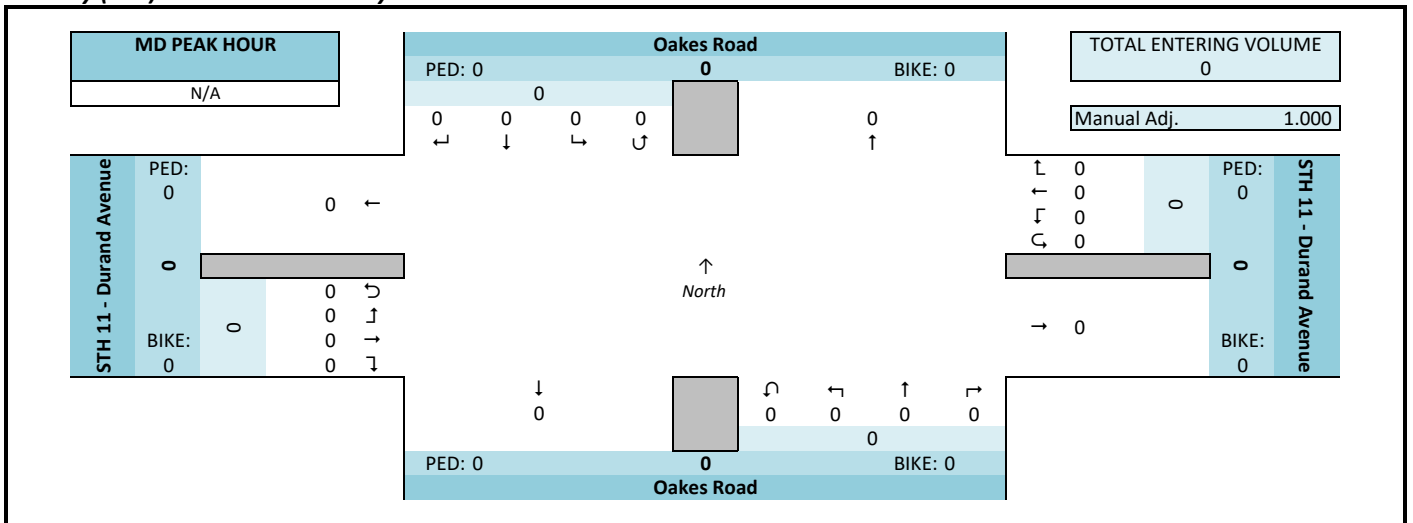
STH 11 - Durand Avenue & Oakes Road



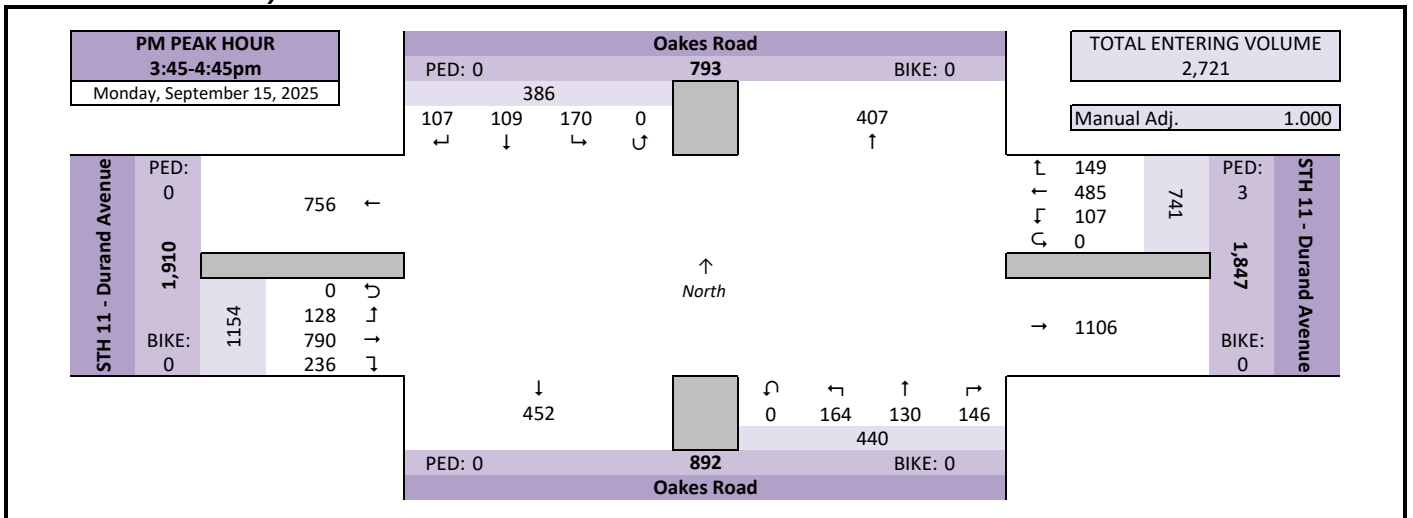
AM Peak Hour Summary



Midday (MD) Peak Hour Summary



PM Peak Hour Summary

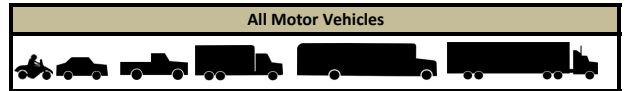


Intersection Traffic Volume Report

Count Basics			Page 3 of 13
Start Date:	Monday, September 15, 2025	Weekday	Schools in Session
Total Number of Hours Counted:	6	Non-Holiday	No Special Events

Peak Hour Volume Summary

STH 11 - Durand Avenue & Oakes Road



Peak Hour Volumes, Truck Percentages, and PHFs

Monday, September 15, 2025		From North					From East					From South					From West					Totals
AM Peak Hour		Oakes Road					STH 11 - Durand Avenue					Oakes Road					STH 11 - Durand Avenue					
Start Time	Right	Thru	Left	U-Tn	Total	Right	Thru	Left	U-Tn	Total	Right	Thru	Left	U-Tn	Total	Right	Thru	Left	U-Tn	Total		
6:45 AM	27	12	20	0	59	71	224	14	0	309	14	6	18	0	38	10	118	36	0	164	570	
7:00 AM	38	8	37	0	83	64	187	12	0	263	8	6	16	0	30	25	163	51	0	239	615	
7:15 AM	37	9	32	0	78	21	152	7	0	180	10	12	17	0	39	14	181	32	1	228	525	
7:30 AM	19	11	20	0	50	26	153	13	0	192	15	12	24	0	51	23	141	25	0	189	482	
Peak Hour Volume	121	40	109	0	270	182	716	46	0	944	47	36	75	0	158	72	603	144	1	820	2192	
Rounded Hourly Volume	120	40	110	0	270	180	715	45	0	940	45	35	75	0	155	70	605	145	0	820	2185	
% Single Unit Trucks	5.0	5.0	7.3	0.0	5.9	3.3	2.8	10.9	0.0	3.3	19.1	8.3	9.3	0.0	12.0	8.3	5.0	4.9	0.0	5.2	5.0	
% Heavy Trucks	5.0	0.0	0.0	0.0	2.2	0.5	2.2	0.0	0.0	1.8	0.0	2.8	1.3	0.0	1.3	1.4	2.5	11.1	0.0	3.9	2.6	
% Trucks (Total)	9.9	5.0	7.3	0.0	8.1	3.8	5.0	10.9	0.0	5.1	19.1	11.1	10.7	0.0	13.3	9.7	7.5	16.0	0.0	9.1	7.6	
Peak Hour Factor (PHF)	0.80	0.83	0.74	0.00	0.81	0.64	0.80	0.82	0.00	0.76	0.78	0.75	0.78	0.00	0.77	0.72	0.83	0.71	0.25	0.86	0.89	

N/A		From North					From East					From South					From West					Totals
Midday (MD) Peak Hour		Oakes Road					STH 11 - Durand Avenue					Oakes Road					STH 11 - Durand Avenue					
Start Time	Right	Thru	Left	U-Tn	Total	Right	Thru	Left	U-Tn	Total	Right	Thru	Left	U-Tn	Total	Right	Thru	Left	U-Tn	Total		
12:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
12:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
12:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
12:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Peak Hour Volume	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Rounded Hourly Volume	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
% Single Unit Trucks	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
% Heavy Trucks	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
% Trucks (Total)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
Peak Hour Factor (PHF)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	

Monday, September 15, 2025		From North					From East					From South					From West					Totals
PM Peak Hour		Oakes Road					STH 11 - Durand Avenue					Oakes Road					STH 11 - Durand Avenue					
Start Time	Right	Thru	Left	U-Tn	Total	Right	Thru	Left	U-Tn	Total	Right	Thru	Left	U-Tn	Total	Right	Thru	Left	U-Tn	Total		
3:45 PM	30	26	40	0	96	35	113	30	0	178	38	22	39	0	99	60	217	31	0	308	681	
4:00 PM	24	29	34	0	87	40	139	33	0	212	35	28	47	0	110	61	210	34	0	305	714	
4:15 PM	27	27	54	0	108	37	126	32	0	195	31	42	42	0	115	55	197	32	0	284	702	
4:30 PM	26	27	42	0	95	37	107	12	0	156	42	38	36	0	116	60	166	31	0	257	624	
Peak Hour Volume	107	109	170	0	386	149	485	107	0	741	146	130	164	0	440	236	790	128	0	1154	2721	
Rounded Hourly Volume	105	110	170	0	385	150	485	105	0	740	145	130	165	0	440	235	790	130	0	1155	2720	
% Single Unit Trucks	1.9	2.8	1.8	0.0	2.1	4.7	3.7	2.8	0.0	3.8	0.0	0.0	1.2	0.0	0.5	0.8	1.5	2.3	0.0	1.5	2.0	
% Heavy Trucks	4.7	0.9	0.6	0.0	1.8	4.0	2.9	2.8	0.0	3.1	0.7	2.3	4.9	0.0	2.7	3.0	1.4	3.9	0.0	2.0	2.4	
% Trucks (Total)	6.5	3.7	2.4	0.0	3.9	8.7	6.6	5.6	0.0	6.9	0.7	2.3	6.1	0.0	3.2	3.8	2.9	6.2	0.0	3.5	4.4	
Peak Hour Factor (PHF)	0.89	0.94	0.79	0.00	0.89	0.93	0.87	0.81	0.00	0.87	0.87	0.77	0.87	0.00	0.95	0.97	0.91	0.94	0.00	0.94	0.95	

Peak Hour Pedestrian and Bicyclist Volumes

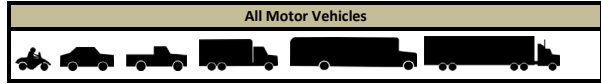
Pedestrians and Bicyclists	Crossing North Approach			Crossing East Approach			Crossing South Approach			Crossing West Approach			Total Ped & Bike Volume
	Pedestrian	Bicyclist	Total	Pedestrian	Bicyclist	Total	Pedestrian	Bicyclist	Total	Pedestrian	Bicyclist	Total	
15-Minute Start Time													
AM													
6:45 AM	0	0	0	0	0	0	1	0	1	0	0	0	1
7:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0
7:15 AM	0	0	0	0	0	0	1	0	1	0	0	0	1
7:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	0	0	0	0	0	2	0	2	0	0	0	2
MD													
12:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0
12:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0
12:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0
12:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	0	0	0	0	0	0	0	0	0	0	0	0
PM													
3:45 PM	0	0	0	2	0	2	0	0	0	0	0	0	2
4:00 PM	0	0	0	1	0	1	0	0	0	0	0	0	1
4:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0
4:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0
Total	0	0	0	3	0	3	0	0	0	0	0	0	3

Intersection Traffic Volume Report

15-Minute Motor Vehicle Data

STH 11 - Durand Avenue & Oakes Road

Count Basics		Page 5 of 13	
Start Date:	Monday, September 15, 2025	Weekday	Schools in Session
Total Number of Hours Counted:	6	Non-Holiday	No Special Events



15-Minute Motor Vehicle Data

15-Minute Time Period	From North					From East					From South					From West					15-Min Totals	Hourly Sum	PHF
	Oakes Road					STH 11 - Durand Avenue					Oakes Road					STH 11 - Durand Avenue							
	Right	Thru	Left	U-Tn	Total	Right	Thru	Left	U-Tn	Total	Right	Thru	Left	U-Tn	Total	Right	Thru	Left	U-Tn	Total			
6:00 AM	10	4	15	0	29	24	118	3	0	145	3	1	10	0	14	10	66	9	0	85	273	1595	0.70
6:15 AM	17	10	17	0	44	19	120	5	0	144	4	2	5	0	11	9	74	21	0	104	303	1937	0.79
6:30 AM	28	12	15	0	55	40	176	6	0	222	7	2	25	0	34	23	91	23	1	138	449	2159	0.88
6:45 AM	27	12	20	0	59	71	224	14	0	309	14	6	18	0	38	10	118	36	0	164	570	2192	0.89
7:00 AM	38	8	37	0	83	64	187	12	0	263	8	6	16	0	30	25	163	51	0	239	615	2127	0.86
7:15 AM	37	9	32	0	78	21	152	7	0	180	10	12	17	0	39	14	181	32	1	228	525	1902	0.91
7:30 AM	19	11	20	0	50	26	153	13	0	192	15	12	24	0	51	23	141	25	0	189	482	1778	0.88
7:45 AM	19	18	12	0	49	32	174	8	0	214	15	4	27	0	46	29	144	23	0	196	505	1781	0.88
8:00 AM	25	9	14	0	48	20	128	6	0	154	8	15	14	0	37	32	98	21	0	151	390	1776	0.89
8:15 AM	22	18	18	0	58	22	132	10	0	164	13	7	21	0	41	20	98	20	0	138	401		
8:30 AM	21	22	22	0	65	23	140	17	0	180	21	15	34	0	70	18	132	20	0	170	485		
8:45 AM	22	33	24	0	79	12	126	25	0	163	18	26	25	0	69	37	131	21	0	189	500		
9:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
9:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
9:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
9:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
10:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
10:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
10:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
10:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
11:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
11:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
11:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
11:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
12:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
12:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
12:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
12:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
1:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
1:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
1:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
1:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
2:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
2:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
2:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
2:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
3:00 PM	13	34	62	0	109	23	133	27	0	183	27	40	28	0	95	47	202	31	0	280	667	2615	0.96
3:15 PM	28	25	31	0	84	19	102	27	0	148	36	35	52	0	123	47	198	26	0	271	626	2662	0.93
3:30 PM	21	29	46	0	96	31	143	25	0	199	26	21	47	0	94	39	190	23	0	252	641	2738	0.96
3:45 PM	30	26	40	0	96	35	113	30	0	178	38	22	39	0	99	60	217	31	0	308	681	2721	0.95
4:00 PM	24	29	34	0	87	40	139	33	0	212	35	28	47	0	110	61	210	34	0	305	714	2674	0.94
4:15 PM	27	27	54	0	108	37	126	32	0	195	31	42	42	0	115	55	197	32	0	284	702	2617	0.93
4:30 PM	26	27	42	0	95	37	107	12	0	156	42	38	36	0	116	60	166	31	0	257	624	2525	0.96
4:45 PM	23	27	40	0	90	39	109	27	0	175	31	28	37	0	96	52	183	38	0	273	634	2431	0.93
5:00 PM	21	29	51	0	101	27	135	25	0	187	43	24	33	0	100	42	197	30	0	269	657	2317	0.88
5:15 PM	22	28	45	0	95	34	117	19	0	170	20	30	41	0	91	51	185	18	0	254	610		
5:30 PM	15	26	32	0	73	25	89	15	0	129	35	29	23	0	87	58	166	17	0	241	530		
5:45 PM	16	18	28	0	62	32	108	17	0	157	29	28	53	0	110	43	131	17	0	191	520		
6:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
6:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
6:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
6:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
7:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
7:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
7:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
7:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
8:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
8:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
8:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
8:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
9:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
9:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
9:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
9:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
Totals	551	491	751	0	1793	753	3251	415	0	4419	529	473	714	0	1716	865	3679	630	2	5176	13104		

Peak Hour All Vehicle Volume Summary

Hourly Time Period	From North					From East					From South					From West					Total Hourly Volume	PHF
	Oakes Road					STH 11 - Durand Avenue					Oakes Road					STH 11 - Durand Avenue						
	Right	Thru	Left	U-Tn	Total	Right	Thru	Left	U-Tn	Total	Right	Thru	Left	U-Tn	Total	Right	Thru	Left	U-Tn	Total		
AM 6:45 AM	121																					

Intersection Traffic Volume Report

15-Minute Heavy Vehicle Data

STH 11 - Durand Avenue & Oakes Road

Count Basics		Page 9 of 13	
Start Date:	Monday, September 15, 2025	Weekday	Schools in Session
Total Number of Hours Counted:	6	Non-Holiday	No Special Events



15-Minute Heavy Vehicle Data

15-Minute Time Period	From North					From East					From South					From West					15-Min Totals	Hourly Sum
	Oakes Road					STH 11 - Durand Avenue					Oakes Road					STH 11 - Durand Avenue						
	Right	Thru	Left	U-Tn	Total	Right	Thru	Left	U-Tn	Total	Right	Thru	Left	U-Tn	Total	Right	Thru	Left	U-Tn	Total		
6:00 AM	1	0	9	0	10	0	6	1	0	7	0	0	0	0	0	0	3	0	0	3	20	117
6:15 AM	3	0	6	0	9	0	4	0	0	4	0	0	1	0	1	1	7	3	0	11	25	138
6:30 AM	3	5	5	0	13	1	4	1	0	6	1	1	1	0	3	3	11	4	0	18	40	162
6:45 AM	1	0	3	0	4	3	10	0	0	13	1	0	2	0	3	0	9	3	0	12	32	166
7:00 AM	3	1	2	0	6	1	12	3	0	16	1	1	1	0	3	1	8	7	0	16	41	183
7:15 AM	5	0	2	0	7	1	8	1	0	10	4	1	4	0	9	1	18	4	0	23	49	191
7:30 AM	3	1	1	0	5	2	6	1	0	9	3	2	1	0	6	5	10	9	0	24	44	177
7:45 AM	3	1	0	0	4	1	14	2	0	17	2	2	5	0	9	5	8	6	0	19	49	200
8:00 AM	8	0	2	0	10	0	11	1	0	12	1	2	5	0	8	7	8	4	0	19	49	212
8:15 AM	3	3	1	0	7	0	7	1	0	8	2	0	5	0	7	3	9	1	0	13	35	
8:30 AM	6	0	4	0	10	7	13	2	0	22	2	2	3	0	7	2	20	6	0	28	67	
8:45 AM	8	3	3	0	14	0	7	2	0	9	2	3	7	0	12	5	12	9	0	26	61	
9:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
9:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
9:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
9:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
10:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
10:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
10:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
10:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
11:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
11:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
11:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
11:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
12:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
12:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
12:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
12:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
1:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
1:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
1:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
1:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
2:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
2:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
2:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
2:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
3:00 PM	1	0	2	0	3	0	8	3	0	11	0	0	1	0	1	4	15	2	0	21	36	152
3:15 PM	3	2	4	0	9	2	10	1	0	13	3	1	4	0	8	4	12	2	0	18	48	139
3:30 PM	2	0	4	0	6	1	6	0	0	7	0	1	5	0	6	5	8	3	0	16	35	128
3:45 PM	1	1	1	0	3	3	6	2	0	11	0	4	4	0	4	5	4	6	0	15	33	120
4:00 PM	0	0	0	0	0	2	10	2	0	14	1	0	2	0	3	1	5	0	0	6	23	112
4:15 PM	3	1	0	0	4	4	13	1	0	18	0	2	3	0	5	3	6	1	0	10	37	106
4:30 PM	3	2	3	0	8	4	3	1	0	8	0	1	1	0	2	0	8	1	0	9	27	81
4:45 PM	2	0	4	0	6	6	4	0	0	10	1	0	0	0	1	3	2	3	0	8	25	76
5:00 PM	0	1	2	0	3	0	1	1	0	2	1	1	0	0	2	0	5	5	0	10	17	75
5:15 PM	1	1	0	0	2	3	2	0	0	5	0	0	0	0	0	3	2	0	0	5	12	
5:30 PM	2	0	1	0	3	3	8	2	0	13	0	0	1	0	1	1	4	0	0	5	22	
5:45 PM	1	0	0	0	1	2	11	1	0	14	0	3	0	0	3	1	4	1	0	6	24	
6:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
6:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
6:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
6:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
7:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
7:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
7:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
7:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
8:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
8:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
8:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
8:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
9:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
9:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
9:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
9:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Totals	66	22	59	0	147	46	184	29	0	259	25	23	56	0	104	60	199	82	0	341	851	
total Truck %age:	12.0%	4.5%	7.9%	0.0%	8.2%	6.1%	5.7%	7.0%	0.0%	5.9%	4.7%	4.9%	7.8%	0.0%	6.1%	6.9%	5.4%	13.0%	0.0%	6.6%	6.5%	

Peak Hour Heavy Vehicle Volume Summary

Hourly Time Period	From North					From East					From South					From West					Total Hourly Volume	
	Oakes Road					STH 11 - Durand Avenue					Oakes Road					STH 11 - Durand Avenue						
	Right	Thru	Left	U-Tn	Total	Right	Thru	Left	U-Tn	Total	Right	Thru	Left	U-Tn	Total	Right	Thru	Left	U-Tn	Total		
AM 6:45 AM	12	2	8	0	22	7	36	5	0	48	9	4	8	0	21	7	45	23	0	75	166	
MD 12:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
PM 3:45 PM	7	4	4	0	15	13	32	6	0	51	1	3	10	0	14	9	23	8	0	40	120	

Intersection Traffic Volume Report

Count Basics		Version 2025.03		Page 1 of 13	
Start Date:	Monday, September 15, 2025	Weekday	Schools in Session		
Total Number of Hours Counted:	6	Non-Holiday	No Special Events		

Base Information, Observed (6) Hour and Estimated (24) Hour Volume Summaries

Major St: STH 31 - Green Bay Avenue
 Minor St: Braun Road
 Intersection of: STH 31 - Green Bay Avenue & Braun Road

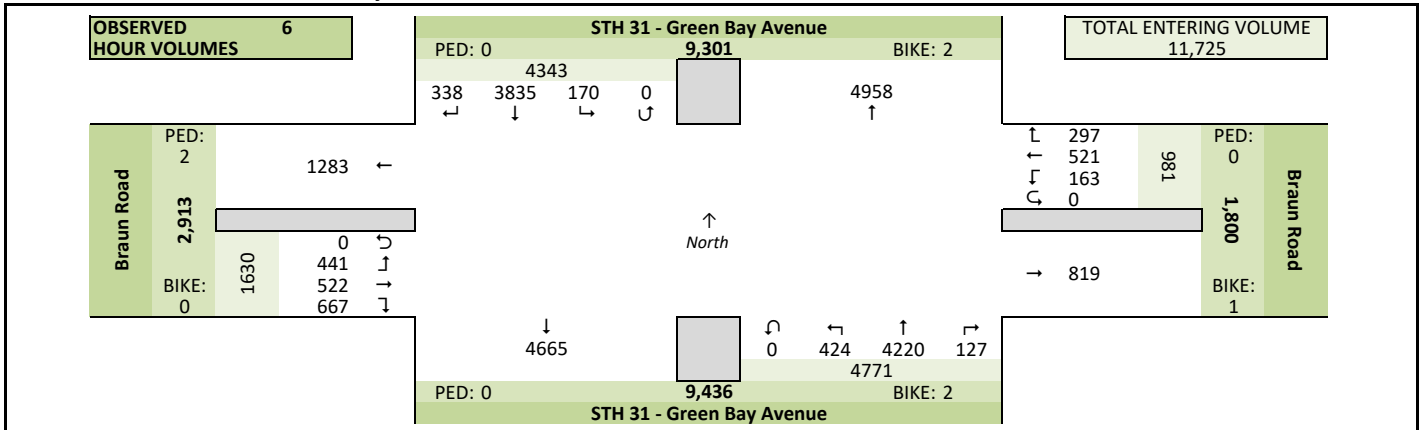
Site Information

Municipality	Village of Mt Pleasant
County	51 - Racine
WisDOT Region	SE
Traffic Control	Traffic Signal
Roadway Names	North Direction ↑
North Leg	STH 31 - Green Bay Avenue
East Leg	Braun Road
South Leg	STH 31 - Green Bay Avenue
West Leg	Braun Road
Special Considerations	
Schools	In Session
Holidays	None
Special Events	None
Special Pedestrians Observed	
Pre-school children	None
Elementary school age children	None
Visually impaired (white cane/helper dog)	None
Elderly/disabled (except wheelchairs)	None
Wheelchairs/electric scooters	None
Other (describe)	None

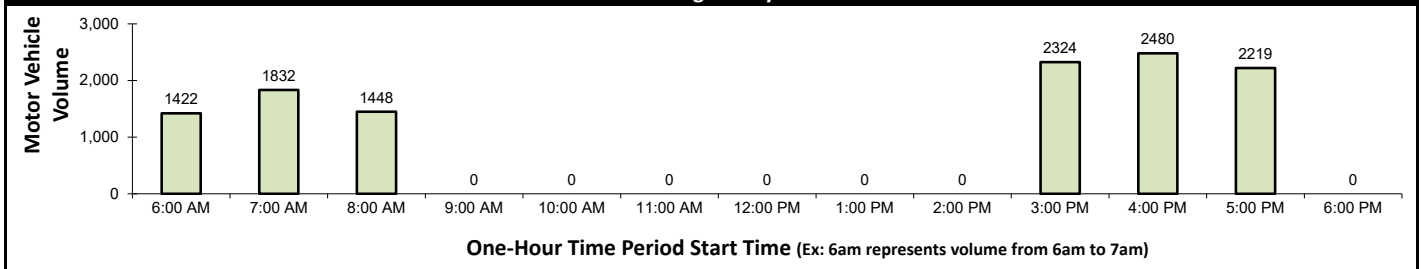
Count Information

Hrs Counted:	06:00 AM-09:00 AM and 03:00 PM-06:00 PM		
1st Day of Count	Monday, September 15, 2025	Weather	
AM Peak Period	Monday, September 15, 2025	Clear and Dry	
Midday Peak Period	Monday, September 15, 2025	Clear and Dry	
PM Peak Period	Wednesday, September 17, 2025	Clear and Dry	
Calculated Peak Hours			
	AM 7:00-8:00am	MD	PM 3:45-4:45pm
Peak Hours Selected for Analysis			
	AM 6:45-7:45am	MD	PM 3:45-4:45pm
Daily/Seasonal Adjustment Group	(1) Non-Interstate Low Truck %		
Count Expansion Group	(1) Non-Interstate Low Truck %		
Daily/Seasonal Adjustment Factor	0.918	Count Expansion Factor	2.524
Company Name	TADI	Manual Adj.	1.000
Observers	AM Peak Period	Jane Fait	
	Midday Peak Period	None	
	PM Peak Period	Lori Atwell	
Comments	Wis DOT Daily & Seasonal Factors are final for 2012 through 2024, and 2025 uses 2024 final factors.		

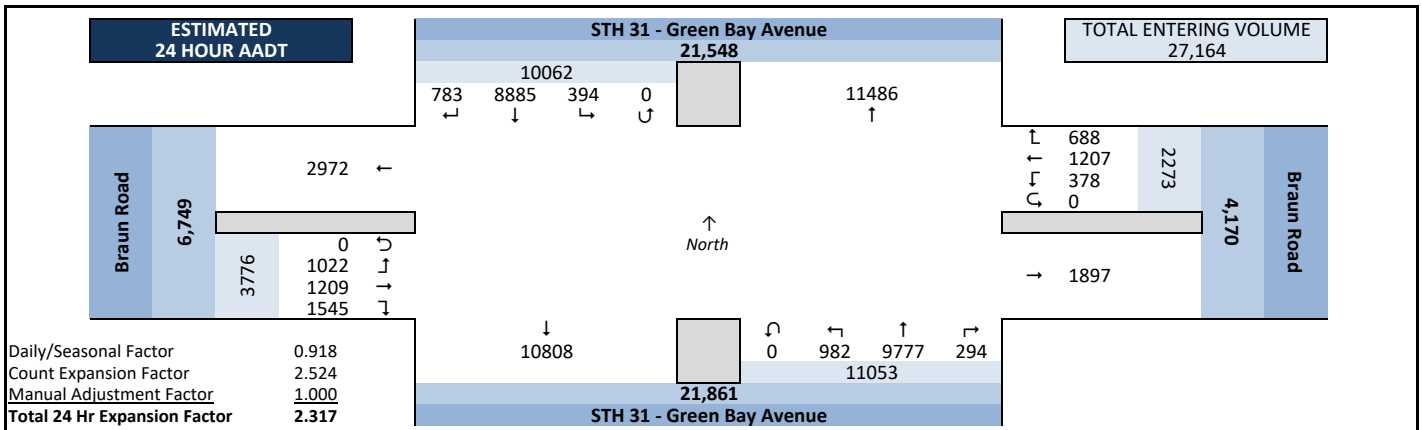
Observed 6 Hour Volume Summary



Total Entering Hourly Volume



Estimated 24 Hour AADT

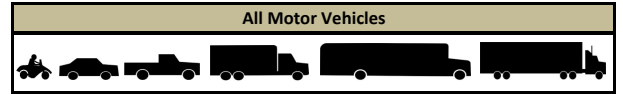


Intersection Traffic Volume Report

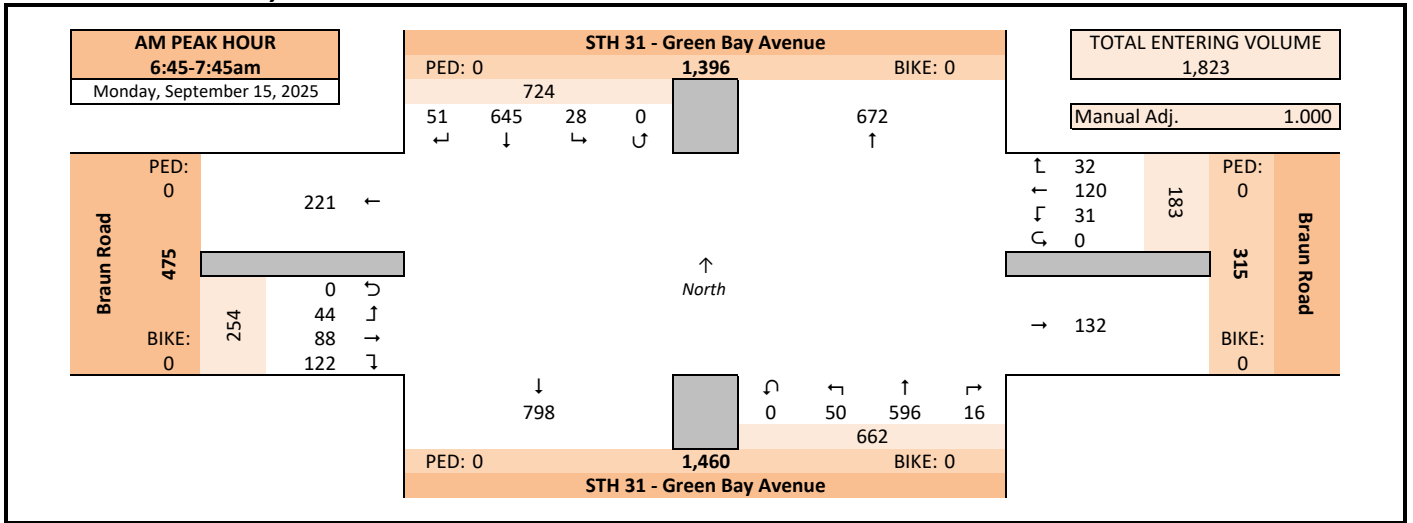
Count Basics		Page 2 of 13	
Start Date:	Monday, September 15, 2025	Weekday	Schools in Session
Total Number of Hours Counted:	6	Non-Holiday	No Special Events

Peak Hour Volume Graphical Summary

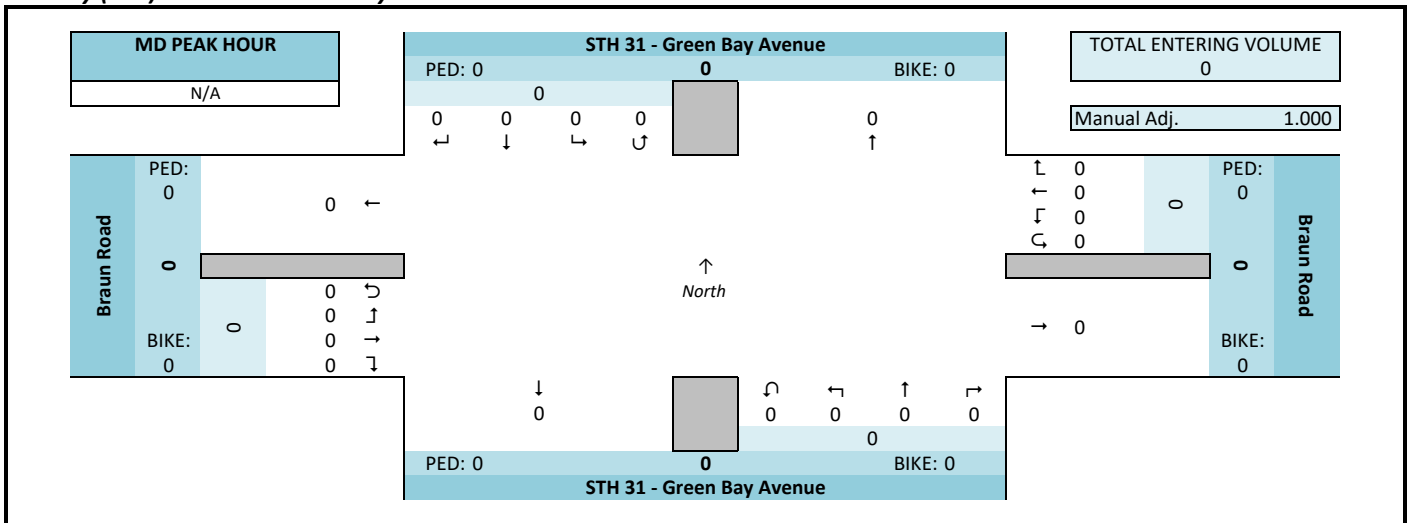
STH 31 - Green Bay Avenue & Braun Road



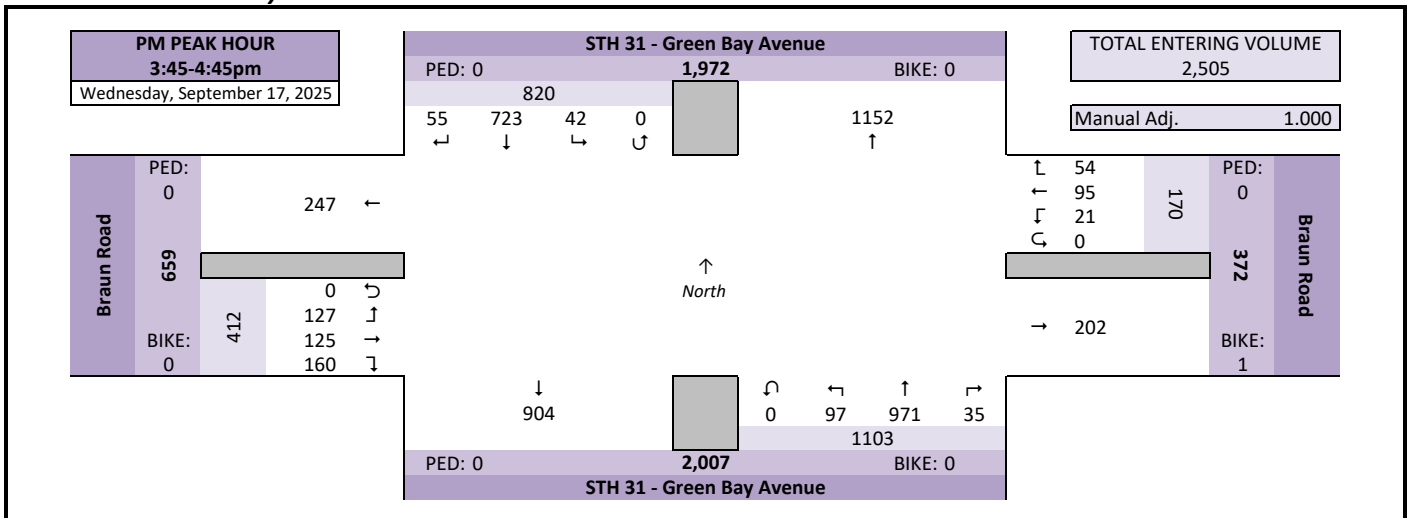
AM Peak Hour Summary



Midday (MD) Peak Hour Summary



PM Peak Hour Summary

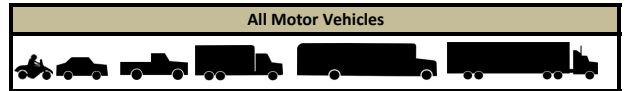


Intersection Traffic Volume Report

Count Basics		Page 3 of 13	
Start Date:	Monday, September 15, 2025	Weekday	Schools in Session
Total Number of Hours Counted:	6	Non-Holiday	No Special Events

Peak Hour Volume Summary

STH 31 - Green Bay Avenue & Braun Road



Peak Hour Volumes, Truck Percentages, and PHFs

Monday, September 15, 2025		From North					From East					From South					From West					Totals
AM Peak Hour		STH 31 - Green Bay Avenue					Braun Road					STH 31 - Green Bay Avenue					Braun Road					
Start Time	Right	Thru	Left	U-Tn	Total	Right	Thru	Left	U-Tn	Total	Right	Thru	Left	U-Tn	Total	Right	Thru	Left	U-Tn	Total		
6:45 AM	21	137	6	0	164	7	54	9	0	70	3	154	14	0	171	38	15	8	0	61	466	
7:00 AM	14	149	4	0	167	6	28	8	0	42	4	120	13	0	137	27	16	9	0	52	398	
7:15 AM	9	183	5	0	197	9	21	9	0	39	3	146	13	0	162	24	33	12	0	69	467	
7:30 AM	7	176	13	0	196	10	17	5	0	32	6	176	10	0	192	33	24	15	0	72	492	
Peak Hour Volume	51	645	28	0	724	32	120	31	0	183	16	596	50	0	662	122	88	44	0	254	1823	
Rounded Hourly Volume	50	645	30	0	725	30	120	30	0	180	15	595	50	0	660	120	90	45	0	255	1820	
% Single Unit Trucks	0.0	3.4	3.6	0.0	3.2	9.4	6.7	0.0	0.0	6.0	0.0	4.2	8.0	0.0	4.4	1.6	2.3	4.5	0.0	2.4	3.8	
% Heavy Trucks	0.0	0.3	0.0	0.0	0.3	0.0	0.0	0.0	0.0	0.0	0.0	1.0	0.0	0.0	0.9	0.8	0.0	0.0	0.0	0.4	0.5	
% Trucks (Total)	0.0	3.7	3.6	0.0	3.5	9.4	6.7	0.0	0.0	6.0	0.0	5.2	8.0	0.0	5.3	2.5	2.3	4.5	0.0	2.8	4.3	
Peak Hour Factor (PHF)	0.61	0.88	0.54	0.00	0.92	0.80	0.56	0.86	0.00	0.65	0.67	0.85	0.89	0.00	0.86	0.80	0.67	0.73	0.00	0.88	0.93	

N/A		From North					From East					From South					From West					Totals
Midday (MD) Peak Hour		STH 31 - Green Bay Avenue					Braun Road					STH 31 - Green Bay Avenue					Braun Road					
Start Time	Right	Thru	Left	U-Tn	Total	Right	Thru	Left	U-Tn	Total	Right	Thru	Left	U-Tn	Total	Right	Thru	Left	U-Tn	Total		
12:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
12:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
12:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
12:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Peak Hour Volume	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Rounded Hourly Volume	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
% Single Unit Trucks	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
% Heavy Trucks	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
% Trucks (Total)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
Peak Hour Factor (PHF)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	

Wednesday, September 17, 2025		From North					From East					From South					From West					Totals
PM Peak Hour		STH 31 - Green Bay Avenue					Braun Road					STH 31 - Green Bay Avenue					Braun Road					
Start Time	Right	Thru	Left	U-Tn	Total	Right	Thru	Left	U-Tn	Total	Right	Thru	Left	U-Tn	Total	Right	Thru	Left	U-Tn	Total		
3:45 PM	8	156	8	0	172	11	18	3	0	32	9	247	25	0	281	44	47	41	0	132	617	
4:00 PM	10	185	11	0	206	11	25	7	0	43	6	253	26	0	285	39	36	35	0	110	644	
4:15 PM	12	179	10	0	201	19	20	4	0	43	11	245	24	0	280	44	26	29	0	99	623	
4:30 PM	25	203	13	0	241	13	32	7	0	52	9	226	22	0	257	33	16	22	0	71	621	
Peak Hour Volume	55	723	42	0	820	54	95	21	0	170	35	971	97	0	1103	160	125	127	0	412	2505	
Rounded Hourly Volume	55	725	40	0	820	55	95	20	0	170	35	970	95	0	1100	160	125	125	0	410	2500	
% Single Unit Trucks	3.6	3.9	4.8	0.0	3.9	3.7	5.3	0.0	0.0	4.1	0.0	3.0	1.0	0.0	2.7	1.2	2.4	0.8	0.0	1.5	3.0	
% Heavy Trucks	0.0	0.3	0.0	0.0	0.2	0.0	0.0	0.0	0.0	0.0	0.0	0.1	0.0	0.0	0.1	0.0	0.0	0.0	0.0	0.0	0.1	
% Trucks (Total)	3.6	4.1	4.8	0.0	4.1	3.7	5.3	0.0	0.0	4.1	0.0	3.1	1.0	0.0	2.8	1.2	2.4	0.8	0.0	1.5	3.1	
Peak Hour Factor (PHF)	0.55	0.89	0.81	0.00	0.85	0.71	0.74	0.75	0.00	0.82	0.80	0.96	0.93	0.00	0.97	0.91	0.66	0.77	0.00	0.78	0.97	

Peak Hour Pedestrian and Bicyclist Volumes

Pedestrians and Bicyclists	Crossing North Approach			Crossing East Approach			Crossing South Approach			Crossing West Approach			Total Ped & Bike Volume
	STH 31 - Green Bay Avenue			Braun Road			STH 31 - Green Bay Avenue			Braun Road			
	Pedestrian	Bicyclist	Total	Pedestrian	Bicyclist	Total	Pedestrian	Bicyclist	Total	Pedestrian	Bicyclist	Total	
15-Minute Start Time													
AM	6:45 AM	0	0	0	0	0	0	0	0	0	0	0	0
	7:00 AM	0	0	0	0	0	0	0	0	0	0	0	0
	7:15 AM	0	0	0	0	0	0	0	0	0	0	0	0
	7:30 AM	0	0	0	0	0	0	0	0	0	0	0	0
	Total	0	0	0	0	0	0	0	0	0	0	0	0
MD	12:00 PM	0	0	0	0	0	0	0	0	0	0	0	0
	12:15 PM	0	0	0	0	0	0	0	0	0	0	0	0
	12:30 PM	0	0	0	0	0	0	0	0	0	0	0	0
	12:45 PM	0	0	0	0	0	0	0	0	0	0	0	0
	Total	0	0	0	0	0	0	0	0	0	0	0	0
PM	3:45 PM	0	0	0	0	0	0	0	0	0	0	0	0
	4:00 PM	0	0	0	0	1	1	0	0	0	0	0	1
	4:15 PM	0	0	0	0	0	0	0	0	0	0	0	0
	4:30 PM	0	0	0	0	0	0	0	0	0	0	0	0
	Total	0	0	0	0	1	1	0	0	0	0	0	1

Intersection Traffic Volume Report

15-Minute Heavy Vehicle Data

STH 31 - Green Bay Avenue & Braun Road

Count Basics		Page 9 of 13	
Start Date:	Monday, September 15, 2025	Weekday	Schools in Session
Total Number of Hours Counted:	6	Non-Holiday	No Special Events



15-Minute Heavy Vehicle Data

15-Minute Time Period	From North					From East					From South					From West					15-Min Totals	Hourly Sum
	STH 31 - Green Bay Avenue					Braun Road					STH 31 - Green Bay Avenue					Braun Road						
	Right	Thru	Left	U-Tn	Total	Right	Thru	Left	U-Tn	Total	Right	Thru	Left	U-Tn	Total	Right	Thru	Left	U-Tn	Total		
6:00 AM	0	8	1	0	9	0	1	0	0	1	0	1	0	0	1	0	0	1	0	1	12	56
6:15 AM	0	6	1	0	7	0	1	1	0	2	0	3	0	0	3	0	0	0	0	0	12	64
6:30 AM	0	8	0	0	8	0	2	0	0	2	0	5	2	0	7	0	0	0	0	0	17	77
6:45 AM	0	6	0	0	6	1	3	0	0	4	0	3	1	0	4	0	0	1	0	1	15	78
7:00 AM	0	4	0	0	4	0	1	0	0	1	0	12	1	0	13	1	0	1	0	2	20	78
7:15 AM	0	9	0	0	9	2	3	0	0	5	0	10	1	0	11	0	0	0	0	0	25	94
7:30 AM	0	5	1	0	6	0	1	0	0	1	0	6	1	0	7	2	2	0	0	4	18	98
7:45 AM	1	6	0	0	7	0	0	0	0	0	0	7	0	0	7	0	1	0	0	1	15	110
8:00 AM	2	13	0	0	15	0	1	0	0	1	1	13	1	0	15	4	1	0	0	5	36	121
8:15 AM	1	11	3	0	15	0	0	0	0	0	0	11	2	0	13	1	0	0	0	1	29	
8:30 AM	0	15	0	0	15	1	2	0	0	3	0	11	0	0	11	0	1	0	0	1	30	
8:45 AM	0	14	0	0	14	1	0	0	0	1	1	7	2	0	10	0	0	1	0	1	26	
9:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
9:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
9:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
9:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
10:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
10:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
10:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
10:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
11:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
11:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
11:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
11:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
12:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
12:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
12:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
12:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
1:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
1:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
1:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
1:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
2:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
2:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
2:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
2:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
3:00 PM	0	13	2	0	15	1	3	1	0	5	0	9	1	0	10	1	0	1	0	2	32	98
3:15 PM	1	15	1	0	17	2	0	0	0	2	0	1	0	0	1	0	1	1	0	2	22	91
3:30 PM	0	12	0	0	12	0	1	0	0	1	1	5	3	0	9	0	2	0	0	2	24	93
3:45 PM	0	10	0	0	10	0	0	0	0	0	0	7	0	0	7	1	1	1	0	3	20	78
4:00 PM	1	11	1	0	13	1	1	0	0	2	0	8	1	0	9	0	1	0	0	1	25	72
4:15 PM	1	7	1	0	9	0	3	0	0	3	0	10	0	0	10	1	1	0	0	2	24	63
4:30 PM	0	2	0	0	2	1	1	0	0	2	0	5	0	0	5	0	0	0	0	0	9	48
4:45 PM	0	5	0	0	5	0	0	0	0	0	0	7	0	0	7	0	2	0	0	2	14	46
5:00 PM	0	6	0	0	6	1	0	0	0	1	0	6	2	0	8	0	0	1	0	1	16	40
5:15 PM	0	2	0	0	2	0	0	0	0	0	0	6	1	0	7	0	0	0	0	0	9	
5:30 PM	0	2	0	0	2	0	1	1	0	2	0	3	0	0	3	0	0	0	0	0	7	
5:45 PM	0	3	0	0	3	0	0	0	0	0	0	3	1	0	4	0	0	1	0	1	8	
6:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
6:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
6:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
6:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
7:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
7:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
7:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
7:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
8:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
8:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
8:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
8:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
9:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
9:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
9:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
9:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Totals	7	193	11	0	211	11	25	3	0	39	3	159	20	0	182	11	13	9	0	33	465	

total Truck %age: 2.1% 5.0% 6.5% 0.0% 4.9% 3.7% 4.8% 1.8% 0.0% 4.0% 2.4% 3.8% 4.7% 0.0% 3.8% 1.6% 2.5% 2.0% 0.0% 2.0% 4.0%

Peak Hour Heavy Vehicle Volume Summary

Hourly Time Period	From North					From East					From South					From West					Total Hourly Volume	
	STH 31 - Green Bay Avenue					Braun Road					STH 31 - Green Bay Avenue					Braun Road						
	Right	Thru	Left	U-Tn	Total	Right	Thru	Left	U-Tn	Total	Right	Thru	Left	U-Tn	Total	Right	Thru	Left	U-Tn	Total		
AM 6:45 AM	0	24	1	0	25	3	8	0	0	11	0	31	4	0	35	3	2	2	0	7	78	
MD 12:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
PM 3:45 PM	2	30	2	0	34	2	5	0	0	7	0	30	1	0	31	2	3	1	0	6	78	

APPENDIX B

LOS DEFINITIONS SYNCHRO INTERSECTION CAPACITY ANALYSIS

Existing Traffic Volumes

Level of Service Definitions

LOS	Signalized Intersections Control Delay/Vehicle (sec/veh)	Unsignalized Intersections Avg. Control Delay (sec/veh)	Relative Delay
A	≤ 10	≤ 10	Short Delays
	Free-flow traffic operations at average travel speeds. Vehicles completely unimpeded in ability to maneuver. Minimal delay at signalized intersections.		
B	$> 10 - 20$	$> 10 - 15$	
	Reasonably unimpeded traffic operations at average travel speeds. Vehicle maneuverability slightly restricted. Low traffic delays.		
C	$> 20 - 35$	$> 15 - 25$	
	Stable traffic operations. Lane changes becoming more restricted. Travel speeds reduced to half of average free flow travel speeds. Longer intersection delays.		
D	$> 35 - 55$	$> 25 - 35$	Moderate Delays
	Small increases in traffic flow can cause increased delays. Delays likely attributable to increased traffic, reduced signal progression, and adverse timing.		
E	$> 55 - 80$	$> 35 - 50$	
	Significant delays. Travel speeds reduced to one-third of average free flow travel speed.		
F	> 80	> 50	Long Delays
	Extremely low speeds. Intersection congestion. Long delays. Extensive traffic queues at intersections.		

Source: Highway Capacity Manual, Transportation Research Board, Washington, D.C., 2010

Lanes, Volumes, Timings
100: STH 31 & Braun

2025 Background
AM Peak Hour

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (vph)	45	90	120	30	120	30	50	595	15	30	645	50
Future Volume (vph)	45	90	120	30	120	30	50	595	15	30	645	50
Ideal Flow (vphpl)	1885	1885	1750	1885	1885	1750	1990	1990	1750	1990	1990	1750
Lane Width (ft)	12	12	12	12	12	12	12	12	12	12	12	12
Grade (%)		0%			0%			0%			0%	
Storage Length (ft)	225		140	90		70	210		235	210		175
Storage Lanes	1		1	1		1	1		1	1		1
Taper Length (ft)	100			100			100			100		
Right Turn on Red			No			No			No			No
Link Speed (mph)		45			45			55			55	
Link Distance (ft)		3728			714			1402			890	
Travel Time (s)		56.5			10.8			17.4			11.0	
Confl. Peds. (#/hr)												
Confl. Bikes (#/hr)												
Peak Hour Factor	0.93	0.93	0.93	0.93	0.93	0.93	0.93	0.93	0.93	0.93	0.93	0.93
Growth Factor	100%	100%	62%	100%	100%	62%	100%	100%	62%	100%	100%	62%
Heavy Vehicles (%)	3%	3%	3%	6%	6%	6%	5%	5%	5%	4%	4%	4%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	0	0	0	0	0
Parking (#/hr)												
Mid-Block Traffic (%)		0%			0%			0%			0%	
Shared Lane Traffic (%)												
Lane Group Flow (vph)	48	97	80	32	129	20	54	640	10	32	694	33
Turn Type	Perm	NA	Perm	Perm	NA	Perm	pm+pt	NA	Perm	Perm	NA	Perm
Protected Phases		4			8		1	6			2	
Permitted Phases	4		4	8		8	6		6	2		2
Detector Phase	4	4	4	8	8	8	1	6	6	2	2	2
Switch Phase												
Minimum Initial (s)	8.0	8.0	8.0	8.0	8.0	8.0	6.0	15.0	15.0	15.0	15.0	15.0
Minimum Split (s)	13.7	13.7	13.7	13.7	13.7	13.7	9.0	21.4	21.4	21.4	21.4	21.4
Total Split (s)	35.7	35.7	35.7	35.7	35.7	35.7	22.0	51.4	51.4	51.4	51.4	51.4
Total Split (%)	32.7%	32.7%	32.7%	32.7%	32.7%	32.7%	20.2%	47.1%	47.1%	47.1%	47.1%	47.1%
Maximum Green (s)	30.0	30.0	30.0	30.0	30.0	30.0	19.0	45.0	45.0	45.0	45.0	45.0
Yellow Time (s)	3.5	3.5	3.5	3.5	3.5	3.5	3.0	5.1	5.1	5.1	5.1	5.1
All-Red Time (s)	2.2	2.2	2.2	2.2	2.2	2.2	0.0	1.3	1.3	1.3	1.3	1.3
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	5.7	5.7	5.7	5.7	5.7	5.7	3.0	6.4	6.4	6.4	6.4	6.4
Lead/Lag							Lead			Lag	Lag	Lag
Lead-Lag Optimize?							Yes			Yes	Yes	Yes
Vehicle Extension (s)	1.5	1.5	1.5	1.5	1.5	1.5	1.5	3.3	3.3	3.3	3.3	3.3
Minimum Gap (s)	1.5	1.5	1.5	1.5	1.5	1.5	1.5	2.3	2.3	2.3	2.3	2.3
Time Before Reduce (s)	30.0	30.0	30.0	30.0	30.0	30.0	20.0	26.0	26.0	26.0	26.0	26.0
Time To Reduce (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	19.0	19.0	19.0	19.0	19.0
Recall Mode	None	None	None	None	None	None	None	Min	Min	Min	Min	Min
Walk Time (s)												
Flash Don't Walk (s)												
Pedestrian Calls (#/hr)												
v/c Ratio	0.19	0.26	0.27	0.13	0.35	0.07	0.09	0.29	0.01	0.08	0.38	0.05
Control Delay (s/veh)	18.7	18.5	19.4	17.9	19.9	17.2	4.0	5.9	5.0	10.9	10.8	10.1

3536 Mt. Pleasant Bear Res Braun/Oakes Rd TIA
TADI - TSC

Synchro 12 Report

Lanes, Volumes, Timings
100: STH 31 & Braun

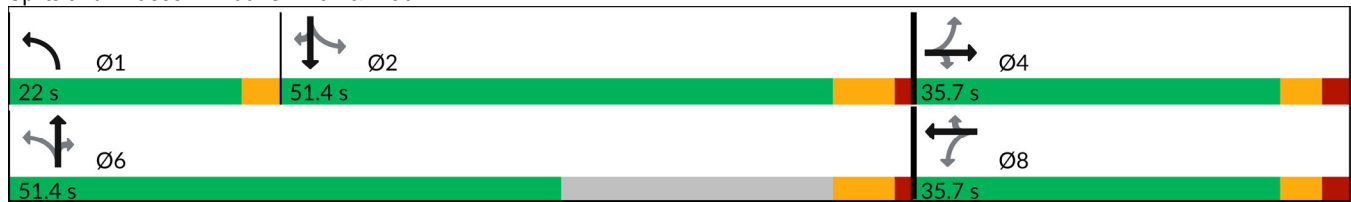
2025 Background
AM Peak Hour

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay (s/veh)	18.7	18.5	19.4	17.9	19.9	17.2	4.0	5.9	5.0	10.9	10.8	10.1
Queue Length 50th (ft)	11	22	18	7	30	4	4	40	1	5	72	5
Queue Length 95th (ft)	36	59	52	27	75	19	15	74	6	20	122	20
Internal Link Dist (ft)		3648			634			1322			810	
Turn Bay Length (ft)	225		140	90		70	210		235	210		175
Base Capacity (vph)	880	1307	1031	881	1270	1002	952	3601	1417	749	3480	1369
Starvation Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	0
Reduced v/c Ratio	0.05	0.07	0.08	0.04	0.10	0.02	0.06	0.18	0.01	0.04	0.20	0.02

Intersection Summary

























Area Type: Other
 Cycle Length: 109.1
 Actuated Cycle Length: 43.2
 Natural Cycle: 45
 Control Type: Actuated-Uncoordinated
 Description: Runs Free. Runs Free. NB LT Y=1.0 sec. HCM7th Ed requires 3 sec. min. Adjusted for this analysis.

Splits and Phases: 100: STH 31 & Braun



HCM 7th Signalized Intersection Summary
100: STH 31 & Braun

2025 Background
AM Peak Hour

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	45	90	120	30	120	30	50	595	15	30	645	50
Future Volume (veh/h)	45	90	120	30	120	30	50	595	15	30	645	50
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Lane Width Adj.	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1841	1841	1709	1797	1797	1668	1912	1912	1682	1928	1928	1695
Adj Flow Rate, veh/h	48	97	80	32	129	20	54	640	10	32	694	33
Peak Hour Factor	0.93	0.93	0.93	0.93	0.93	0.93	0.93	0.93	0.93	0.93	0.93	0.93
Percent Heavy Veh, %	3	3	3	6	6	6	5	5	5	4	4	4
Cap, veh/h	337	358	281	350	349	275	463	1849	725	473	1348	529
Arrive On Green	0.19	0.19	0.19	0.19	0.19	0.19	0.07	0.51	0.51	0.37	0.37	0.37
Sat Flow, veh/h	1219	1841	1448	1160	1797	1414	1821	3634	1425	806	3663	1437
Grp Volume(v), veh/h	48	97	80	32	129	20	54	640	10	32	694	33
Grp Sat Flow(s),veh/h/ln	1219	1841	1448	1160	1797	1414	1821	1817	1425	806	1832	1437
Q Serve(g_s), s	1.5	1.8	1.9	1.0	2.5	0.5	0.6	4.3	0.1	1.1	6.0	0.6
Cycle Q Clear(g_c), s	4.0	1.8	1.9	2.8	2.5	0.5	0.6	4.3	0.1	1.1	6.0	0.6
Prop In Lane	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Lane Grp Cap(c), veh/h	337	358	281	350	349	275	463	1849	725	473	1348	529
V/C Ratio(X)	0.14	0.27	0.28	0.09	0.37	0.07	0.12	0.35	0.01	0.07	0.51	0.06
Avail Cap(c_a), veh/h	998	1355	1066	978	1322	1040	1189	4011	1573	1066	4044	1586
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	16.0	14.0	14.0	15.2	14.3	13.4	6.4	6.0	5.0	8.5	10.0	8.3
Incr Delay (d2), s/veh	0.1	0.1	0.2	0.0	0.2	0.0	0.0	0.1	0.0	0.1	0.3	0.1
Initial Q Delay(d3), s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.3	0.6	0.5	0.2	0.8	0.1	0.1	0.6	0.0	0.1	1.4	0.1
Unsig. Movement Delay, s/veh												
LnGrp Delay(d), s/veh	16.1	14.1	14.2	15.2	14.5	13.5	6.5	6.1	5.0	8.5	10.4	8.4
LnGrp LOS	B	B	B	B	B	B	A	A	A	A	B	A
Approach Vol, veh/h		225			181			704			759	
Approach Delay, s/veh		14.6			14.5			6.1			10.2	
Approach LOS		B			B			A			B	
Timer - Assigned Phs	1	2		4		6		8				
Phs Duration (G+Y+Rc), s	5.7	21.4		13.6		27.1		13.6				
Change Period (Y+Rc), s	3.0	6.4		5.7		6.4		5.7				
Max Green Setting (Gmax), s	19.0	45.0		30.0		45.0		30.0				
Max Q Clear Time (g_c+I1), s	2.6	8.0		6.0		6.3		4.8				
Green Ext Time (p_c), s	0.0	5.5		0.3		4.7		0.3				
Intersection Summary												
HCM 7th Control Delay, s/veh			9.6									
HCM 7th LOS			A									

Lanes, Volumes, Timings
200: Durand Avenue & Oakes Road

2025 Background
AM Peak Hour

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (vph)	145	605	70	45	715	180	75	35	45	110	40	120
Future Volume (vph)	145	605	70	45	715	180	75	35	45	110	40	120
Ideal Flow (vphpl)	1865	1865	1750	1865	1865	1750	1775	1775	1775	1775	1775	1775
Lane Width (ft)	12	12	12	12	12	12	12	12	12	12	12	12
Grade (%)		0%			0%			0%			0%	
Storage Length (ft)	200		360	240		205	220		0	175		0
Storage Lanes	1		1	1		1	1		0	1		0
Taper Length (ft)	100			100			100			100		
Right Turn on Red			No			No			No			No
Link Speed (mph)		40			40			30			30	
Link Distance (ft)		676			628			634			666	
Travel Time (s)		11.5			10.7			14.4			15.1	
Confl. Peds. (#/hr)												
Confl. Bikes (#/hr)												
Peak Hour Factor	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89
Growth Factor	100%	100%	62%	100%	100%	62%	100%	100%	100%	100%	100%	100%
Heavy Vehicles (%)	9%	9%	9%	5%	5%	5%	13%	13%	13%	8%	8%	8%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	0	0	0	0	0
Parking (#/hr)												
Mid-Block Traffic (%)		0%			0%			0%			0%	
Shared Lane Traffic (%)												
Lane Group Flow (vph)	163	680	49	51	803	125	84	90	0	124	180	0
Turn Type	D.P+P	NA	Perm	D.P+P	NA	Perm	D.P+P	NA		D.P+P	NA	
Protected Phases	1	6		5	2		3	8		7	4	
Permitted Phases	2		6	6		2	4			8		
Detector Phase	1	6	6	5	2	2	3	8		7	4	
Switch Phase												
Minimum Initial (s)	6.0	15.0	15.0	6.0	15.0	15.0	6.0	10.0		6.0	10.0	
Minimum Split (s)	11.5	21.5	21.5	11.5	21.5	21.5	11.5	17.1		11.5	17.1	
Total Split (s)	30.5	60.5	60.5	30.5	60.5	60.5	30.5	42.1		30.5	42.1	
Total Split (%)	18.6%	37.0%	37.0%	18.6%	37.0%	37.0%	18.6%	25.7%		18.6%	25.7%	
Maximum Green (s)	25.0	54.0	54.0	25.0	54.0	54.0	25.0	35.0		25.0	35.0	
Yellow Time (s)	3.5	3.9	3.9	3.5	3.9	3.9	3.5	4.1		3.5	4.1	
All-Red Time (s)	2.0	2.6	2.6	2.0	2.6	2.6	2.0	3.0		2.0	3.0	
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0	
Total Lost Time (s)	5.5	6.5	6.5	5.5	6.5	6.5	5.5	7.1		5.5	7.1	
Lead/Lag	Lead	Lag	Lag	Lead	Lag	Lag	Lead	Lag		Lead	Lag	
Lead-Lag Optimize?	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes		Yes	Yes	
Vehicle Extension (s)	1.5	3.4	3.4	1.5	3.4	3.4	1.5	1.5		1.5	1.5	
Minimum Gap (s)	1.5	2.4	2.4	1.5	2.4	2.4	1.5	1.5		1.5	1.5	
Time Before Reduce (s)	25.0	19.0	19.0	25.0	19.0	19.0	25.0	35.0		25.0	35.0	
Time To Reduce (s)	0.0	13.0	13.0	0.0	13.0	13.0	0.0	0.0		0.0	0.0	
Recall Mode	None	Min	Min	None	Min	Min	None	None		None	None	
Walk Time (s)												
Flash Don't Walk (s)												
Pedestrian Calls (#/hr)												
v/c Ratio	0.50	0.49	0.08	0.13	0.67	0.25	0.28	0.24		0.36	0.42	
Control Delay (s/veh)	15.7	19.7	16.9	10.4	25.6	21.3	24.7	37.4		25.7	37.3	

3536 Mt. Pleasant Bear Res Braun/Oakes Rd TIA
TADI - TSC

Synchro 12 Report

Lanes, Volumes, Timings
200: Durand Avenue & Oakes Road

2025 Background
AM Peak Hour

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0	
Total Delay (s/veh)	15.7	19.7	16.9	10.4	25.6	21.3	24.7	37.4		25.7	37.3	
Queue Length 50th (ft)	39	135	15	11	175	43	29	21		44	43	
Queue Length 95th (ft)	82	212	41	31	282	98	75	52		104	91	
Internal Link Dist (ft)		596			548			554			586	
Turn Bay Length (ft)	200		360	240		205	220			175		
Base Capacity (vph)	625	2307	968	685	2395	1005	515	1256		541	1274	
Starvation Cap Reductn	0	0	0	0	0	0	0	0		0	0	
Spillback Cap Reductn	0	0	0	0	0	0	0	0		0	0	
Storage Cap Reductn	0	0	0	0	0	0	0	0		0	0	
Reduced v/c Ratio	0.26	0.29	0.05	0.07	0.34	0.12	0.16	0.07		0.23	0.14	

Intersection Summary

Area Type: Other
 Cycle Length: 163.6
 Actuated Cycle Length: 79.5
 Natural Cycle: 65
 Control Type: Actuated-Uncoordinated
 Description: Runs Free

Splits and Phases: 200: Durand Avenue & Oakes Road

Ø1 30.5 s	Ø2 60.5 s	Ø3 30.5 s	Ø4 42.1 s
Ø5 30.5 s	Ø6 60.5 s	Ø7 30.5 s	Ø8 42.1 s

HCM 7th Signalized Intersection Summary
200: Durand Avenue & Oakes Road

2025 Background
AM Peak Hour

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	145	605	70	45	715	180	75	35	45	110	40	120
Future Volume (veh/h)	145	605	70	45	715	180	75	35	45	110	40	120
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Lane Width Adj.	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1734	1734	1627	1792	1792	1682	1595	1595	1595	1664	1664	1664
Adj Flow Rate, veh/h	163	680	49	51	803	125	84	39	51	124	45	135
Peak Hour Factor	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89
Percent Heavy Veh, %	9	9	9	5	5	5	13	13	13	8	8	8
Cap, veh/h	324	1238	518	341	1161	486	275	212	189	362	250	223
Arrive On Green	0.09	0.38	0.38	0.05	0.34	0.34	0.07	0.14	0.14	0.09	0.16	0.16
Sat Flow, veh/h	1652	3295	1379	1707	3405	1425	1519	1515	1352	1585	1581	1410
Grp Volume(v), veh/h	163	680	49	51	803	125	84	39	51	124	45	135
Grp Sat Flow(s),veh/h/ln	1652	1647	1379	1707	1703	1425	1519	1515	1352	1585	1581	1410
Q Serve(g_s), s	4.5	11.6	1.6	1.3	14.5	4.5	3.2	1.6	2.4	4.7	1.8	6.4
Cycle Q Clear(g_c), s	4.5	11.6	1.6	1.3	14.5	4.5	3.2	1.6	2.4	4.7	1.8	6.4
Prop In Lane	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Lane Grp Cap(c), veh/h	324	1238	518	341	1161	486	275	212	189	362	250	223
V/C Ratio(X)	0.50	0.55	0.09	0.15	0.69	0.26	0.31	0.18	0.27	0.34	0.18	0.60
Avail Cap(c_a), veh/h	755	2489	1042	846	2572	1077	703	742	662	778	774	691
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	15.0	17.5	14.4	13.0	20.3	17.0	22.9	27.1	27.5	23.2	26.1	28.0
Incr Delay (d2), s/veh	0.5	0.4	0.1	0.1	0.9	0.3	0.2	0.2	0.3	0.2	0.1	1.0
Initial Q Delay(d3), s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	1.5	4.0	0.5	0.4	5.3	1.4	1.1	0.6	0.8	1.7	0.6	2.1
Unsig. Movement Delay, s/veh												
LnGrp Delay(d), s/veh	15.5	18.0	14.5	13.1	21.2	17.3	23.2	27.3	27.8	23.5	26.2	29.0
LnGrp LOS	B	B	B	B	C	B	C	C	C	C	C	C
Approach Vol, veh/h		892			979			174			304	
Approach Delay, s/veh		17.3			20.3			25.4			26.3	
Approach LOS		B			C			C			C	
Timer - Assigned Phs	1	2	3	4	5	6	7	8				
Phs Duration (G+Y+Rc), s	11.8	30.9	10.4	18.4	9.3	33.4	11.7	17.1				
Change Period (Y+Rc), s	5.5	6.5	5.5	7.1	5.5	6.5	5.5	7.1				
Max Green Setting (Gmax), s	25.0	54.0	25.0	35.0	25.0	54.0	25.0	35.0				
Max Q Clear Time (g_c+I1), s	6.5	16.5	5.2	8.4	3.3	13.6	6.7	4.4				
Green Ext Time (p_c), s	0.1	7.8	0.1	0.6	0.0	6.1	0.1	0.2				
Intersection Summary												
HCM 7th Control Delay, s/veh			20.3									
HCM 7th LOS			C									

Lanes, Volumes, Timings
100: STH 31 & Braun

2025 Background
PM Peak Hour

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (vph)	125	125	160	20	95	55	95	970	35	40	725	55
Future Volume (vph)	125	125	160	20	95	55	95	970	35	40	725	55
Ideal Flow (vphpl)	1885	1885	1750	1885	1885	1750	1990	1990	1750	1990	1990	1750
Lane Width (ft)	12	12	12	12	12	12	12	12	12	12	12	12
Grade (%)		0%			0%			0%			0%	
Storage Length (ft)	225		140	90		70	210		235	210		175
Storage Lanes	1		1	1		1	1		1	1		1
Taper Length (ft)	100			100			100			100		
Right Turn on Red			No			No			No			No
Link Speed (mph)		45			45			55			55	
Link Distance (ft)		3728			714			1402			890	
Travel Time (s)		56.5			10.8			17.4			11.0	
Confl. Peds. (#/hr)												
Confl. Bikes (#/hr)												
Peak Hour Factor	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97
Growth Factor	100%	100%	62%	100%	100%	62%	100%	100%	62%	100%	100%	62%
Heavy Vehicles (%)	2%	2%	2%	4%	4%	4%	3%	3%	3%	4%	4%	4%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	0	0	0	0	0
Parking (#/hr)												
Mid-Block Traffic (%)		0%			0%			0%			0%	
Shared Lane Traffic (%)												
Lane Group Flow (vph)	129	129	102	21	98	35	98	1000	22	41	747	35
Turn Type	Perm	NA	Perm	Perm	NA	Perm	pm+pt	NA	Perm	Perm	NA	Perm
Protected Phases		4			8		1	6			2	
Permitted Phases	4		4	8		8	6		6	2		2
Detector Phase	4	4	4	8	8	8	1	6	6	2	2	2
Switch Phase												
Minimum Initial (s)	8.0	8.0	8.0	8.0	8.0	8.0	6.0	15.0	15.0	15.0	15.0	15.0
Minimum Split (s)	13.7	13.7	13.7	13.7	13.7	13.7	9.0	21.4	21.4	21.4	21.4	21.4
Total Split (s)	35.7	35.7	35.7	35.7	35.7	35.7	22.0	51.4	51.4	51.4	51.4	51.4
Total Split (%)	32.7%	32.7%	32.7%	32.7%	32.7%	32.7%	20.2%	47.1%	47.1%	47.1%	47.1%	47.1%
Maximum Green (s)	30.0	30.0	30.0	30.0	30.0	30.0	19.0	45.0	45.0	45.0	45.0	45.0
Yellow Time (s)	3.5	3.5	3.5	3.5	3.5	3.5	3.0	5.1	5.1	5.1	5.1	5.1
All-Red Time (s)	2.2	2.2	2.2	2.2	2.2	2.2	0.0	1.3	1.3	1.3	1.3	1.3
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	5.7	5.7	5.7	5.7	5.7	5.7	3.0	6.4	6.4	6.4	6.4	6.4
Lead/Lag							Lead			Lag	Lag	Lag
Lead-Lag Optimize?							Yes			Yes	Yes	Yes
Vehicle Extension (s)	1.5	1.5	1.5	1.5	1.5	1.5	1.5	3.3	3.3	3.3	3.3	3.3
Minimum Gap (s)	1.5	1.5	1.5	1.5	1.5	1.5	1.5	2.3	2.3	2.3	2.3	2.3
Time Before Reduce (s)	30.0	30.0	30.0	30.0	30.0	30.0	20.0	26.0	26.0	26.0	26.0	26.0
Time To Reduce (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	19.0	19.0	19.0	19.0	19.0
Recall Mode	None	None	None	None	None	None	None	Min	Min	Min	Min	Min
Walk Time (s)												
Flash Don't Walk (s)												
Pedestrian Calls (#/hr)												
v/c Ratio	0.47	0.33	0.33	0.08	0.25	0.12	0.20	0.52	0.03	0.19	0.53	0.06
Control Delay (s/veh)	25.2	20.7	21.5	18.5	19.8	18.6	5.2	8.5	5.8	14.2	14.0	11.2

3536 Mt. Pleasant Bear Res Braun/Oakes Rd TIA
TADI - TSC

Synchro 12 Report

Lanes, Volumes, Timings
100: STH 31 & Braun

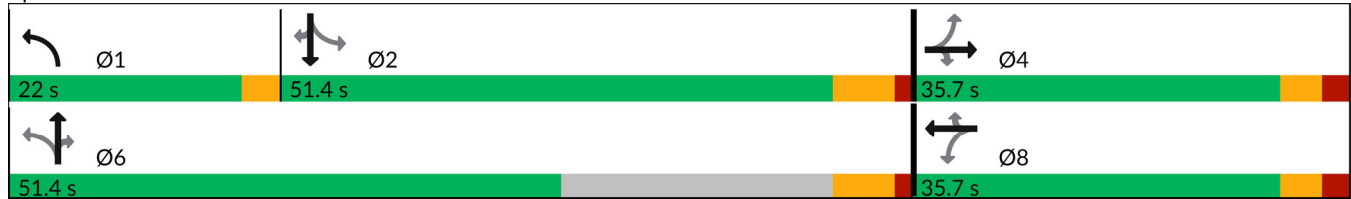
2025 Background
PM Peak Hour

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay (s/veh)	25.2	20.7	21.5	18.5	19.8	18.6	5.2	8.5	5.8	14.2	14.0	11.2
Queue Length 50th (ft)	32	31	25	5	23	8	9	77	2	8	84	6
Queue Length 95th (ft)	87	81	69	22	65	30	28	149	11	29	153	23
Internal Link Dist (ft)	3648			634			1322			810		
Turn Bay Length (ft)	225		140	90		70	210		235	210		175
Base Capacity (vph)	820	1182	932	781	1158	914	852	3671	1444	493	3269	1285
Starvation Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	0
Reduced v/c Ratio	0.16	0.11	0.11	0.03	0.08	0.04	0.12	0.27	0.02	0.08	0.23	0.03

Intersection Summary

























Area Type: Other
 Cycle Length: 109.1
 Actuated Cycle Length: 48.7
 Natural Cycle: 45
 Control Type: Actuated-Uncoordinated
 Description: Runs Free. NB LT Y=1.0 sec. HCM7th Ed requires 3 sec. min. Adjusted for this analysis.

Splits and Phases: 100: STH 31 & Braun



HCM 7th Signalized Intersection Summary
100: STH 31 & Braun

2025 Background
PM Peak Hour

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	125	125	160	20	95	55	95	970	35	40	725	55
Future Volume (veh/h)	125	125	160	20	95	55	95	970	35	40	725	55
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Lane Width Adj.	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1856	1856	1723	1826	1826	1695	1943	1943	1709	1928	1928	1695
Adj Flow Rate, veh/h	129	129	102	21	98	35	98	1000	22	41	747	35
Peak Hour Factor	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97
Percent Heavy Veh, %	2	2	2	4	4	4	3	3	3	4	4	4
Cap, veh/h	358	371	292	323	365	287	481	1926	755	361	1306	512
Arrive On Green	0.20	0.20	0.20	0.20	0.20	0.20	0.10	0.52	0.52	0.36	0.36	0.36
Sat Flow, veh/h	1247	1856	1460	1122	1826	1437	1851	3693	1448	569	3663	1437
Grp Volume(v), veh/h	129	129	102	21	98	35	98	1000	22	41	747	35
Grp Sat Flow(s),veh/h/ln	1247	1856	1460	1122	1826	1437	1851	1846	1448	569	1832	1437
Q Serve(g_s), s	4.2	2.6	2.6	0.7	2.0	0.9	1.2	7.7	0.3	2.2	7.2	0.7
Cycle Q Clear(g_c), s	6.2	2.6	2.6	3.3	2.0	0.9	1.2	7.7	0.3	2.8	7.2	0.7
Prop In Lane	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Lane Grp Cap(c), veh/h	358	371	292	323	365	287	481	1926	755	361	1306	512
V/C Ratio(X)	0.36	0.35	0.35	0.07	0.27	0.12	0.20	0.52	0.03	0.11	0.57	0.07
Avail Cap(c_a), veh/h	971	1282	1009	874	1262	993	1113	3827	1501	748	3796	1489
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	17.3	14.9	14.9	16.4	14.7	14.2	6.9	6.8	5.0	10.1	11.3	9.2
Incr Delay (d2), s/veh	0.2	0.2	0.3	0.0	0.1	0.1	0.1	0.2	0.0	0.2	0.4	0.1
Initial Q Delay(d3), s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	1.0	0.9	0.7	0.1	0.6	0.2	0.2	1.3	0.0	0.2	1.8	0.1
Unsig. Movement Delay, s/veh												
LnGrp Delay(d), s/veh	17.5	15.1	15.2	16.4	14.8	14.3	7.0	7.1	5.1	10.2	11.7	9.3
LnGrp LOS	B	B	B	B	B	B	A	A	A	B	B	A
Approach Vol, veh/h		360			154			1120			823	
Approach Delay, s/veh		16.0			14.9			7.0			11.6	
Approach LOS		B			B			A			B	
Timer - Assigned Phs	1	2		4		6		8				
Phs Duration (G+Y+Rc), s	7.2	21.9		14.4		29.0		14.4				
Change Period (Y+Rc), s	3.0	6.4		5.7		6.4		5.7				
Max Green Setting (Gmax), s	19.0	45.0		30.0		45.0		30.0				
Max Q Clear Time (g_c+I1), s	3.2	9.2		8.2		9.7		5.3				
Green Ext Time (p_c), s	0.0	6.3		0.5		8.3		0.3				
Intersection Summary												
HCM 7th Control Delay, s/veh			10.4									
HCM 7th LOS			B									

Lanes, Volumes, Timings
200: Durand Avenue & Oakes Road

2025 Background
PM Peak Hour

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (vph)	130	790	235	105	485	150	165	130	145	170	110	105
Future Volume (vph)	130	790	235	105	485	150	165	130	145	170	110	105
Ideal Flow (vphpl)	1865	1865	1750	1865	1865	1750	1775	1775	1775	1775	1775	1775
Lane Width (ft)	12	12	12	12	12	12	12	12	12	12	12	12
Grade (%)		0%			0%			0%			0%	
Storage Length (ft)	200		360	240		205	220		0	175		0
Storage Lanes	1		1	1		1	1		0	1		0
Taper Length (ft)	100			100			100			100		
Right Turn on Red			No			No			No			No
Link Speed (mph)		40			40			30			30	
Link Distance (ft)		676			628			634			666	
Travel Time (s)		11.5			10.7			14.4			15.1	
Confl. Peds. (#/hr)												
Confl. Bikes (#/hr)												
Peak Hour Factor	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95
Growth Factor	100%	100%	62%	100%	100%	62%	100%	100%	100%	100%	100%	100%
Heavy Vehicles (%)	4%	4%	4%	7%	7%	7%	3%	3%	3%	4%	4%	4%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	0	0	0	0	0
Parking (#/hr)												
Mid-Block Traffic (%)		0%			0%			0%			0%	
Shared Lane Traffic (%)												
Lane Group Flow (vph)	137	832	153	111	511	98	174	290	0	179	227	0
Turn Type	D.P+P	NA	Perm	D.P+P	NA	Perm	D.P+P	NA		D.P+P	NA	
Protected Phases	1	6		5	2		3	8		7	4	
Permitted Phases	2		6	6		2	4			8		
Detector Phase	1	6	6	5	2	2	3	8		7	4	
Switch Phase												
Minimum Initial (s)	6.0	15.0	15.0	6.0	15.0	15.0	6.0	10.0		6.0	10.0	
Minimum Split (s)	11.5	21.5	21.5	11.5	21.5	21.5	11.5	17.1		11.5	17.1	
Total Split (s)	30.5	60.5	60.5	30.5	60.5	60.5	30.5	42.1		30.5	42.1	
Total Split (%)	18.6%	37.0%	37.0%	18.6%	37.0%	37.0%	18.6%	25.7%		18.6%	25.7%	
Maximum Green (s)	25.0	54.0	54.0	25.0	54.0	54.0	25.0	35.0		25.0	35.0	
Yellow Time (s)	3.5	3.9	3.9	3.5	3.9	3.9	3.5	4.1		3.5	4.1	
All-Red Time (s)	2.0	2.6	2.6	2.0	2.6	2.6	2.0	3.0		2.0	3.0	
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0	
Total Lost Time (s)	5.5	6.5	6.5	5.5	6.5	6.5	5.5	7.1		5.5	7.1	
Lead/Lag	Lead	Lag	Lag	Lead	Lag	Lag	Lead	Lag		Lead	Lag	
Lead-Lag Optimize?	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes		Yes	Yes	
Vehicle Extension (s)	1.5	3.4	3.4	1.5	3.4	3.4	1.5	1.5		1.5	1.5	
Minimum Gap (s)	1.5	2.4	2.4	1.5	2.4	2.4	1.5	1.5		1.5	1.5	
Time Before Reduce (s)	25.0	19.0	19.0	25.0	19.0	19.0	25.0	35.0		25.0	35.0	
Time To Reduce (s)	0.0	13.0	13.0	0.0	13.0	13.0	0.0	0.0		0.0	0.0	
Recall Mode	None	Min	Min	None	Min	Min	None	None		None	None	
Walk Time (s)												
Flash Don't Walk (s)												
Pedestrian Calls (#/hr)												
v/c Ratio	0.33	0.71	0.31	0.41	0.46	0.21	0.45	0.60		0.47	0.46	
Control Delay (s/veh)	15.3	30.1	25.0	17.6	25.7	24.4	25.8	42.8		26.5	39.6	

3536 Mt. Pleasant Bear Res Braun/Oakes Rd TIA
TADI - TSC

Synchro 12 Report

Lanes, Volumes, Timings
200: Durand Avenue & Oakes Road

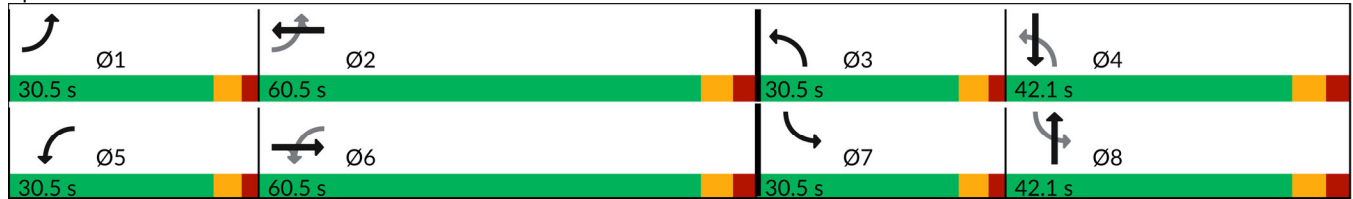
2025 Background
PM Peak Hour

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0	
Total Delay (s/veh)	15.3	30.1	25.0	17.6	25.7	24.4	25.8	42.8		26.5	39.6	
Queue Length 50th (ft)	38	204	60	30	113	38	66	77		68	59	
Queue Length 95th (ft)	89	346	137	74	204	93	148	156		152	123	
Internal Link Dist (ft)		596			548			554			586	
Turn Bay Length (ft)	200		360	240		205	220			175		
Base Capacity (vph)	649	2125	891	555	2065	866	558	1219		547	1215	
Starvation Cap Reductn	0	0	0	0	0	0	0	0		0	0	
Spillback Cap Reductn	0	0	0	0	0	0	0	0		0	0	
Storage Cap Reductn	0	0	0	0	0	0	0	0		0	0	
Reduced v/c Ratio	0.21	0.39	0.17	0.20	0.25	0.11	0.31	0.24		0.33	0.19	

Intersection Summary

Area Type: Other
 Cycle Length: 163.6
 Actuated Cycle Length: 89.9
 Natural Cycle: 65
 Control Type: Actuated-Uncoordinated
 Description: Runs Free

Splits and Phases: 200: Durand Avenue & Oakes Road



HCM 7th Signalized Intersection Summary
200: Durand Avenue & Oakes Road

2025 Background
PM Peak Hour

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	130	790	235	105	485	150	165	130	145	170	110	105
Future Volume (veh/h)	130	790	235	105	485	150	165	130	145	170	110	105
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Lane Width Adj.	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1807	1807	1695	1763	1763	1654	1733	1733	1733	1720	1720	1720
Adj Flow Rate, veh/h	137	832	153	111	511	98	174	137	153	179	116	111
Peak Hour Factor	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95
Percent Heavy Veh, %	4	4	4	7	7	7	3	3	3	4	4	4
Cap, veh/h	401	1188	497	290	1148	480	358	228	203	325	235	205
Arrive On Green	0.08	0.35	0.35	0.07	0.34	0.34	0.11	0.14	0.14	0.12	0.14	0.14
Sat Flow, veh/h	1721	3433	1437	1679	3350	1402	1651	1647	1469	1638	1652	1442
Grp Volume(v), veh/h	137	832	153	111	511	98	174	137	153	179	115	112
Grp Sat Flow(s),veh/h/ln	1721	1716	1437	1679	1675	1402	1651	1647	1469	1638	1634	1460
Q Serve(g_s), s	3.8	15.7	5.9	3.1	8.9	3.7	6.6	5.9	7.5	6.9	4.9	5.4
Cycle Q Clear(g_c), s	3.8	15.7	5.9	3.1	8.9	3.7	6.6	5.9	7.5	6.9	4.9	5.4
Prop In Lane	1.00		1.00	1.00		1.00	1.00		1.00	1.00		0.99
Lane Grp Cap(c), veh/h	401	1188	497	290	1148	480	358	228	203	325	233	208
V/C Ratio(X)	0.34	0.70	0.31	0.38	0.45	0.20	0.49	0.60	0.75	0.55	0.49	0.54
Avail Cap(c_a), veh/h	843	2463	1031	727	2404	1006	720	766	683	678	760	679
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	14.5	21.2	18.0	15.7	19.2	17.5	23.6	30.5	31.2	23.9	29.8	30.0
Incr Delay (d2), s/veh	0.2	0.9	0.4	0.3	0.3	0.2	0.4	0.9	2.1	0.5	0.6	0.8
Initial Q Delay(d3), s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	1.3	5.8	1.9	1.1	3.2	1.2	2.5	2.3	2.7	2.6	1.9	1.9
Unsig. Movement Delay, s/veh												
LnGrp Delay(d), s/veh	14.7	22.1	18.4	16.0	19.5	17.7	23.9	31.4	33.3	24.4	30.4	30.8
LnGrp LOS	B	C	B	B	B	B	C	C	C	C	C	C
Approach Vol, veh/h		1122			720			464			406	
Approach Delay, s/veh		20.7			18.7			29.2			27.9	
Approach LOS		C			B			C			C	
Timer - Assigned Phs	1	2	3	4	5	6	7	8				
Phs Duration (G+Y+Rc), s	11.2	32.3	14.0	17.8	10.9	32.5	14.3	17.5				
Change Period (Y+Rc), s	5.5	6.5	5.5	7.1	5.5	6.5	5.5	7.1				
Max Green Setting (Gmax), s	25.0	54.0	25.0	35.0	25.0	54.0	25.0	35.0				
Max Q Clear Time (g_c+I1), s	5.8	10.9	8.6	7.4	5.1	17.7	8.9	9.5				
Green Ext Time (p_c), s	0.1	4.6	0.1	0.7	0.1	8.3	0.1	0.9				
Intersection Summary												
HCM 7th Control Delay, s/veh				22.7								
HCM 7th LOS				C								

APPENDIX C

SYNCHRO INTERSECTION CAPACITY ANALYSIS

Build Traffic Volumes

Lanes, Volumes, Timings
100: STH 31 & Braun

2025 Build
AM Peak Hour

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (vph)	95	105	180	30	125	30	70	595	15	30	645	70
Future Volume (vph)	95	105	180	30	125	30	70	595	15	30	645	70
Ideal Flow (vphpl)	1885	1885	1750	1885	1885	1750	1990	1990	1750	1990	1990	1750
Lane Width (ft)	12	12	12	12	12	12	12	12	12	12	12	12
Grade (%)		0%			0%			0%			0%	
Storage Length (ft)	225		140	90		70	210		235	210		175
Storage Lanes	1		1	1		1	1		1	1		1
Taper Length (ft)	100			100			100			100		
Right Turn on Red			No			No			No			No
Link Speed (mph)		45			45			55			55	
Link Distance (ft)		3728			714			1402			890	
Travel Time (s)		56.5			10.8			17.4			11.0	
Confl. Peds. (#/hr)												
Confl. Bikes (#/hr)												
Peak Hour Factor	0.93	0.93	0.93	0.93	0.93	0.93	0.93	0.93	0.93	0.93	0.93	0.93
Growth Factor	100%	100%	62%	100%	100%	62%	100%	100%	62%	100%	100%	62%
Heavy Vehicles (%)	3%	3%	3%	6%	6%	6%	5%	5%	5%	4%	4%	4%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	0	0	0	0	0
Parking (#/hr)												
Mid-Block Traffic (%)		0%			0%			0%			0%	
Shared Lane Traffic (%)												
Lane Group Flow (vph)	102	113	120	32	134	20	75	640	10	32	694	47
Turn Type	Perm	NA	Perm	Perm	NA	Perm	pm+pt	NA	Perm	Perm	NA	Perm
Protected Phases		4			8		1	6			2	
Permitted Phases	4		4	8		8	6		6	2		2
Detector Phase	4	4	4	8	8	8	1	6	6	2	2	2
Switch Phase												
Minimum Initial (s)	8.0	8.0	8.0	8.0	8.0	8.0	6.0	15.0	15.0	15.0	15.0	15.0
Minimum Split (s)	13.7	13.7	13.7	13.7	13.7	13.7	9.0	21.4	21.4	21.4	21.4	21.4
Total Split (s)	35.7	35.7	35.7	35.7	35.7	35.7	22.0	51.4	51.4	51.4	51.4	51.4
Total Split (%)	32.7%	32.7%	32.7%	32.7%	32.7%	32.7%	20.2%	47.1%	47.1%	47.1%	47.1%	47.1%
Maximum Green (s)	30.0	30.0	30.0	30.0	30.0	30.0	19.0	45.0	45.0	45.0	45.0	45.0
Yellow Time (s)	3.5	3.5	3.5	3.5	3.5	3.5	3.0	5.1	5.1	5.1	5.1	5.1
All-Red Time (s)	2.2	2.2	2.2	2.2	2.2	2.2	0.0	1.3	1.3	1.3	1.3	1.3
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	5.7	5.7	5.7	5.7	5.7	5.7	3.0	6.4	6.4	6.4	6.4	6.4
Lead/Lag							Lead			Lag	Lag	Lag
Lead-Lag Optimize?							Yes			Yes	Yes	Yes
Vehicle Extension (s)	1.5	1.5	1.5	1.5	1.5	1.5	1.5	3.3	3.3	3.3	3.3	3.3
Minimum Gap (s)	1.5	1.5	1.5	1.5	1.5	1.5	1.5	2.3	2.3	2.3	2.3	2.3
Time Before Reduce (s)	30.0	30.0	30.0	30.0	30.0	30.0	20.0	26.0	26.0	26.0	26.0	26.0
Time To Reduce (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	19.0	19.0	19.0	19.0	19.0
Recall Mode	None	None	None	None	None	None	None	Min	Min	Min	Min	Min
Walk Time (s)												
Flash Don't Walk (s)												
Pedestrian Calls (#/hr)												
v/c Ratio	0.39	0.29	0.39	0.12	0.35	0.07	0.14	0.35	0.01	0.10	0.49	0.08
Control Delay (s/veh)	22.0	18.8	21.2	17.9	19.8	17.2	4.7	7.1	5.4	11.7	12.5	10.8

3536 Mt. Pleasant Bear Res Braun/Oakes Rd TIA
TADI - TSC

Synchro 12 Report

Lanes, Volumes, Timings
100: STH 31 & Braun

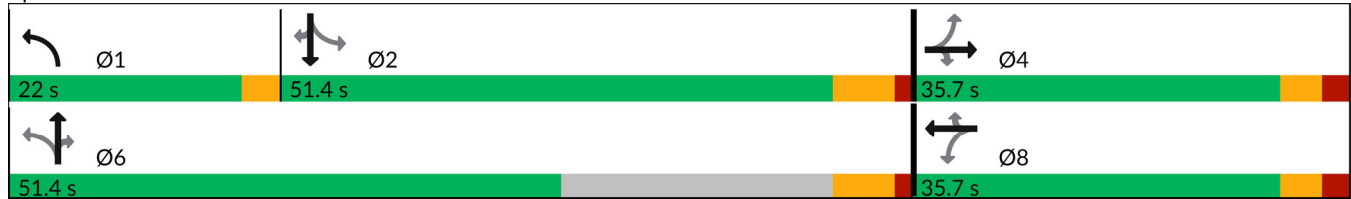
2025 Build
AM Peak Hour

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay (s/veh)	22.0	18.8	21.2	17.9	19.8	17.2	4.7	7.1	5.4	11.7	12.5	10.8
Queue Length 50th (ft)	24	26	28	7	31	4	6	41	1	5	73	8
Queue Length 95th (ft)	67	68	75	27	79	19	21	82	6	22	131	27
Internal Link Dist (ft)	3648			634			1322			810		
Turn Bay Length (ft)	225		140	90		70	210		235	210		175
Base Capacity (vph)	860	1282	1012	852	1245	983	885	3601	1417	734	3411	1341
Starvation Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	0
Reduced v/c Ratio	0.12	0.09	0.12	0.04	0.11	0.02	0.08	0.18	0.01	0.04	0.20	0.04

Intersection Summary

























Area Type: Other
 Cycle Length: 109.1
 Actuated Cycle Length: 44.4
 Natural Cycle: 45
 Control Type: Actuated-Uncoordinated
 Description: Runs Free. Runs Free. NB LT Y=1.0 sec. HCM7th Ed requires 3 sec. min. Adjusted for this analysis.

Splits and Phases: 100: STH 31 & Braun



HCM 7th Signalized Intersection Summary
 100: STH 31 & Braun

2025 Build
 AM Peak Hour

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	95	105	180	30	125	30	70	595	15	30	645	70
Future Volume (veh/h)	95	105	180	30	125	30	70	595	15	30	645	70
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Lane Width Adj.	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1841	1841	1709	1797	1797	1668	1912	1912	1682	1928	1928	1695
Adj Flow Rate, veh/h	102	113	120	32	134	20	75	640	10	32	694	47
Peak Hour Factor	0.93	0.93	0.93	0.93	0.93	0.93	0.93	0.93	0.93	0.93	0.93	0.93
Percent Heavy Veh, %	3	3	3	6	6	6	5	5	5	4	4	4
Cap, veh/h	337	371	292	336	362	285	474	1857	728	458	1306	512
Arrive On Green	0.20	0.20	0.20	0.20	0.20	0.20	0.08	0.51	0.51	0.36	0.36	0.36
Sat Flow, veh/h	1214	1841	1448	1102	1797	1414	1821	3634	1425	806	3663	1437
Grp Volume(v), veh/h	102	113	120	32	134	20	75	640	10	32	694	47
Grp Sat Flow(s),veh/h/ln	1214	1841	1448	1102	1797	1414	1821	1817	1425	806	1832	1437
Q Serve(g_s), s	3.3	2.2	3.0	1.1	2.7	0.5	0.9	4.4	0.1	1.1	6.3	0.9
Cycle Q Clear(g_c), s	6.0	2.2	3.0	3.3	2.7	0.5	0.9	4.4	0.1	1.1	6.3	0.9
Prop In Lane	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Lane Grp Cap(c), veh/h	337	371	292	336	362	285	474	1857	728	458	1306	512
V/C Ratio(X)	0.30	0.30	0.41	0.10	0.37	0.07	0.16	0.34	0.01	0.07	0.53	0.09
Avail Cap(c_a), veh/h	958	1313	1033	899	1281	1008	1145	3886	1524	1033	3918	1537
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	17.1	14.3	14.6	15.7	14.5	13.6	6.7	6.1	5.1	9.1	10.7	9.0
Incr Delay (d2), s/veh	0.2	0.2	0.3	0.0	0.2	0.0	0.1	0.1	0.0	0.1	0.4	0.1
Initial Q Delay(d3), s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.7	0.7	0.8	0.2	0.9	0.1	0.2	0.7	0.0	0.1	1.6	0.2
Unsig. Movement Delay, s/veh												
LnGrp Delay(d), s/veh	17.3	14.5	15.0	15.7	14.7	13.6	6.7	6.2	5.1	9.1	11.1	9.1
LnGrp LOS	B	B	B	B	B	B	A	A	A	A	B	A
Approach Vol, veh/h		335			186			725			773	
Approach Delay, s/veh		15.5			14.8			6.3			10.9	
Approach LOS		B			B			A			B	
Timer - Assigned Phs	1	2		4		6		8				
Phs Duration (G+Y+Rc), s	6.5	21.4		14.2		27.9		14.2				
Change Period (Y+Rc), s	3.0	6.4		5.7		6.4		5.7				
Max Green Setting (Gmax), s	19.0	45.0		30.0		45.0		30.0				
Max Q Clear Time (g_c+I1), s	2.9	8.3		8.0		6.4		5.3				
Green Ext Time (p_c), s	0.0	5.6		0.5		4.7		0.3				
Intersection Summary												
HCM 7th Control Delay, s/veh			10.4									
HCM 7th LOS			B									

Lanes, Volumes, Timings
200: Durand Avenue & Oakes Road

2025 Build
AM Peak Hour

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (vph)	145	605	90	65	715	180	135	50	105	110	45	120
Future Volume (vph)	145	605	90	65	715	180	135	50	105	110	45	120
Ideal Flow (vphpl)	1865	1865	1750	1865	1865	1750	1775	1775	1775	1775	1775	1775
Lane Width (ft)	12	12	12	12	12	12	12	12	12	12	12	12
Grade (%)		0%			0%			0%			0%	
Storage Length (ft)	200		360	240		205	220		0	175		0
Storage Lanes	1		1	1		1	1		0	1		0
Taper Length (ft)	100			100			100			100		
Right Turn on Red			No			No			No			No
Link Speed (mph)		40			40			30			30	
Link Distance (ft)		676			628			634			666	
Travel Time (s)		11.5			10.7			14.4			15.1	
Confl. Peds. (#/hr)												
Confl. Bikes (#/hr)												
Peak Hour Factor	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89
Growth Factor	100%	100%	62%	100%	100%	62%	100%	100%	100%	100%	100%	100%
Heavy Vehicles (%)	9%	9%	9%	5%	5%	5%	13%	13%	13%	8%	8%	8%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	0	0	0	0	0
Parking (#/hr)												
Mid-Block Traffic (%)		0%			0%			0%			0%	
Shared Lane Traffic (%)												
Lane Group Flow (vph)	163	680	63	73	803	125	152	174	0	124	186	0
Turn Type	D.P+P	NA	Perm	D.P+P	NA	Perm	D.P+P	NA		D.P+P	NA	
Protected Phases	1	6		5	2		3	8		7	4	
Permitted Phases	2		6	6		2	4			8		
Detector Phase	1	6	6	5	2	2	3	8		7	4	
Switch Phase												
Minimum Initial (s)	6.0	15.0	15.0	6.0	15.0	15.0	6.0	10.0		6.0	10.0	
Minimum Split (s)	11.5	21.5	21.5	11.5	21.5	21.5	11.5	17.1		11.5	17.1	
Total Split (s)	30.5	60.5	60.5	30.5	60.5	60.5	30.5	42.1		30.5	42.1	
Total Split (%)	18.6%	37.0%	37.0%	18.6%	37.0%	37.0%	18.6%	25.7%		18.6%	25.7%	
Maximum Green (s)	25.0	54.0	54.0	25.0	54.0	54.0	25.0	35.0		25.0	35.0	
Yellow Time (s)	3.5	3.9	3.9	3.5	3.9	3.9	3.5	4.1		3.5	4.1	
All-Red Time (s)	2.0	2.6	2.6	2.0	2.6	2.6	2.0	3.0		2.0	3.0	
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0	
Total Lost Time (s)	5.5	6.5	6.5	5.5	6.5	6.5	5.5	7.1		5.5	7.1	
Lead/Lag	Lead	Lag	Lag	Lead	Lag	Lag	Lead	Lag		Lead	Lag	
Lead-Lag Optimize?	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes		Yes	Yes	
Vehicle Extension (s)	1.5	3.4	3.4	1.5	3.4	3.4	1.5	1.5		1.5	1.5	
Minimum Gap (s)	1.5	2.4	2.4	1.5	2.4	2.4	1.5	1.5		1.5	1.5	
Time Before Reduce (s)	25.0	19.0	19.0	25.0	19.0	19.0	25.0	35.0		25.0	35.0	
Time To Reduce (s)	0.0	13.0	13.0	0.0	13.0	13.0	0.0	0.0		0.0	0.0	
Recall Mode	None	Min	Min	None	Min	Min	None	None		None	None	
Walk Time (s)												
Flash Don't Walk (s)												
Pedestrian Calls (#/hr)												
v/c Ratio	0.53	0.52	0.12	0.21	0.70	0.26	0.45	0.42		0.36	0.48	
Control Delay (s/veh)	18.4	22.5	19.4	12.5	29.0	23.6	27.3	39.0		25.5	41.8	

3536 Mt. Pleasant Bear Res Braun/Oakes Rd TIA
TADI - TSC

Synchro 12 Report

Lanes, Volumes, Timings
200: Durand Avenue & Oakes Road

2025 Build
AM Peak Hour

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0	
Total Delay (s/veh)	18.4	22.5	19.4	12.5	29.0	23.6	27.3	39.0		25.5	41.8	
Queue Length 50th (ft)	41	142	21	17	185	46	57	43		45	47	
Queue Length 95th (ft)	94	243	56	47	317	108	132	94		108	103	
Internal Link Dist (ft)		596			548			554			586	
Turn Bay Length (ft)	200		360		240		205		220		175	
Base Capacity (vph)	572	2101	882	631	2181	915	497	1122		521	1165	
Starvation Cap Reductn	0	0	0	0	0	0	0	0		0	0	
Spillback Cap Reductn	0	0	0	0	0	0	0	0		0	0	
Storage Cap Reductn	0	0	0	0	0	0	0	0		0	0	
Reduced v/c Ratio	0.28	0.32	0.07	0.12	0.37	0.14	0.31	0.16		0.24	0.16	

Intersection Summary

Area Type:	Other
Cycle Length:	163.6
Actuated Cycle Length:	86.5
Natural Cycle:	65
Control Type:	Actuated-Uncoordinated
Description:	Runs Free

Splits and Phases: 200: Durand Avenue & Oakes Road

Ø1 30.5 s	Ø2 60.5 s	Ø3 30.5 s	Ø4 42.1 s
Ø5 30.5 s	Ø6 60.5 s	Ø7 30.5 s	Ø8 42.1 s










HCM 7th Signalized Intersection Summary
200: Durand Avenue & Oakes Road

2025 Build
AM Peak Hour

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	145	605	90	65	715	180	135	50	105	110	45	120
Future Volume (veh/h)	145	605	90	65	715	180	135	50	105	110	45	120
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Lane Width Adj.	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1734	1734	1627	1792	1792	1682	1595	1595	1595	1664	1664	1664
Adj Flow Rate, veh/h	163	680	63	73	803	125	152	56	118	124	51	135
Peak Hour Factor	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89	0.89
Percent Heavy Veh, %	9	9	9	5	5	5	13	13	13	8	8	8
Cap, veh/h	317	1194	500	340	1147	480	305	239	213	315	213	190
Arrive On Green	0.09	0.36	0.36	0.06	0.34	0.34	0.11	0.16	0.16	0.09	0.13	0.13
Sat Flow, veh/h	1652	3295	1379	1707	3405	1425	1519	1515	1352	1585	1581	1410
Grp Volume(v), veh/h	163	680	63	73	803	125	152	56	118	124	51	135
Grp Sat Flow(s),veh/h/ln	1652	1647	1379	1707	1703	1425	1519	1515	1352	1585	1581	1410
Q Serve(g_s), s	4.7	12.3	2.3	1.9	15.2	4.7	6.2	2.4	6.0	4.8	2.1	6.8
Cycle Q Clear(g_c), s	4.7	12.3	2.3	1.9	15.2	4.7	6.2	2.4	6.0	4.8	2.1	6.8
Prop In Lane	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Lane Grp Cap(c), veh/h	317	1194	500	340	1147	480	305	239	213	315	213	190
V/C Ratio(X)	0.51	0.57	0.13	0.21	0.70	0.26	0.50	0.23	0.55	0.39	0.24	0.71
Avail Cap(c_a), veh/h	728	2401	1005	808	2482	1039	654	716	639	715	747	666
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	15.8	19.0	15.8	13.9	21.3	17.9	24.0	27.3	28.8	23.3	28.6	30.7
Incr Delay (d2), s/veh	0.5	0.5	0.1	0.1	0.9	0.3	0.5	0.2	0.8	0.3	0.2	1.8
Initial Q Delay(d3), s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	1.6	4.3	0.7	0.7	5.6	1.5	2.2	0.9	1.9	1.7	0.8	2.3
Unsig. Movement Delay, s/veh												
LnGrp Delay(d), s/veh	16.2	19.5	15.9	14.0	22.2	18.2	24.4	27.5	29.6	23.6	28.9	32.5
LnGrp LOS	B	B	B	B	C	B	C	C	C	C	C	C
Approach Vol, veh/h		906			1001			326			310	
Approach Delay, s/veh		18.7			21.1			26.8			28.3	
Approach LOS		B			C			C			C	
Timer - Assigned Phs	1	2	3	4	5	6	7	8				
Phs Duration (G+Y+Rc), s	12.0	31.5	13.5	17.1	10.2	33.3	11.8	18.8				
Change Period (Y+Rc), s	5.5	6.5	5.5	7.1	5.5	6.5	5.5	7.1				
Max Green Setting (Gmax), s	25.0	54.0	25.0	35.0	25.0	54.0	25.0	35.0				
Max Q Clear Time (g_c+I1), s	6.7	17.2	8.2	8.8	3.9	14.3	6.8	8.0				
Green Ext Time (p_c), s	0.1	7.8	0.1	0.6	0.0	6.2	0.1	0.5				
Intersection Summary												
HCM 7th Control Delay, s/veh			21.9									
HCM 7th LOS			C									

Lanes, Volumes, Timings
 300: Oakes Road & Braun Road

2025 Build
 AM Peak Hour

						
Lane Group	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations						
Traffic Volume (vph)	1	80	10	1	30	30
Future Volume (vph)	1	80	10	1	30	30
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	12	12
Grade (%)	0%		0%			0%
Storage Length (ft)	0	0		0	0	
Storage Lanes	1	0		0	0	
Taper Length (ft)	100				100	
Link Speed (mph)	25		30			30
Link Distance (ft)	1874		1980			737
Travel Time (s)	51.1		45.0			16.8
Confl. Peds. (#/hr)						
Confl. Bikes (#/hr)						
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92
Growth Factor	100%	100%	100%	100%	100%	100%
Heavy Vehicles (%)	2%	2%	2%	2%	2%	2%
Bus Blockages (#/hr)	0	0	0	0	0	0
Parking (#/hr)						
Mid-Block Traffic (%)	0%		0%			0%
Shared Lane Traffic (%)						
Lane Group Flow (vph)	88	0	12	0	0	66
Sign Control	Stop		Free			Free
Intersection Summary						
Area Type:	Other					
Control Type:	Unsignalized					

Intersection						
Int Delay, s/veh	6.1					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	Y		T			T
Traffic Vol, veh/h	1	80	10	1	30	30
Future Vol, veh/h	1	80	10	1	30	30
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	1	87	11	1	33	33

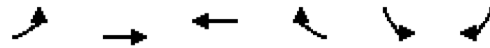
Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	109	11	0	0	12	0
Stage 1	11	-	-	-	-	-
Stage 2	98	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218	-
Pot Cap-1 Maneuver	888	1069	-	-	1607	-
Stage 1	1011	-	-	-	-	-
Stage 2	926	-	-	-	-	-
Platoon blocked, %			-	-		-
Mov Cap-1 Maneuver	870	1069	-	-	1607	-
Mov Cap-2 Maneuver	870	-	-	-	-	-
Stage 1	1011	-	-	-	-	-
Stage 2	907	-	-	-	-	-

Approach	WB	NB	SB
HCM Ctrl Dly, s/v	8.68	0	3.64
HCM LOS	A		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	1066	900
HCM Lane V/C Ratio	-	-	0.083	0.02
HCM Ctrl Dly (s/v)	-	-	8.7	7.3
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	0.3	0.1

Lanes, Volumes, Timings
400: Braun & Oakes Road

2025 Build
AM Peak Hour



Lane Group	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Volume (vph)	5	180	220	20	60	15
Future Volume (vph)	5	180	220	20	60	15
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	12	12
Grade (%)		0%	0%		0%	
Storage Length (ft)	0			0	0	0
Storage Lanes	0			0	1	0
Taper Length (ft)	100				100	
Link Speed (mph)		45	45		30	
Link Distance (ft)		1106	3728		1980	
Travel Time (s)		16.8	56.5		45.0	
Confl. Peds. (#/hr)						
Confl. Bikes (#/hr)						
Peak Hour Factor	0.93	0.93	0.93	0.93	0.93	0.93
Growth Factor	100%	100%	100%	100%	100%	100%
Heavy Vehicles (%)	3%	3%	6%	6%	2%	2%
Bus Blockages (#/hr)	0	0	0	0	0	0
Parking (#/hr)						
Mid-Block Traffic (%)		0%	0%		0%	
Shared Lane Traffic (%)						
Lane Group Flow (vph)	0	199	259	0	81	0
Sign Control		Free	Free		Stop	

Intersection Summary

Area Type: Other
Control Type: Unsignalized

Intersection						
Int Delay, s/veh	1.9					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↕	↕		↕	
Traffic Vol, veh/h	5	180	220	20	60	15
Future Vol, veh/h	5	180	220	20	60	15
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	93	93	93	93	93	93
Heavy Vehicles, %	3	3	6	6	2	2
Mvmt Flow	5	194	237	22	65	16

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	258	0	-	0	452 247
Stage 1	-	-	-	-	247 -
Stage 2	-	-	-	-	204 -
Critical Hdwy	4.13	-	-	-	6.42 6.22
Critical Hdwy Stg 1	-	-	-	-	5.42 -
Critical Hdwy Stg 2	-	-	-	-	5.42 -
Follow-up Hdwy	2.227	-	-	-	3.518 3.318
Pot Cap-1 Maneuver	1301	-	-	-	566 791
Stage 1	-	-	-	-	794 -
Stage 2	-	-	-	-	830 -
Platoon blocked, %		-	-	-	
Mov Cap-1 Maneuver	1301	-	-	-	563 791
Mov Cap-2 Maneuver	-	-	-	-	563 -
Stage 1	-	-	-	-	790 -
Stage 2	-	-	-	-	830 -

Approach	EB	WB	SB
HCM Ctrl Dly, s/v	0.21	0	11.96
HCM LOS			B

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	49	-	-	-	598
HCM Lane V/C Ratio	0.004	-	-	-	0.135
HCM Ctrl Dly (s/v)	7.8	0	-	-	12
HCM Lane LOS	A	A	-	-	B
HCM 95th %tile Q(veh)	0	-	-	-	0.5

Lanes, Volumes, Timings
100: STH 31 & Braun

2025 Build
PM Peak Hour

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (vph)	160	135	195	20	110	55	160	970	35	40	725	110
Future Volume (vph)	160	135	195	20	110	55	160	970	35	40	725	110
Ideal Flow (vphpl)	1885	1885	1750	1885	1885	1750	1990	1990	1750	1990	1990	1750
Lane Width (ft)	12	12	12	12	12	12	12	12	12	12	12	12
Grade (%)		0%			0%			0%			0%	
Storage Length (ft)	225		140	90		70	210		235	210		175
Storage Lanes	1		1	1		1	1		1	1		1
Taper Length (ft)	100			100			100			100		
Right Turn on Red			No			No			No			No
Link Speed (mph)		45			45			55			55	
Link Distance (ft)		3728			714			1402			890	
Travel Time (s)		56.5			10.8			17.4			11.0	
Confl. Peds. (#/hr)												
Confl. Bikes (#/hr)												
Peak Hour Factor	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97
Growth Factor	100%	100%	62%	100%	100%	62%	100%	100%	62%	100%	100%	62%
Heavy Vehicles (%)	2%	2%	2%	4%	4%	4%	3%	3%	3%	4%	4%	4%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	0	0	0	0	0
Parking (#/hr)												
Mid-Block Traffic (%)		0%			0%			0%			0%	
Shared Lane Traffic (%)												
Lane Group Flow (vph)	165	139	125	21	113	35	165	1000	22	41	747	70
Turn Type	Perm	NA	Perm	Perm	NA	Perm	pm+pt	NA	Perm	Perm	NA	Perm
Protected Phases		4			8		1	6			2	
Permitted Phases	4		4	8		8	6		6	2		2
Detector Phase	4	4	4	8	8	8	1	6	6	2	2	2
Switch Phase												
Minimum Initial (s)	8.0	8.0	8.0	8.0	8.0	8.0	6.0	15.0	15.0	15.0	15.0	15.0
Minimum Split (s)	13.7	13.7	13.7	13.7	13.7	13.7	9.0	21.4	21.4	21.4	21.4	21.4
Total Split (s)	35.7	35.7	35.7	35.7	35.7	35.7	22.0	51.4	51.4	51.4	51.4	51.4
Total Split (%)	32.7%	32.7%	32.7%	32.7%	32.7%	32.7%	20.2%	47.1%	47.1%	47.1%	47.1%	47.1%
Maximum Green (s)	30.0	30.0	30.0	30.0	30.0	30.0	19.0	45.0	45.0	45.0	45.0	45.0
Yellow Time (s)	3.5	3.5	3.5	3.5	3.5	3.5	3.0	5.1	5.1	5.1	5.1	5.1
All-Red Time (s)	2.2	2.2	2.2	2.2	2.2	2.2	0.0	1.3	1.3	1.3	1.3	1.3
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Lost Time (s)	5.7	5.7	5.7	5.7	5.7	5.7	3.0	6.4	6.4	6.4	6.4	6.4
Lead/Lag							Lead			Lag	Lag	Lag
Lead-Lag Optimize?							Yes			Yes	Yes	Yes
Vehicle Extension (s)	1.5	1.5	1.5	1.5	1.5	1.5	1.5	3.3	3.3	3.3	3.3	3.3
Minimum Gap (s)	1.5	1.5	1.5	1.5	1.5	1.5	1.5	2.3	2.3	2.3	2.3	2.3
Time Before Reduce (s)	30.0	30.0	30.0	30.0	30.0	30.0	20.0	26.0	26.0	26.0	26.0	26.0
Time To Reduce (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	19.0	19.0	19.0	19.0	19.0
Recall Mode	None	None	None	None	None	None	None	Min	Min	Min	Min	Min
Walk Time (s)												
Flash Don't Walk (s)												
Pedestrian Calls (#/hr)												
v/c Ratio	0.59	0.34	0.38	0.08	0.28	0.11	0.34	0.50	0.03	0.21	0.57	0.14
Control Delay (s/veh)	29.4	21.4	23.1	19.3	20.7	19.3	7.1	9.0	6.6	16.5	16.4	13.6

3536 Mt. Pleasant Bear Res Braun/Oakes Rd TIA
TADI - TSC

Synchro 12 Report

Lanes, Volumes, Timings
100: STH 31 & Braun

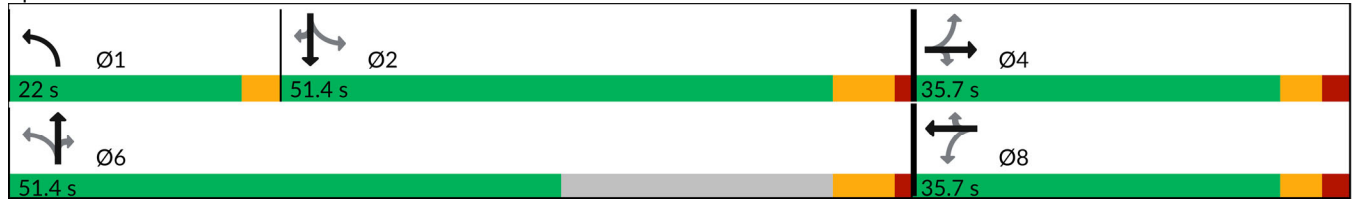
2025 Build
PM Peak Hour

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Total Delay (s/veh)	29.4	21.4	23.1	19.3	20.7	19.3	7.1	9.0	6.6	16.5	16.4	13.6
Queue Length 50th (ft)	45	36	32	5	28	9	18	88	3	8	93	14
Queue Length 95th (ft)	119	94	89	23	78	33	52	173	13	34	181	44
Internal Link Dist (ft)	3648			634			1322			810		
Turn Bay Length (ft)	225		140	90		70	210		235	210		175
Base Capacity (vph)	718	1050	829	688	1030	813	790	3615	1422	466	3086	1213
Starvation Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0	0	0	0	0	0	0	0
Reduced v/c Ratio	0.23	0.13	0.15	0.03	0.11	0.04	0.21	0.28	0.02	0.09	0.24	0.06

Intersection Summary

























Area Type: Other
 Cycle Length: 109.1
 Actuated Cycle Length: 54.6
 Natural Cycle: 50
 Control Type: Actuated-Uncoordinated
 Description: Runs Free. NB LT Y=1.0 sec. HCM7th Ed requires 3 sec. min. Adjusted for this analysis.

Splits and Phases: 100: STH 31 & Braun



HCM 7th Signalized Intersection Summary
100: STH 31 & Braun

2025 Build
PM Peak Hour

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	160	135	195	20	110	55	160	970	35	40	725	110
Future Volume (veh/h)	160	135	195	20	110	55	160	970	35	40	725	110
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Lane Width Adj.	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1856	1856	1723	1826	1826	1695	1943	1943	1709	1928	1928	1695
Adj Flow Rate, veh/h	165	139	125	21	113	35	165	1000	22	41	747	70
Peak Hour Factor	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97
Percent Heavy Veh, %	2	2	2	4	4	4	3	3	3	4	4	4
Cap, veh/h	372	429	337	334	422	332	477	1910	749	342	1260	494
Arrive On Green	0.23	0.23	0.23	0.23	0.23	0.23	0.11	0.52	0.52	0.34	0.34	0.34
Sat Flow, veh/h	1230	1856	1460	1089	1826	1437	1851	3693	1448	569	3663	1437
Grp Volume(v), veh/h	165	139	125	21	113	35	165	1000	22	41	747	70
Grp Sat Flow(s),veh/h/ln	1230	1856	1460	1089	1826	1437	1851	1846	1448	569	1832	1437
Q Serve(g_s), s	6.1	3.0	3.5	0.8	2.4	0.9	2.4	8.6	0.4	2.5	8.1	1.6
Cycle Q Clear(g_c), s	8.5	3.0	3.5	3.8	2.4	0.9	2.4	8.6	0.4	2.8	8.1	1.6
Prop In Lane	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Lane Grp Cap(c), veh/h	372	429	337	334	422	332	477	1910	749	342	1260	494
V/C Ratio(X)	0.44	0.32	0.37	0.06	0.27	0.11	0.35	0.52	0.03	0.12	0.59	0.14
Avail Cap(c_a), veh/h	854	1157	911	761	1139	896	1003	3454	1355	678	3427	1344
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	18.7	15.4	15.5	16.9	15.2	14.6	8.1	7.7	5.7	11.4	13.0	10.9
Incr Delay (d2), s/veh	0.3	0.2	0.3	0.0	0.1	0.1	0.2	0.3	0.0	0.2	0.5	0.1
Initial Q Delay(d3), s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	1.4	1.0	0.9	0.2	0.8	0.2	0.5	1.7	0.1	0.2	2.3	0.4
Unsig. Movement Delay, s/veh												
LnGrp Delay(d), s/veh	19.0	15.5	15.8	17.0	15.3	14.6	8.2	7.9	5.7	11.5	13.5	11.0
LnGrp LOS	B	B	B	B	B	B	A	A	A	B	B	B
Approach Vol, veh/h		429			169			1187			858	
Approach Delay, s/veh		16.9			15.4			7.9			13.2	
Approach LOS		B			B			A			B	
Timer - Assigned Phs	1	2		4		6		8				
Phs Duration (G+Y+Rc), s	8.3	22.9		16.8		31.3		16.8				
Change Period (Y+Rc), s	3.0	6.4		5.7		6.4		5.7				
Max Green Setting (Gmax), s	19.0	45.0		30.0		45.0		30.0				
Max Q Clear Time (g_c+I1), s	4.4	10.1		10.5		10.6		5.8				
Green Ext Time (p_c), s	0.1	6.5		0.6		8.2		0.3				
Intersection Summary												
HCM 7th Control Delay, s/veh				11.6								
HCM 7th LOS				B								

Lanes, Volumes, Timings
200: Durand Avenue & Oakes Road

2025 Build
PM Peak Hour

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (vph)	130	790	300	170	485	150	210	140	185	170	125	105
Future Volume (vph)	130	790	300	170	485	150	210	140	185	170	125	105
Ideal Flow (vphpl)	1865	1865	1750	1865	1865	1750	1775	1775	1775	1775	1775	1775
Lane Width (ft)	12	12	12	12	12	12	12	12	12	12	12	12
Grade (%)		0%			0%			0%			0%	
Storage Length (ft)	200		360	240		205	220		0	175		0
Storage Lanes	1		1	1		1	1		0	1		0
Taper Length (ft)	100			100			100			100		
Right Turn on Red			No			No			No			No
Link Speed (mph)		40			40			30			30	
Link Distance (ft)		676			628			634			666	
Travel Time (s)		11.5			10.7			14.4			15.1	
Confl. Peds. (#/hr)												
Confl. Bikes (#/hr)												
Peak Hour Factor	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95
Growth Factor	100%	100%	62%	100%	100%	62%	100%	100%	100%	100%	100%	100%
Heavy Vehicles (%)	4%	4%	4%	7%	7%	7%	3%	3%	3%	4%	4%	4%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	0	0	0	0	0
Parking (#/hr)												
Mid-Block Traffic (%)		0%			0%			0%			0%	
Shared Lane Traffic (%)												
Lane Group Flow (vph)	137	832	196	179	511	98	221	342	0	179	243	0
Turn Type	D.P+P	NA	Perm	D.P+P	NA	Perm	D.P+P	NA		D.P+P	NA	
Protected Phases	1	6		5	2		3	8		7	4	
Permitted Phases	2		6	6		2	4			8		
Detector Phase	1	6	6	5	2	2	3	8		7	4	
Switch Phase												
Minimum Initial (s)	6.0	15.0	15.0	6.0	15.0	15.0	6.0	10.0		6.0	10.0	
Minimum Split (s)	11.5	21.5	21.5	11.5	21.5	21.5	11.5	17.1		11.5	17.1	
Total Split (s)	30.5	60.5	60.5	30.5	60.5	60.5	30.5	42.1		30.5	42.1	
Total Split (%)	18.6%	37.0%	37.0%	18.6%	37.0%	37.0%	18.6%	25.7%		18.6%	25.7%	
Maximum Green (s)	25.0	54.0	54.0	25.0	54.0	54.0	25.0	35.0		25.0	35.0	
Yellow Time (s)	3.5	3.9	3.9	3.5	3.9	3.9	3.5	4.1		3.5	4.1	
All-Red Time (s)	2.0	2.6	2.6	2.0	2.6	2.6	2.0	3.0		2.0	3.0	
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0	
Total Lost Time (s)	5.5	6.5	6.5	5.5	6.5	6.5	5.5	7.1		5.5	7.1	
Lead/Lag	Lead	Lag	Lag	Lead	Lag	Lag	Lead	Lag		Lead	Lag	
Lead-Lag Optimize?	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes		Yes	Yes	
Vehicle Extension (s)	1.5	3.4	3.4	1.5	3.4	3.4	1.5	1.5		1.5	1.5	
Minimum Gap (s)	1.5	2.4	2.4	1.5	2.4	2.4	1.5	1.5		1.5	1.5	
Time Before Reduce (s)	25.0	19.0	19.0	25.0	19.0	19.0	25.0	35.0		25.0	35.0	
Time To Reduce (s)	0.0	13.0	13.0	0.0	13.0	13.0	0.0	0.0		0.0	0.0	
Recall Mode	None	Min	Min	None	Min	Min	None	None		None	None	
Walk Time (s)												
Flash Don't Walk (s)												
Pedestrian Calls (#/hr)												
v/c Ratio	0.33	0.72	0.41	0.60	0.43	0.20	0.54	0.66		0.51	0.53	
Control Delay (s/veh)	16.1	33.9	29.9	23.3	26.3	25.1	30.4	47.6		29.8	46.4	

3536 Mt. Pleasant Bear Res Braun/Oakes Rd TIA
TADI - TSC

Synchro 12 Report

Lanes, Volumes, Timings
200: Durand Avenue & Oakes Road

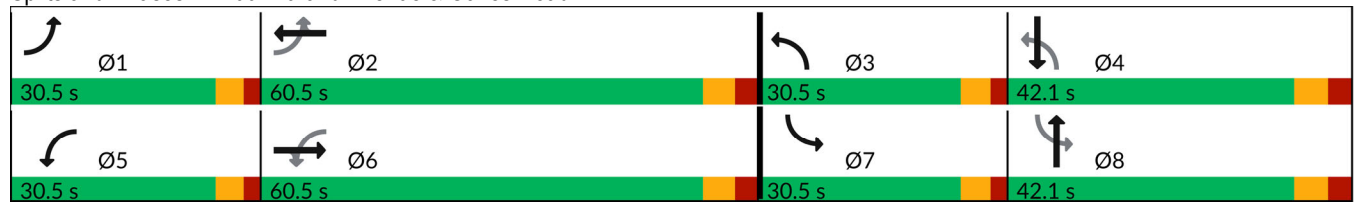
2025 Build
PM Peak Hour

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0	
Total Delay (s/veh)	16.1	33.9	29.9	23.3	26.3	25.1	30.4	47.6		29.8	46.4	
Queue Length 50th (ft)	42	230	90	56	122	41	97	103		77	72	
Queue Length 95th (ft)	97	402	199	125	221	99	209	203		171	151	
Internal Link Dist (ft)		596			548			554			586	
Turn Bay Length (ft)	200		360	240		205	220			175		
Base Capacity (vph)	632	1943	815	522	1889	793	534	1107		514	1116	
Starvation Cap Reductn	0	0	0	0	0	0	0	0		0	0	
Spillback Cap Reductn	0	0	0	0	0	0	0	0		0	0	
Storage Cap Reductn	0	0	0	0	0	0	0	0		0	0	
Reduced v/c Ratio	0.22	0.43	0.24	0.34	0.27	0.12	0.41	0.31		0.35	0.22	

Intersection Summary

Area Type: Other
 Cycle Length: 163.6
 Actuated Cycle Length: 99.5
 Natural Cycle: 65
 Control Type: Actuated-Uncoordinated
 Description: Runs Free

Splits and Phases: 200: Durand Avenue & Oakes Road












HCM 7th Signalized Intersection Summary
 200: Durand Avenue & Oakes Road

2025 Build
 PM Peak Hour

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	130	790	300	170	485	150	210	140	185	170	125	105
Future Volume (veh/h)	130	790	300	170	485	150	210	140	185	170	125	105
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Lane Width Adj.	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1807	1807	1695	1763	1763	1654	1733	1733	1733	1720	1720	1720
Adj Flow Rate, veh/h	137	832	196	179	511	98	221	147	195	179	132	111
Peak Hour Factor	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95
Percent Heavy Veh, %	4	4	4	7	7	7	3	3	3	4	4	4
Cap, veh/h	399	1157	484	305	1199	502	379	271	241	305	245	190
Arrive On Green	0.07	0.34	0.34	0.09	0.36	0.36	0.14	0.16	0.16	0.11	0.14	0.14
Sat Flow, veh/h	1721	3433	1437	1679	3350	1402	1651	1647	1469	1638	1748	1360
Grp Volume(v), veh/h	137	832	196	179	511	98	221	147	195	179	123	120
Grp Sat Flow(s),veh/h/ln	1721	1716	1437	1679	1675	1402	1651	1647	1469	1638	1634	1475
Q Serve(g_s), s	4.1	17.7	8.8	5.7	9.7	4.0	9.3	6.8	10.7	7.4	5.8	6.4
Cycle Q Clear(g_c), s	4.1	17.7	8.8	5.7	9.7	4.0	9.3	6.8	10.7	7.4	5.8	6.4
Prop In Lane	1.00		1.00	1.00		1.00	1.00		1.00	1.00		0.92
Lane Grp Cap(c), veh/h	399	1157	484	305	1199	502	379	271	241	305	229	206
V/C Ratio(X)	0.34	0.72	0.40	0.59	0.43	0.20	0.58	0.54	0.81	0.59	0.54	0.58
Avail Cap(c_a), veh/h	790	2217	928	653	2163	905	647	689	615	610	684	617
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Uniform Delay (d), s/veh	15.5	24.3	21.3	18.1	20.3	18.5	25.6	32.1	33.7	25.4	33.4	33.7
Incr Delay (d2), s/veh	0.2	1.0	0.6	0.7	0.3	0.2	0.5	0.6	2.4	0.7	0.7	1.0
Initial Q Delay(d3), s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	1.5	6.8	2.9	2.0	3.5	1.3	3.6	2.7	3.9	2.8	2.3	2.3
Unsig. Movement Delay, s/veh												
LnGrp Delay(d), s/veh	15.7	25.3	21.9	18.8	20.6	18.8	26.1	32.7	36.1	26.1	34.2	34.6
LnGrp LOS	B	C	C	B	C	B	C	C	D	C	C	C
Approach Vol, veh/h		1165			788			563			422	
Approach Delay, s/veh		23.6			20.0			31.3			30.9	
Approach LOS		C			B			C			C	
Timer - Assigned Phs	1	2	3	4	5	6	7	8				
Phs Duration (G+Y+Rc), s	11.5	36.4	16.9	18.8	13.2	34.7	14.9	20.8				
Change Period (Y+Rc), s	5.5	6.5	5.5	7.1	5.5	6.5	5.5	7.1				
Max Green Setting (Gmax), s	25.0	54.0	25.0	35.0	25.0	54.0	25.0	35.0				
Max Q Clear Time (g_c+I1), s	6.1	11.7	11.3	8.4	7.7	19.7	9.4	12.7				
Green Ext Time (p_c), s	0.1	4.6	0.2	0.7	0.1	8.5	0.1	1.0				
Intersection Summary												
HCM 7th Control Delay, s/veh			25.1									
HCM 7th LOS			C									

Lanes, Volumes, Timings
 300: Oakes Road & Braun Road

2025 Build
 PM Peak Hour

						
Lane Group	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations						
Traffic Volume (vph)	1	55	30	1	90	20
Future Volume (vph)	1	55	30	1	90	20
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	12	12
Grade (%)	0%		0%			0%
Storage Length (ft)	0	0		0	0	
Storage Lanes	1	0		0	0	
Taper Length (ft)	100				100	
Link Speed (mph)	30		30			30
Link Distance (ft)	1874		1980			657
Travel Time (s)	42.6		45.0			14.9
Confl. Peds. (#/hr)						
Confl. Bikes (#/hr)						
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92
Growth Factor	100%	100%	100%	100%	100%	100%
Heavy Vehicles (%)	2%	2%	2%	2%	2%	2%
Bus Blockages (#/hr)	0	0	0	0	0	0
Parking (#/hr)						
Mid-Block Traffic (%)	0%		0%			0%
Shared Lane Traffic (%)						
Lane Group Flow (vph)	61	0	34	0	0	120
Sign Control	Stop		Free			Free
Intersection Summary						
Area Type:	Other					
Control Type:	Unsignalized					

Intersection						
Int Delay, s/veh	5.9					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	Y		T			T
Traffic Vol, veh/h	1	55	30	1	90	20
Future Vol, veh/h	1	55	30	1	90	20
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	1	60	33	1	98	22

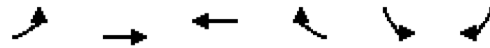
Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	251	33	0	0	34	0
Stage 1	33	-	-	-	-	-
Stage 2	217	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218	-
Pot Cap-1 Maneuver	738	1040	-	-	1578	-
Stage 1	989	-	-	-	-	-
Stage 2	819	-	-	-	-	-
Platoon blocked, %			-	-		-
Mov Cap-1 Maneuver	692	1040	-	-	1578	-
Mov Cap-2 Maneuver	692	-	-	-	-	-
Stage 1	989	-	-	-	-	-
Stage 2	767	-	-	-	-	-

Approach	WB	NB	SB
HCM Ctrl Dly, s/v	8.71	0	6.08
HCM LOS	A		

Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT
Capacity (veh/h)	-	-	1031	1473
HCM Lane V/C Ratio	-	-	0.059	0.062
HCM Ctrl Dly (s/v)	-	-	8.7	7.4
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	0.2	0.2

Lanes, Volumes, Timings
400: Braun & Oakes Road

2025 Build
PM Peak Hour



Lane Group	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Volume (vph)	15	390	175	60	35	10
Future Volume (vph)	15	390	175	60	35	10
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	12	12
Grade (%)		0%	0%		0%	
Storage Length (ft)	0			0	0	0
Storage Lanes	0			0	1	0
Taper Length (ft)	100				100	
Link Speed (mph)		45	45		30	
Link Distance (ft)		1106	3728		1980	
Travel Time (s)		16.8	56.5		45.0	
Confl. Peds. (#/hr)						
Confl. Bikes (#/hr)						
Peak Hour Factor	0.97	0.97	0.97	0.97	0.97	0.97
Growth Factor	100%	100%	100%	100%	100%	100%
Heavy Vehicles (%)	2%	2%	4%	4%	2%	2%
Bus Blockages (#/hr)	0	0	0	0	0	0
Parking (#/hr)						
Mid-Block Traffic (%)		0%	0%		0%	
Shared Lane Traffic (%)						
Lane Group Flow (vph)	0	417	242	0	46	0
Sign Control		Free	Free		Stop	

Intersection Summary

Area Type: Other
Control Type: Unsignalized

Intersection						
Int Delay, s/veh	1					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↕	↕		↕	
Traffic Vol, veh/h	15	390	175	60	35	10
Future Vol, veh/h	15	390	175	60	35	10
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	97	97	97	97	97	97
Heavy Vehicles, %	2	2	4	4	2	2
Mvmt Flow	15	402	180	62	36	10

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	242	0	-	0	644 211
Stage 1	-	-	-	-	211 -
Stage 2	-	-	-	-	433 -
Critical Hdwy	4.12	-	-	-	6.42 6.22
Critical Hdwy Stg 1	-	-	-	-	5.42 -
Critical Hdwy Stg 2	-	-	-	-	5.42 -
Follow-up Hdwy	2.218	-	-	-	3.518 3.318
Pot Cap-1 Maneuver	1324	-	-	-	437 829
Stage 1	-	-	-	-	824 -
Stage 2	-	-	-	-	654 -
Platoon blocked, %		-	-	-	
Mov Cap-1 Maneuver	1324	-	-	-	431 829
Mov Cap-2 Maneuver	-	-	-	-	431 -
Stage 1	-	-	-	-	812 -
Stage 2	-	-	-	-	654 -

Approach	EB	WB	SB
HCM Ctrl Dly, s/v	0.29	0	13.26
HCM LOS			B

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	67	-	-	-	482
HCM Lane V/C Ratio	0.012	-	-	-	0.096
HCM Ctrl Dly (s/v)	7.8	0	-	-	13.3
HCM Lane LOS	A	A	-	-	B
HCM 95th %tile Q(veh)	0	-	-	-	0.3